



HISTORIC PRESERVATION BOARD MEETING

CITY OF ST. PETE BEACH

155 Corey Avenue
St. Pete Beach, Florida

Thursday, 1/5/2017
3:30 p.m.

Call to Order
Pledge of Allegiance
Roll Call

- 1. Changes to the Agenda** – Agenda items to be added, moved or deleted will be addressed at this time. Added items will be assigned agenda item numbers and moved items should remain with the same item numbers. Notation will be made that those items will be taken out of order.
- 2. Audience Comments** – Comments shall be limited to three minutes per person to issues not on the agenda.
- 3. Minutes for Acceptance**
12/1/2016
- 4. Public Hearings**
 - A. Ordinance 2016-19:** Review and recommendation to City Commission for proposed amendments to Division 20 of the City of St. Pete Beach Land Development Code regarding development standards in Pass-a-Grille.
- 5. Discussion Items**
- 6. Adjournment**

APPEAL

If a person decides to appeal any decision made at this meeting, he or she will need a record of the proceeding and, for such purpose, may need to ensure that a verbatim record of the meeting is made, which record includes the testimony and evidence upon which the appeal is to be based. (F.S. 286.0105) The City does not furnish verbatim transcripts; interested parties should make the necessary arrangements for verbatim transcripts.

AMERICANS WITH DISABILITIES ACT

In Accordance with the Americans with Disabilities Act and F.S. 286.26, persons with disabilities needing special accommodations to participate in this meeting should contact City Hall at (727) 367-2735 no later than (4) days prior to the meeting for assistance. The public is cordially invited to attend. All agenda material is available for review at City Hall.

HISTORIC PRESERVATION BOARD

MINUTES

DECEMBER 1, 2016

3:30 P.M.

Ms. Welden, Planner II, informed the board members that the Chair and Vice Chair would not be present for the meeting and that the board would have to vote for a member to chair the meeting.

Member Douglass made a motion that Ingrid Jacobus serve as chair of the meeting today. The motion was seconded by Member Weymouth.

Ms. Welden asked Member Jacobus if she would accept, and Ingrid Jacobus agreed to serve as chair.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT:

Tina Douglass, Member
Ingrid Jacobus, Member
Yann Weymouth, Member

ABSENT:

Chris Marone, Chairman
Sean Hurley, Vice Chair

ALSO PRESENT:

Jennifer Bryla, Community Development Director
Chelsey S. Welden, Planner II
Mary Jo Murphy, Deputy City Clerk

1. Changes to the Agenda

There were no changes to the agenda.

2. Audience Comments

There were no audience comments.

3. Minutes for Acceptance – 10/6/2016

Member Douglass made a motion to accept the minutes of the Historic Preservation Board for October 6, 2016 as presented. The motion was seconded by Member Weymouth and unanimously approved by a voice vote.

4. Public Hearing

There was no public hearing.

5. Discussion Items

A. Historic Preservation Informational Pamphlet

Ms. Welden presented a pamphlet entitled “Historic Preservation, The Local Designation Process and Benefits” and reviewed the following topics: brief background of Pass-A-Grille Historic District, Benefits of Local Historic Designation, FEMA Variance, Ad Valorem Tax Exemption, Relief from Certain Building Code Requirements, providing Professional Technical Assistance to applicants for renovations, and steps for locally designating a property.

Member Douglass suggested enlarging the font for the following verbiage: “The Local Designation Process and Benefits.”

Ms. Welden updated the board in regard to the following:

- 1801 Pass-A-Grille Way, Certificate of Appropriateness for demolition
- Stay imposed for 30 days expired
- Applicant has filed for demolition permit and building permit

B. CLG Annual Report

Ms. Welden updated the board in regard to the Certified Local Government Annual Report and gave an overview of the following items:

- Certificate of Appropriateness issued (7)
- Local designations approved (4)
- Changes to rules and procedures
- Processed tax exemptions (one in process)

Ms. Welden instructed the board that the State requests updates on any new members and meeting minutes.

- Resumes are needed from Member Weymouth and Member Hurley

Ms. Bryla, Community Development Director, distributed an updated document entitled “Division 20 – PAG Overlay District 11/23/2016.” Ms. Bryla asked the board members

to review the document and stated she would be asking for a recommendation during the January Historic Preservation Board meeting.

There was board discussion in regard to the Pass-A-Grille Way construction project and the street ends.

6. Adjournment

There being no further business to come before the board, the meeting was adjourned at 3:56 p.m.

Attest:

Rebecca C. Haynes, City Clerk

Chris Marone, Chairman

Minutes approved on: _____

St. Pete Beach Historic Preservation Board

155 Corey Avenue
St. Pete Beach, FL 33706
727-367-2735

1/5/17

Ordinance 2016-09

Applicant
City Initiated

Location
Pass-a-grille 32nd Ave
south

**Commission
District**
District 4

Staff Representative
Jennifer Bryla, AICP

Findings:

In its review of the
proposed application,
staff has determined:

1. The proposed application is consistent with Florida Statutes.
2. The proposed application is consistent with the Pinellas County Plan.
3. The proposed application is consistent with the intent of the Goals and Objectives of the St. Pete Beach Comprehensive Plan.

TRC Review:

1/4/2017

No Comments.

ITEM SUMMARY:

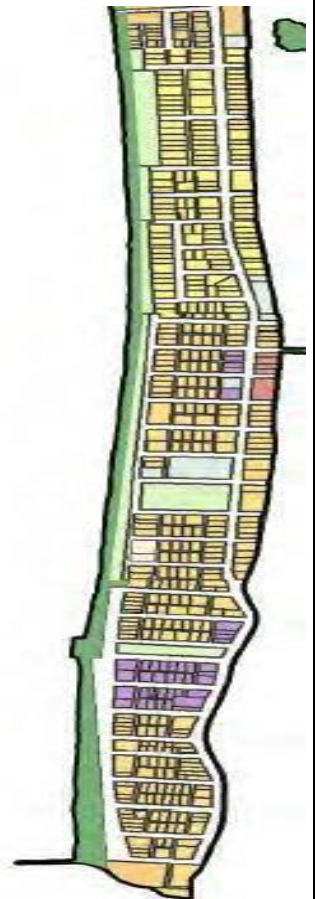
ITEM SUMMARY:

The City has initiated the revised language to the Pass-a-grille overlay district in response to residents' frustration with the Euclidian Zoning standards that were superimposed over the historic district through Ordinance 03-7. The Ordinance presented covers those lands from 32 Avenue south excluding the area that is the CRD-EA. Generally 9th Ave south to 7th Ave and between Gulf Way and Pass-A-Grille Way.

The revised overlay will provide for a form based zoning code that will continue to support the historic patterns and uses that created the eclectic mix of Pass-a-grille.

The revised code specifically allows for:

- Allowing for existing residential lots, specifically single family lots, the ability to develop under the existing zoning standards.
- A consistent public realm or front entry sequence that is consistent with the historic patterns for the neighborhood.
- Consistency with historic housing stock forms by incorporating commonly known architectural components into the expectations for new structures.
- Prohibiting the ability for lots to be aggregated together or split apart unless approved by the City Commission.
- Allowing for properties that are currently non-conforming for density to become conforming and be able to redevelopment with consistent form and density, without increasing the existing square footage.
- Provide incentives for choosing the forms presented, including additional square footage.



Planning Board Review:
Anticipated 1/17/17

**City Commission
Review:**
2/14/2017

**Staff
Recommendation**
Approval as presented

Some things that have not changed with the new overlay standards.

- The criteria set for the height of structures has not and will not change.
- The density allowed for properties will not change.
- Expansion of development is prohibited.
- Residential parking standards.

PUBLIC NOTICE:

Notice of public hearing has been advertised as required by State Statutes. As of the time of this report, one written comment of objection has been received and one written request for additional information was received. Both are attached for the Board's information at Exhibit "C". Oral and written comments may be presented at the public hearing. In addition to the required advertisement of the Ordinance, Staff has held 3 Community Meetings and taken comment at 3 public hearings, one of which included a City Commission meeting. Staff also sent public notice of the Ordinance to each affected property within the District and held public open house at City Hall for the purpose of taking questions and testing the code.

PROJECT DESCRIPTION / BACKGROUND:

1. Project Description:

The Pass-a-grille community was first settled in 1884 by Captain Zephaniah Phillips a Union veteran of the Civil War. The name was thought to come about because of the fact that the area was frequented by fisherman who came ashore to cook or grill their catch. Hence Pass of the Grill. The proposed Ordinance recognizes the unique qualities of the Pass-a-grille community and that the Euclidean, or strict performance based zoning standards, that were incorporated into the Land Development Code in 2003 did not allow for some areas of the community to be renovated or improved as so many properties were considered "legal non-conforming" properties. This mean that they are permitted to continue to exist but could not be considered permitted even though they existing structures.

The City Commission recognized this and hired a consultant in 2016 to develop a code that would recognize the unique character of the community and allow for re-investment without compromising the historic integrity of the community. The consultant has identified thirteen (13) different place "types" of the structure, each type dealing with the land use of the property and/or lot size. The place types or typologies are given form characteristics that each uniquely possess. As owners of single-family properties choose to redevelop or improve their properties, they may choose the underlying zoning districts performance based zoning standards or the "form based" zoning standards associated with the size of their lot and use.

The proposed Ordinance also brings some standard design principals to the code in order to ensure consistent form and shape

which replicates the historic patterns is represented. These design standards are basic elements of proportion and scale and should not be onerous for the property owner to achieve.

The proposed Ordinance has no effect on the City's Level of Service as single family residential units are exempt from concurrency standards per Section 29.5(2) of the Land Development Code and no expansion of existing structures is being proposed.

JUSTIFICATION / TECHNICAL REVIEW

1. Consistency with the City of St. Pete Beach Comprehensive Plan

Staff is offering the following for support of consistency with the Comprehensive Plan

FUTURE LAND USE ELEMENT

Section II ,Future Land Use Plan Element, Green Mission Statement , Page 4

...

"(b) It is the intent of the City of St. Pete Beach to allow for the continuance of existing non-conforming residential and temporary lodging units under the circumstances outlined below:

1. **Catastrophic Events.** In the case of natural disaster or other catastrophic event over which the owner is presumed to have had no control, residential and temporary lodging properties that were in existence prior to the event may be reconstructed with the same number of units, subject to the LDC requirements other than density and intensity, Florida Building Code requirements and FEMA regulations, in effect at the time of reconstruction.
2. **Routine Maintenance.** In the event a residential or temporary lodging use would be considered a non-conforming use under the land use category designated for its property as adopted herein, it is the intent of the City to permit the routine maintenance of these residential or temporary lodging structures which pre-date the adoption of the Comprehensive Plan in 2009 that would prohibit their construction today.
3. **FEMA Compliance Required.** Notwithstanding any statements to the contrary, there is no intention of superseding any regulations of the Federal Emergency Management Agency (FEMA) or National Flood Insurance Program requirements regarding the protection of properties from flood damage.
4. **Expansion Prohibited.** There also is no intention of allowing for the expansion of non-conforming uses or an increase in a non-conforming density or intensity of a use as determined by the Future Land Use Plan and Map designation and implementing zoning regulations effective at the time of the event.
5. **Existing platted lots of record that are located in the Residential Urban, Residential Low Medium, Residential Medium, and Residential High land use categories shall not be prohibited from the construction of one residential unit due to a non-conforming lot size.**

Analysis: The proposed Pass-a-grille overlay supports and continues the intent to allow for the continuance of existing non-conforming residential and temporary lodging units as outlined above. Specifically Section 20.07 allows for the rebuilding of residential

developments with the same density as the existing structures. This policy is in direct conflict with language in the Land Development Code and as the Comprehensive Plan is the Guiding Document for the City, it take precedence over all other lesser local codes.

GOAL 2:

The City shall ensure that the residential character of the City of St. Pete Beach is maintained and protected while:

- **Maximizing the potential for economic benefit resulting from the tourist trade and the enjoyment of natural and man-made resources by residents and visitors alike.**
- **Minimizing the threat to health, safety, and welfare posed by hazards, nuisances, incompatible land uses, and environmental degradation.**
- **Maintaining the community's recreation, open space and beaches.**

Analysis: The proposed Pass-a-grille overlay supports and continues the intent to allow for the continuance of the unique residential character of the existing housing stock in the Pass-A-Grille community by allowing the mixture of typologies that support the historic pattern of development and mixture of housing types. Section 20.11 maintains the existing building types and also prohibits the aggregation of lots for increased square footage or the subdivision of lots for increased density in the district.

Objective 2.6

As of the effective date of this comprehensive plan, as amended, development activities shall be required to ensure the protection of historic and architecturally significant structures and resources.

Analysis: The proposed Pass-a-grille overlay supports the protection of historic and architecturally significant structures and resources and further explores the incorporation of historic form and patterns that have existed in the community for 100 years. Section 20.15 outlines the typologies from the existing development patterns to ensure that that the form and mass continues rather than removal and replacement of stock that have no historic basis.

Objective 2.13

The City shall promote the preservation and redevelopment of temporary lodging uses.

Analysis: The proposed Pass-a-grille overlay supports and continues the intent to allow for the preservation and redevelopment of temporary lodging uses within the Pass-a-Grille community as is evidenced by the Boutique Hotel typology found in Section 20.15. This inclusion ensures that as properties are redeveloped they will be consistent with the historic patterns of the Community without increasing density or intensity.

GOAL 6:

Full compliance with Chapter 88-464, Laws of Florida, as amended, by participating in the Countywide planning process through representation on and coordination with the Pinellas Planning Council and by ensuring consistency between the City and Countywide comprehensive plans.

Objective 6.1

The Future Land Use Element of the City of St. Pete Beach Comprehensive Plan shall be consistent with the Countywide Future Land Use Plan and Rules.

Analysis: The proposed Pass-a-grille overlay supports Goal 6 and Objective 6.1. Staff submitted the draft code to the Pinellas Planning Council for review and comment to ensure compliance with the Countywide Rules and determination was made that the proposed Ordinance was consistent. Staff was commended for working to try and preserve the existing patterns of the district.

Housing Plan Element

Objective 1.4

In accordance with this comprehensive plan the City shall work to extend the useful life of the existing housing stock while maintaining the neighborhood quality through land development regulations.

Analysis: The proposed Pass-a-grille overlay supports extending the useful life of existing housing stock in the community through allowing the existing stock to be improved. Currently if a structure is nonconforming it cannot be altered or improved.

Policy 1.4.3

The City shall, in as much as FEMA regulations permit, allow for older, traditionally non-conforming, residential structures to be rebuilt and maintained as domiciles at their existing densities.

Analysis: The proposed Pass-a-grille overlay supports and continues the intent to allow for the continuance of existing non-conforming residential units as outlined above. Specifically Section 20.07 allows for the rebuilding of residential developments with the same density as the existing structures.

Policy 1.6.2

The City shall encourage housing improvement and replacement projects through the land development regulations.

Analysis: The proposed Pass-a-grille overlay encourages the improvement of existing housing stock.

2. Compatibility with Adjacent Uses

The proposed Ordinance would be consistent and compatible to the residential uses to the East and to the North as the Ordinance encourages the enhancement of residential structures and historic uses of the District.

3. Consistency with Florida State Historic Preservation Office in the Department of State

The Department provided the following: Form Based Coding is the most complimentary zoning fit for a historic area. The Department shared some concern with allowing only single family homes to replace the multi-unit buildings as this would alter the historic mix of uses that exist in the District. The Department was unwilling to provide written comments as they are not charged as a regulatory agency. The memo outlining the conversation with the Department is attached as Exhibit

“A”.

4. Compatibility with County Wide Rules

The proposed Ordinance would be consistent and compatible with the Pinellas Countywide Rules as is required by Pinellas County. A letter from the Division Planning Manager is attached as Exhibit “B”.

5. Compatibility with FEMA

The proposed Ordinance would be consistent and compatible with the FEMA criteria the City must comply with as is evidenced by memo from the City’s Flood Plain Manager Bruce Cooper. The memo is attached as Exhibit “D”.

LOCAL PLANNING AGENCY:

The City’s Planning Board is scheduled to review and provide recommendation to the City Commission on the Ordinance at their regularly scheduled meeting on January 17th at 4:00.

STAFF RECOMMENDATION:

Upon review of the Comprehensive Plan, Staff concludes that the proposed Ordinance not be detrimental to the goals objectives and policies of the City's Comprehensive Plan. Staff also concludes that as the Ordinance seeks to provide options for property owners to enhance their quality of life and add to the aesthetic of the neighborhood, while respecting the historic mass and scale of the neighborhood that Staff recommends approval.

Further, the Ordinance does not allow for the expansion of properties and as such, does not incentivize the demolition of existing structures. Conversely the Ordinance does allow improvement of non-conforming structures, which currently is not permitted, thus preserving not only historic forms but use patterns as well. Replacing the multi-unit structures with a single family home would be in direct conflict with the Historic Designation as the District was awarded the designation on the basis of settlement patterns and entertainment/recreation.

Memorandum



To: Jennifer Bryla, AICP
From: Tara Salmieri, AICP
Date: December 13, 2016
Re: Summary Discussion with Bureau of Historic Preservation, Ruben A. Acosta

Conference Call

The State Historic Preservation Office was provided a review of PAG overlay Draft for comments, suggestions primarily to seek input on if the proposed draft ordinance would interfere with the National Designation of PAG as a Historic Area. Tara Salmieri discussed the overall intent of the ordinance with Mr. Acosta, ask for feedback on November 9, 2016. The following are highlights from the call:

- The HPO is not a regulatory agency for local regulations, they appreciated the opportunity to review the ordinance. Overall, the HPO office suggested the best approach for preservation of buildings would be to adopt a local historic district and suggested that a general overlay, such as the PAG overlay should not be used to preserve buildings since there is a local designation process with steps and authority that are best suited for that type of approach.
- In general, the HPO finds the use of Form Based Codes to be the most complimentary zoning fit for historic areas and liked the overall approach of the ordinance.
- The HPO office had some concern removing the ability to rebuild a multi-unit building and only permitting a single family residence as this use and density change could change the diversity, mix of housing stock and uses that are part of the National Registry Designation. The HPO maintained that the mix of use is just as important as the building stock and without a local designation both would be subject to modification through zoning.
- The HPO also mentioned in 2017 hosting some training and would reach out the City's Historic Preservation to invite the board to participate.

Exhibit B

Jennifer Bryla

From: Chatman, Rodney S <rschatman@co.pinellas.fl.us>
Sent: Monday, October 24, 2016 9:16 AM
To: Jennifer Bryla
Cc: Blanton, Whit; Parinello, Alicia
Subject: RE: PAG overlay question

Jenni,

We have completed a cursory review of the proposed amendments to the Pass-a-Grille Overlay District as presented to the St. Pete Beach Planning Board on October 18, 2016. Based on the proposed changes to Division 20, we have determined that this potential change in your land development regulations **DO NOT** violate the Countywide Rules. Furthermore, we compliment staff in its efforts to use a form-based code as a means to preserve the existing character of this historic part of the City. Please let me know if you need anything else.



Forward Pinellas serves as the planning council and metropolitan planning organization for Pinellas County.

All government correspondence is subject to the public records law.

From: Jennifer Bryla [<mailto:jbryla@stpetebeach.org>]
Sent: Wednesday, October 19, 2016 4:42 PM
To: Chatman, Rodney S <rschatman@co.pinellas.fl.us>
Subject: FW: PAG overlay question

Rodney,

Can you please provide an answer for me regarding the below? Thanks!

-jb

Jennifer C. Bryla, AICP
Community Development Director

City of St. Pete Beach
Sunset Capital of Florida
155 Corey Avenue
St. Pete Beach Florida 33706
jbryla@stpetebeach.org
727.363.9265 – voice
727.363.9222 – fax

Exhibit C

Jennifer Bryla

From: Stan Garnett <stangarnett@aol.com>
Sent: Friday, December 30, 2016 11:01 AM
To: Jennifer Bryla
Subject: PAG Overlay

Hi Jenny,

I see that the PAG Overlay will be before the Historic Preservation Board on the 5th. While I shared my Overlay email to you of December 18th with a few friends, I did not send it to any commissioners nor City board members. Have you done so, or should I? I am looking forward to the community meeting on the 4th. It would be great if your presentation could proactively address the questions I raised. Your thoughts will be appreciated. And I'd like to wish you a Happy New Year.

Stan Garnett
2504 Sunset Way
Pass-a-Grille, FL 33706
727-480-0706
stangarnett@aol.com

December 27, 2016

Via Email to: cityattorney@stpetebeach.org

Andrew Dickman, Esq.
City Attorney
155 Corey Avenue
St. Pete Beach, FL 33606

Re: Ordinance 2016-19 Pass-A-Grille Form Based Code

Dear Andrew:

I am writing in reference to proposed Ordinance 2016-19, which I understand is being considered by the City's Historic Preservation Board on January 5, 2017. Specifically, Section 20.07(b) and (c) authorize non-conforming multi-family residential and temporary lodging structures to rebuild to non-conforming densities as of right.

However, the preamble to the Future Land Use Element (FLUE) of the City's Comprehensive Plan places restrictions on reconstruction of non-conforming uses as follows:

(b) Nonconforming Residential and Temporary Lodging Uses, Densities and Intensities - It is the intent of the City of St. Pete Beach to allow for the continuance of existing non-conforming residential and temporary lodging units under the circumstances outlined below:

1. Catastrophic Events. In the case of natural disaster or other catastrophic event over which the owner is presumed to have had no control, residential and temporary lodging properties that were in existence prior to the event may be reconstructed with the same number of units, subject to the LDC requirements other than density and intensity, Florida Building Code requirements and FEMA regulations, in effect at the time of reconstruction.
2. Routine Maintenance. In the event a residential or temporary lodging use would be considered a non-conforming use under the land use category designated for its property as adopted herein, it is the intent of the City to permit the routine maintenance of these residential or temporary lodging structures which pre-date the adoption of the Comprehensive Plan in 2009 that would prohibit their construction today.
3. FEMA Compliance Required. Notwithstanding any statements to the contrary, there is no intention of superseding any regulations of the Federal Emergency Management Agency (FEMA) or National

O: 727.828.9919
F: 727.828.9924

www.webercrabb.com

5999 Central Avenue, Ste. 203
St. Petersburg, Florida 33710

Flood Insurance Program requirements regarding the protection of properties from flood damage.

4. Expansion Prohibited. There also is no intention of allowing for the expansion of non-conforming uses or an increase in a non-conforming density or intensity of a use as determined by the Future Land Use Plan and Map designation and implementing zoning regulations effective at the time of the event.

5. Existing platted lots of record that are located in the Residential Urban, Residential Low Medium, Residential Medium, and Residential High land use categories shall not be prohibited from the construction of one residential unit due to a non-conforming lot size.

Also, under Goal 2 of the FLUE, Objective 2.5 provides:

Existing land uses or structures which are either incompatible or inconsistent with the adopted Future Land Use Element shall be deemed non-conforming as of the effective date of this comprehensive plan and be encouraged to be eliminated through redevelopment of such uses or structures; however, existing residential and temporary lodging use densities and intensities shall be grandfathered except when abandoned voluntarily as defined by the LDC.

Policy 2.5.1

Those residential uses and structures existing as of the effective date of this comprehensive plan, as amended, which were built and were conforming prior to such adoption, and which are hereby rendered non-conforming, shall be considered to be grandfathered, as defined in the LDC.

Policy 2.5.2

Those temporary lodging uses and structures existing as of the effective date of this Comprehensive Plan, as amended, which were built prior to such adoption, and which are hereby rendered non-conforming, shall be considered to be grandfathered, as defined in the LDC.

Section 3.10 of the City's Land Development Code provides in part:

(2) Uses that are nonconforming by reason of development density are regulated as follows:

a. The recognized number of units on such property shall be determined by the number shown in the property records on file with the city as of the date of adoption of this section.

b. There shall be no increase in the number of units by expansion or alteration of the use.

c. Except as provided for elsewhere in this Code, **any property, upon which there are one or more buildings having such pre-existing nonconforming number of units shall be brought into conformity with the density requirements of this ordinance when any building is proposed to be substantially improved.**

(emphasis added). Thus, in the absence of a catastrophic event, FEMA requirement, or other permissible exception, it would appear to be inconsistent with the current Comprehensive Plan to allow non-conforming multi-family and temporary lodging structures to be rebuilt to the same non-conforming densities as of right.¹

If the City has made a differing interpretation of the Comprehensive Plan can you kindly advise and provide such interpretation so that I can advise my client accordingly?

Sincerely,

WEBER, CRABB & WEIN, P.A.

s/ Timothy W. Weber

Timothy W. Weber, Esq.
timothy.weber@webercrabb.com

cc: Jennifer Bryla (jbryla@stpetebeach.org)

¹ Also, this provision appears to encourage the knock down and reconstruction of historic structures, contrary to Objective 2.6 of the FLUE and its policies.

**OFFICE OF THE
BUILDING
OFFICIAL/FLOODPLAIN
MANAGER**

Memo

To: Jennifer Bryla
From: Bruce Cooper, CBO, CFM
Date: 1/3/2017
Re: Pass-A-Grille Overlay District

I have reviewed the draft dated 11/23/16 for the above referenced proposal and have determined that this draft has no effect to the City's adopted Floodplain Ordinance.

ORDINANCE #2016-19

AN ORDINANCE OF THE CITY OF ST. PETE BEACH, PINELLAS COUNTY, FLORIDA, REPEALING AND REPLACING DIVISION 20 OF THE LAND DEVELOPMENT CODE, PAG PASS-A-GRILLE OVERLAY DISTRICT, INCORPORATING LANGUAGE AS OUTLINED IN EXHIBIT A; PROVIDING FOR THE REPEAL OF ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of St. Pete Beach Land Development Code implements the goals and policies of the City's Comprehensive Plan and encourages the preservation of residential neighborhoods; and

WHEREAS, the Pass-a-grille neighborhood is essentially a "built out" community with the first structures being erected in roughly 1900; and

WHEREAS, the City Commission has a commitment to preserve the overall character within the Pass-a-Grille neighborhood, generally from 32 Avenue S to the end of the island; and

WHEREAS, the City Commission recognizes the constraints that have been imposed on the district with the incorporation of Euclidean performance and zoning codes; and

WHEREAS, the City Commission approved consultants to begin working on a form base code for the neighborhood in September of 2015; and

NOW, THEREFORE, THE CITY COMMISSION OF THE CITY OF ST. PETE BEACH FLORIDA, HEREBY ORDAINS:

Section 1. The Pass-a-grille Overlay Division 20 of the Land Development Code, is repealed and replaced in its entirety as set forth in Exhibit A".

Section 2. All Ordinances and parts of Ordinances, in conflict herewith are hereby repealed to the extent of any conflict with this Ordinance.

Section 3. If any portion or part of this Ordinance is declared invalid by a court of competent jurisdiction, the valid remainder hereof shall remain in full force and effect.

Section 4. This Ordinance shall become effective within 30 days of adoption.

PASSED ON FIRST READING _____, a.d. 2017

PASSED ON SECOND AND FINAL READING _____, a.d. 2017

MAYOR

FIRST READING: _____

PUBLISHED: _____

SECOND READING: _____

PUBLISHED: _____

I, Rebecca C. Haynes, City Clerk of the City of St. Pete Beach, Florida, do hereby certify that the foregoing Ordinance was duly adopted in accordance with the provisions of applicable law this _____ day of _____, 2017.

Rebecca C. Haynes, City Clerk

APPROVED AS TO LEGAL COUNSEL AND CORRECTNESS:

City Attorney
Andrew Dickman, Esq.

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DIVISION 20 - PASS-A-GRILLE OVERLAY DISTRICT

Sec 20.01 Purpose and intent.

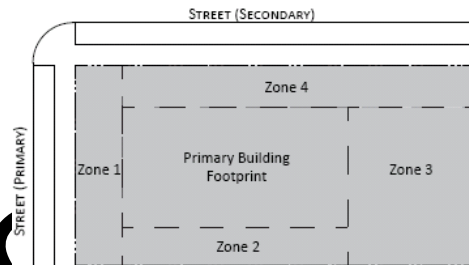
The City recognizes that the Pass-a-Grille Area was developed prior to the the development of suburban zoning regulations. The (PAG) Pass-a-Grille Overlay District is intended to allow for structures that are considered contributing to the National Register Historic District to be considered conforming regarding base flood elevations and uses of property within the Pass-a-Grille area situated south of 32nd Avenue, in order to ensure that structures and uses will be compatible with the character of existing development, including the area within the designated Pass-a-Grille Historic District. Also, to recognize that the existing parcel size's, uses and overall character of the PAG shall be permitted to continue as viable uses while allowing for improvements to existing structures, additions and new development that is consistent with the existing mass and scale within the District.

Sec 20.02 Definitions

- (a) Accessory structure envelope means provisions for the setbacks and maximum building footprints permitted for accessory structures.
- (b) Balance means the relationship among the elements of a building on either side of an imaginary centerline through the middle of a building. Buildings are either symmetrically or asymmetrically balanced.
- (c) Balanced, Asymmetrically means the shapes and design of a building may not match exactly, but instead have equal visual weight that are still visually balanced.
- (d) Balanced, Symmetrically means the shapes on one side of the centerline match the shapes on the other side. The two halves are visually equally.
- (e) Building height: Provisions for permitted heights in feet (ft). The maximum height for first floor residential development shall be fourteen (14) feet and twenty (20) feet for non-residential. The maximum height for second story and higher shall not exceed fourteen (14) feet. Each building lot typology provides the range of height appropriate for the building type. No new or substantially improved building within the PAG Overlay District and having the underlying zoning designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet. base flood elevation requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.
- (f) Building envelope: Provisions for the minimum and maximum setbacks permitted by front, side, and rear yards. There is a minimum and maximum setback for each lot type. The maximum and minimum frontage refers to the proportion of the lot width along which the primary building façade must be within the minimum and maximum front setback.
- (g) Compatible design means architectural design and construction that will fit harmoniously into the district based on scale, materials, and quality of construction with adjacent buildings and structures.

- (h) Lot requirements: Provisions for minimum and maximums, lot depth, lot size and the permitted lot coverage.
- (i) Mass, Primary: largest shape of a building.
- (j) Mass, Secondary: additional shapes that form the façade of the building
- (k) Parking provisions: The amount of parking shall be determined by Division 23 of the Land Development Code. Parking provisions provide zones where parking is permitted. The parking zone refers to any uncovered parking area located on the parcel. Driveways are permitted in any zone provided the frontage requirements have been met as required by building type. The diagram illustrates a Primary and Secondary street. Primary streets are streets that are addressed to the parcel of land. Secondary streets may or may not have access to the parcel. Zones are defined and illustrated by the lot area between the principal building frontage and:

- 1) Zone 1: the right-of-way of any primary street.
- 2) Zone 2: any common interior lot line.
- 3) Zone 3: any rear lot line.
- 4) Zone 4: the right-of-way of any secondary street.



- (l) Private frontages, refers to the area that is attached or integrated into the primary building.
- (m) Proportion means the relationships of one part of a façade to the whole. A house that is correctly proportionate establishes a visual relationship between all parts of its exterior. The voids, primary, and secondary masses should all be proportional to one another in order maintain architectural harmony.
- (n) Proximity means that objects that are close together should complement each other.
- (o) Rhythm means the use of repetitive elements in order to establish architectural harmony. It is based off of **three main principles**: the principle of **Proximity**, the principle of **Similarity**, and the principle of **Continuation**. These principles are part of a larger set known as *Gestalt Principles*.
- (p) Similarity means how our eyes are easily able to group objects together that share common textures, colors, or features
- (q) Voids means windows, doors, or other openings that create negative space allowing for breaks within a primary or secondary mass.

Sec 20.03 Permitted principal uses and structures.

Subject to the provisions or restrictions contained in this section and elsewhere in this Code, permitted uses and structures in the PAG Overlay District are as follows:

- (a) All uses permitted in the underlying Zoning District; and
- (b) Transient occupancy in single-family or multi-family dwellings, so long as any such transient occupancy of less than 30 days does not occur more than three times in any 12-month period on any parcel.
- (c) Uses that are in existence, upon date of adoption, shall be permitted as limited uses within an existing structure. Additions, improvements and renovations will be permitted, if the building meets the standards set forth in this Division of the Code.

1 **Sec 20.04 Permitted accessory uses and structures.**

- 2 (a) Uses and structures, as regulated in sections 6.12 and 6.13, which are customarily accessory and
3 clearly incidental and subordinate to permitted or permissible uses and structures, and are not of a
4 nature prohibited under section 20.5.
- 5 (b) Home occupations, subject to the conditions set forth in section 6.5 of this Code.
- 6 (c) Residential docks, including tie poles, shall be in conformance with the provisions of section 6.23 and
7 other applicable codes and ordinances of the city, county or state.
- 8 (d) Temporary structures shall follow the provisions of section 6.11.

9 **Sec 20.05 Allowable conditional use.**

10 Subject to the provisions or restrictions contained in this section and elsewhere in this Code, allowable
11 conditional uses in the PAG Overlay District are as follows:

- 12 (a) All permitted conditional uses allowed for in the underlying zoning district.

13 **Sec 20.06 Prohibited uses and structures.**

14 All uses and structures not of a nature specifically or provisionally permitted herein or within the underlying
15 Future land use map are hereby prohibited in the PAG Overlay District.

16 Any use which the City Commission, upon appeal, and after investigating similar uses elsewhere, shall
17 determine to be potentially noxious, dangerous or offensive to residents of the PAG Overlay District or to
18 those who pass by on public roadways, by reason of odor, smoke, noise, glare, fumes, gas, fire, explosion
19 or emission of particulate matter or likely for other reasons to be incompatible with the character of the PAG
20 area, is hereby prohibited in the PAG Overlay District.

21 **Sec 20.07 Density, intensity and assembly of parcels.**

- 22 (a) The maximum residential density permitted in the PAG Overlay District shall not exceed the
23 number of units per acre permitted by the underlying land use map for undeveloped parcels of
24 land.
- 25 (b) The existing residential density, exceeding one density unit, of an existing residential structure
26 shall be permitted to rebuild on the existing parcel of land, with the same density as the existing
27 structure(s) has if the building was constructed prior to (insert adoption date) and can meet the lot
28 requirements, by building type, in Sec.20.12 of this Division .In addition, any new construction
29 cannot exceed the existing developed square footage and match the existing form and mass as
30 defined in Sec. 20.22 herein.
- 31 (c) The existing Hotel/Motel units shall be permitted to rebuild on the existing parcel of land, with the
32 same number of units that already exist as a rental/leasable room within the existing built hotel if
33 the building was constructed prior to (insert adoption date) and can meet the lot requirements of a
34 Boutique Hotel Building Type as provided in Sec. 20.15 of this Division.
- 35 (d) No more than two lots of record may be combined to accommodate additions to existing structures.

36 **Sec 20.08 Maximum floor area ratio.**

37 Maximum floor area ratio (FAR) for non-residential uses: Underlying Zoning District requirements.

38 **Sec 20.09 Maximum impervious surface ratio.**

39 If a parcel opts for new construction or addition to a single family home using the underlying zoning district
40 standards, the ISR shall be determined by the underlying zoning district. The ratio's listed below are subject
41 to any of the building types, defined in Sec. 201.14 that are used.

Maximum impervious surface ratio (ISR) for residential and transient accommodation uses: 0.70.

Maximum impervious surface ratio (ISR) for non-residential uses: Underlying Zoning District requirements or existing building footprint.

Sec 20.10 Reduced setbacks for contributing structures granted a certificate of appropriateness.

Proposed additions to contributing structures may be eligible for a reduction in setback requirements if the proposed plans have been reviewed, approved, and issued a certificate of appropriateness by the Historic Preservation Board pursuant to Division 28. The purpose of this regulation is to ensure the design is compatible design with neighboring structures.

Design review shall be based on the requirements set forth in the underlying zoning district and the PAG Overlay District herein and for consistency with the Secretary of Interior's Standards for Rehabilitation. If the Historic Preservation Board finds that an addition is consistent with the Secretary of the Interior's Standards and that the addition would not preclude the structure's continued designation as a contributing structure, and approves a certificate of appropriateness for the plans, then the applicant can request a reduction to any and all of the setbacks, provided the setbacks are consistent with the same block of the proposed addition by providing the historical setback data for the street front (both faces) the parcel is on and the historical setbacks along that particular street that will be evaluated by the Historic Board. The following setbacks shall be considered:

Setback	
Front yard	10 feet
Secondary front yard	5 feet
Side yard	10 percent of the lot width (each)
Rear yard	10 feet

The addition must still meet impervious surface, floor area, height, herein and the landscaping, and buffering standards as identified in this Division. The reductions in setbacks do not abrogate the responsibility of the designer or homeowner to incorporate these requirements into the plan.

Sec 20.11 Minimum building type requirements.

Lots of record within the PAG Overlay District shall be deemed conforming despite the width and size regulations in the building types, so long as the lots are not further subdivided, and the condition existed prior to the adoption of the Division. No more than two lots of record may be combined to accommodate additions to existing structures.

Sec 20.12 Subdivision of lots

Lots within the PAG Overlay District shall not be subdivided to a size smaller than the platted lot of record and/or building lot types in this Division. Existing structures that are listed as contributing structures in the most recent Historic Resources Survey or that are locally designated historic structures are exempt from the setbacks imposed by this Division; however, additions and accessory structures shall comply with the standards in Section 20.15, by building type. All other structures shall also comply with the setbacks and required yards imposed by the building types in this Division, Sec. 20.15.

Sec 20.13 Residential development option for single-family homes

Any parcel within the PAG Overlay District with a Residential Zoning District designation of RU-2, RLM-2, or RM may develop a single family residential house using the underlying residential zoning standards for additions or new construction: If an applicant uses the underlying residential zoning district standards, for new construction or additions the following standards shall be met:

- (a) Underlying Zoning Districts minimum lot requirements,
- (b) Underlying Zoning Districts Minimum yard requirements,
- (c) Underlying Zoning Districts Maximum floor area ratio standards; and
- (d) Height shall not exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard the the building side, further provided that the overall roof height shall not exceed 32 feet.

Any other applicable standards within this Division, not expressly stated in this Section, shall apply to new development and redevelopment as outlined in this Division.

Sec 20.14 Vacant parcels

The following procedures shall be followed

- (a) For parcels of land within a residential land use district:

Any parcel of land that is vacant, at the time of adoption, shall only be permitted either:

- 1) Any residential building type that is consistent with the underlying uses permitted in the Future land use plan and must meet the lot width and lot depth as identified, by building type found in Sec 20.15, to determine the appropriate standards to apply to that parcel, or
- 2) Provisions listed in Sec 20.13 of this Division

- (b) Parcels of land within non-residential land use districts:

Any parcel of land that is vacant, at the time of adoption of the PAG Overlay District, shall be permitted any of the non-residential building types that are consistent with the existing lot width/depth of the parcel of land. Assembly or parcel splits shall only be permitted through the City Commission, to determine the compatibility and respect for the existing character of the PAG Overlay District.

Sec 20.15 Permitted building types

Building types are permitted by the following criteria:

- (a) Existing Parcel Size, and
- (b) Existing Density, Units and Rooms

An applicant must provide a survey of the parcel to verify the actual parcel size (lot width/lot depth) or use the City's parcel data information. If the applicant believes the lot width and depth are different than the City's records, the applicant will be required to have a survey of the lot for verification.

A building lot located and designed to accommodate a detached building with large side, rear and front yards.

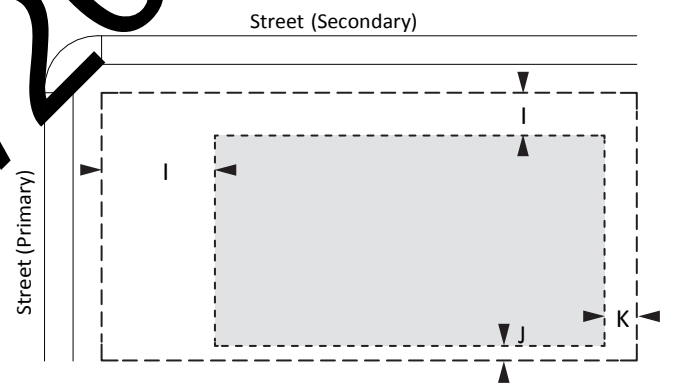
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	--
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	6,000	--
D - Lot Coverage (%)	--	60
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	7	--
F - Side Setback (ft)	7	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	10	--
J - Side Setback (ft)	25	--
K - Rear Setback (ft)	--	80
L - Building Footprint (sf)	--	800
BUILDING HEIGHT		
N - Accessory Structure(s) (ft)	--	28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 1,2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

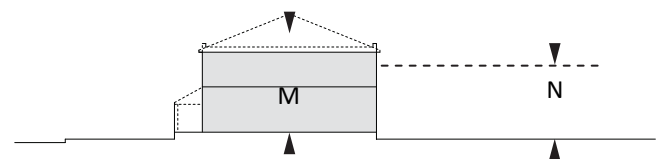
LOT REQUIREMENTS AND BUILDING ENVELOPE



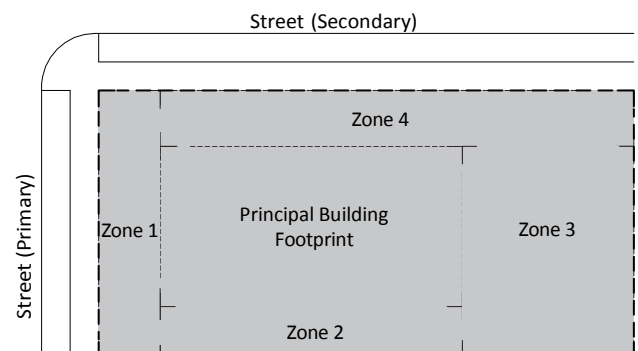
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



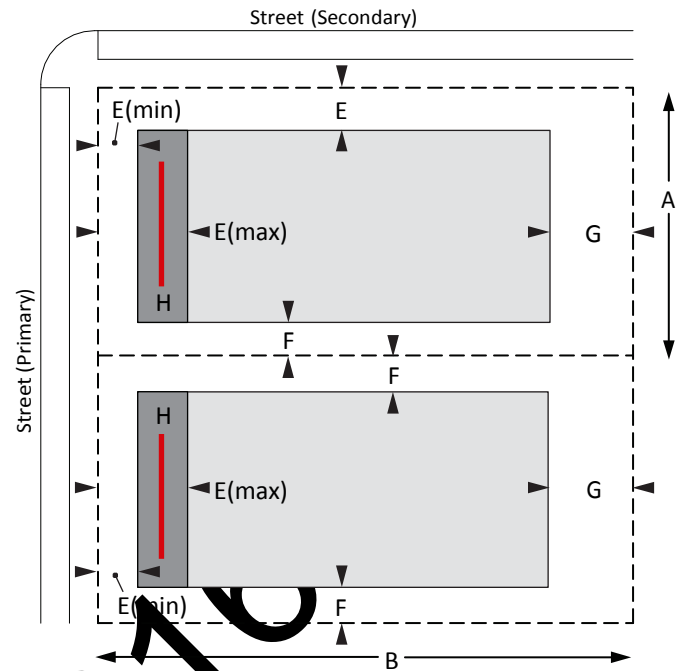
PARKING LOCATION



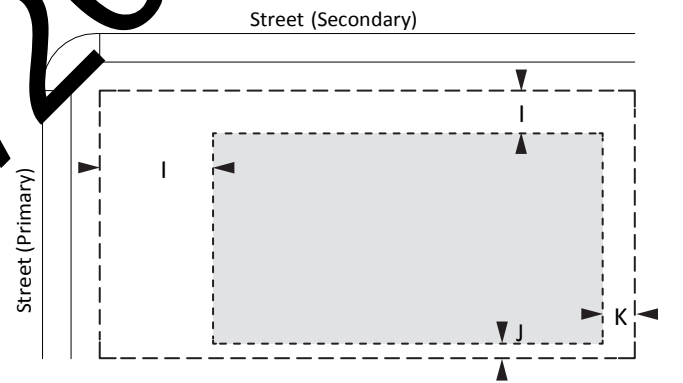
A building lot located and designed to accommodate a detached building with small side yards and a large front yard.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	100	--
C - Lot Size (sf)	4,000	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

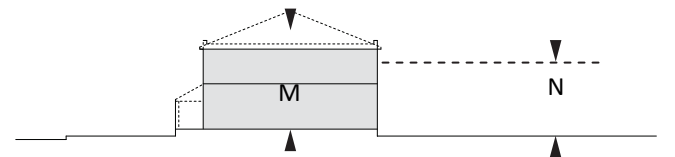
LOT REQUIREMENTS AND BUILDING ENVELOPE



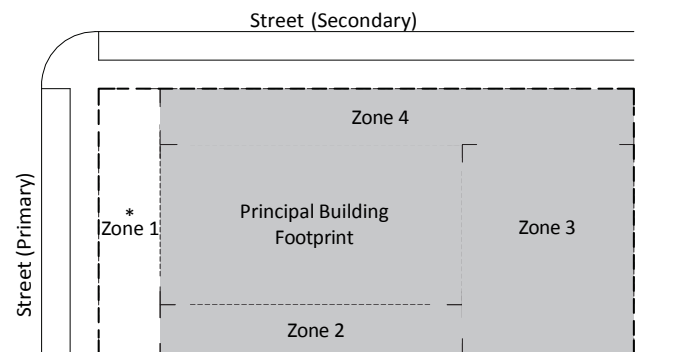
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

A building lot located and designed to accommodate a small detached building with small side and front yards. A maximum of one dwelling unit is permitted.

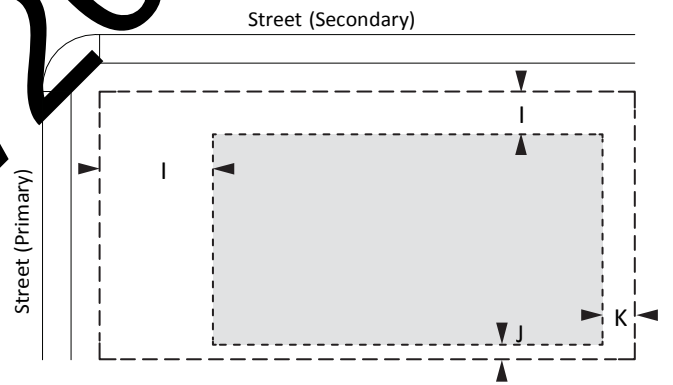
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	32	40
B - Lot Depth (ft)	50	120
C - Lot Size (sf)	1,600	4,800
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	5	10
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	3	--
G - Rear Setback (ft)	10	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	400
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3,4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed		P, S, CY

(1) a lot that is adjacent to the bay or beach is permitted to exceed the maximum setback requirements.

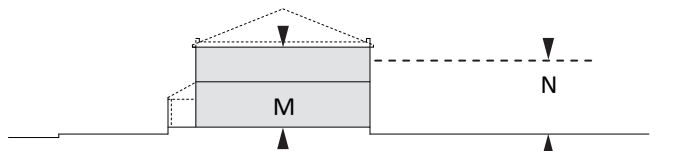
LOT REQUIREMENTS AND BUILDING ENVELOPE



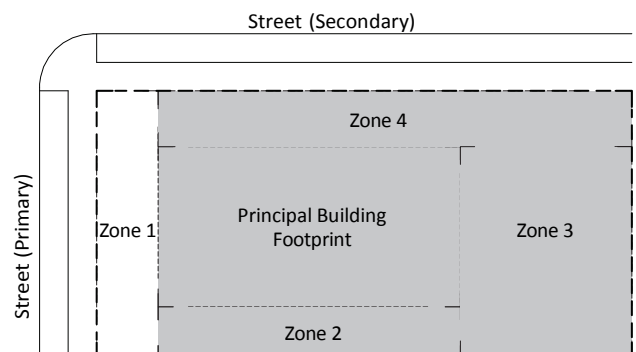
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



A building lot located and designed to accommodate a detached building which resembles a large house but which contains multiple dwellings above and beside each other. A maximum of 4 units are permitted in this building lot. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

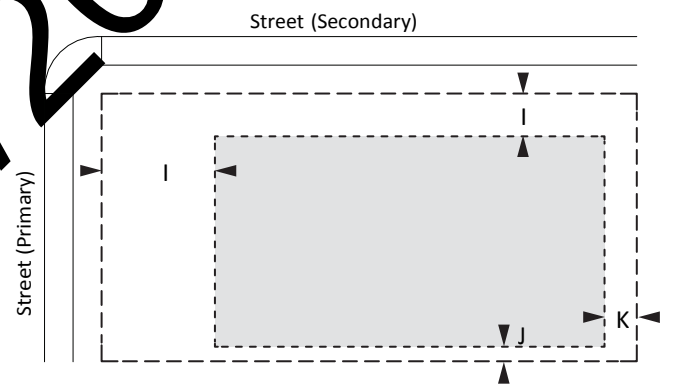
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	55
B - Lot Depth (ft)	80	--
C - Lot Size (sf)	3,200	--
D - Lot Coverage (%)	--	70
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	10	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	2
PARKING PROVISIONS		
Location	Zone 2, 3 and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	P, S, CY	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

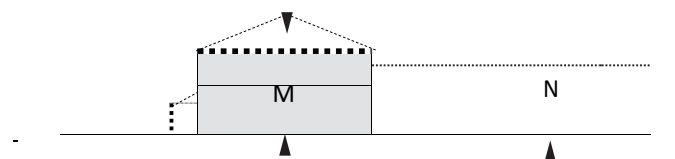
LOT REQUIREMENTS AND BUILDING ENVELOPE



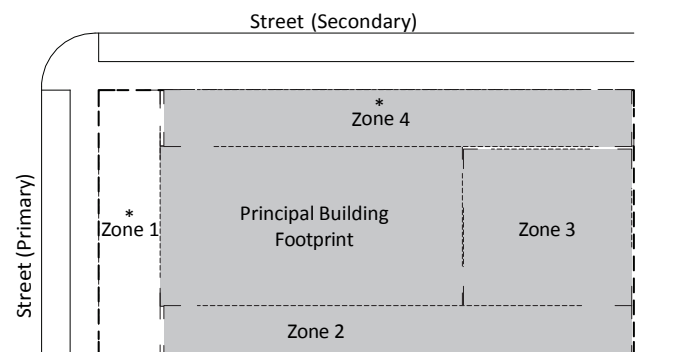
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

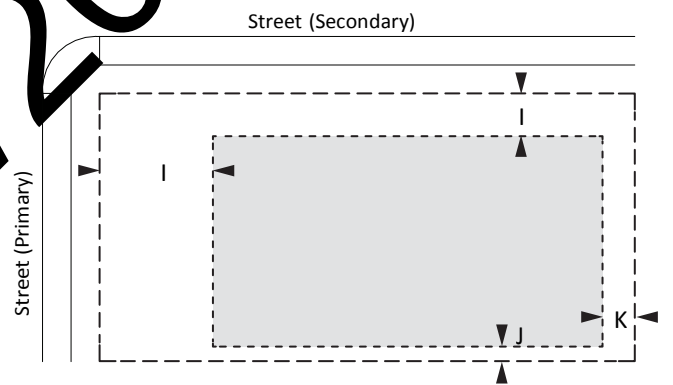
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	90
B - Lot Depth (ft)	100	120
C - Lot Size (sf)	6,000	10,800
D - Lot Coverage (%)	--	75
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	20
Secondary Street Setback (ft)	7	--
F - Side Setback (ft)	7	--
G - Rear Setback (ft)	20	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	3	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF	P, F, S, CY	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

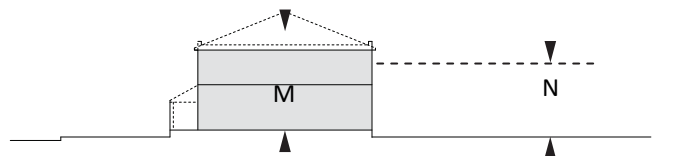
LOT REQUIREMENTS AND BUILDING ENVELOPE



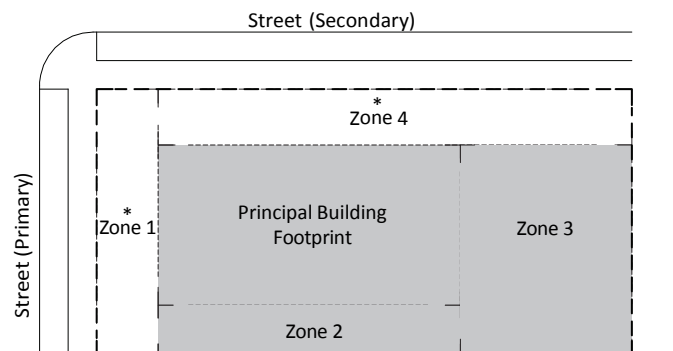
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

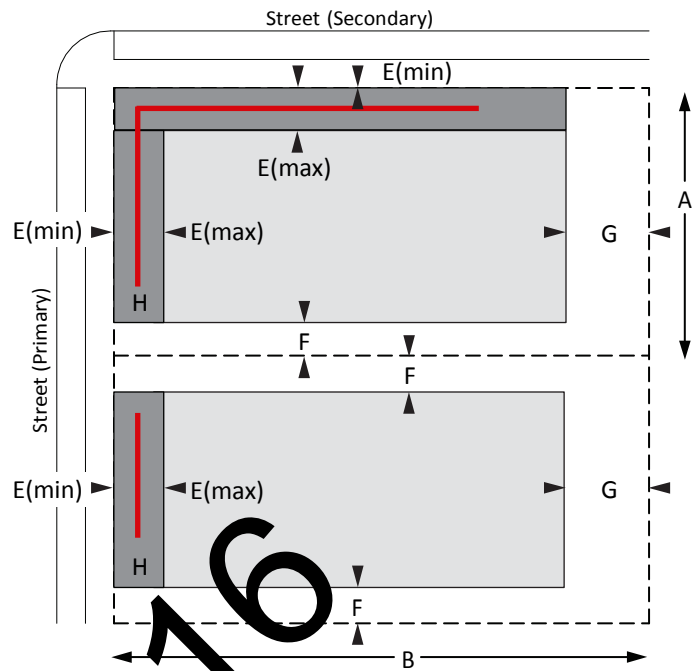


A building lot located and designed to accommodate multiple dwellings above or beside each other in a building that occupies most of its building lot width and is placed close to the sidewalk. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

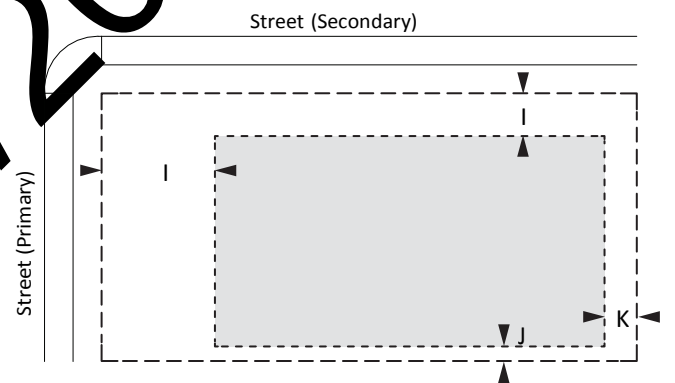
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	90	200
C - Lot Size (sf)	10,800	24,000
D - Lot Coverage (%)	--	75
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed		CY, P, F, S

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

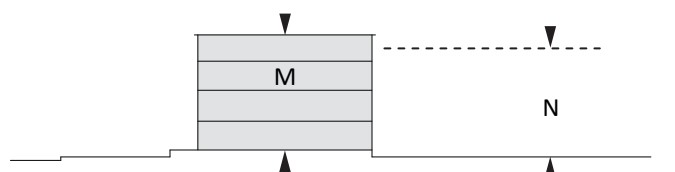
LOT REQUIREMENTS AND BUILDING ENVELOPE



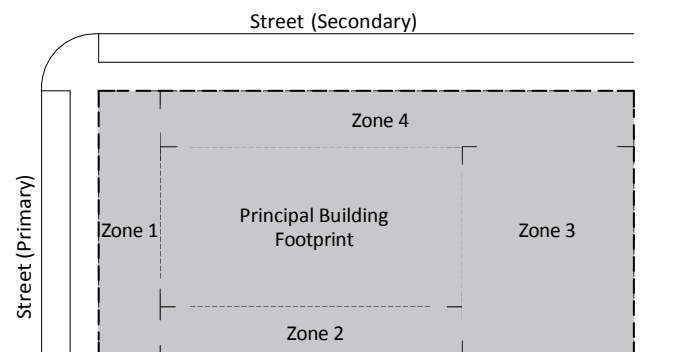
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

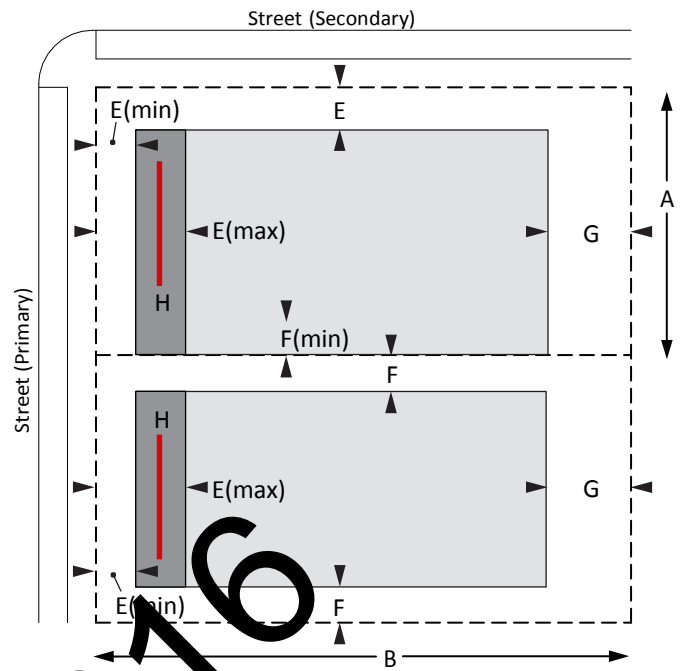


A building lot located and designed to accommodate multiple dwellings arranged around and fronting on a central garden or courtyard that may be partially or wholly open to a street and/or alleyway. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

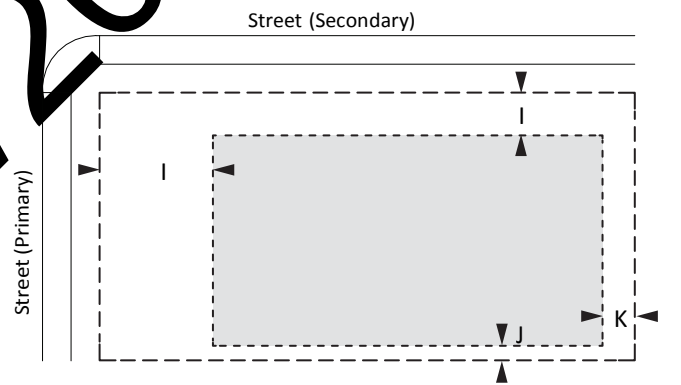
LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	50	200
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	24,000
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	5	--
G - Rear Setback (ft)	20	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	F	

* Porch or balcony that is not enclosed may be located within the 2nd Story setback.

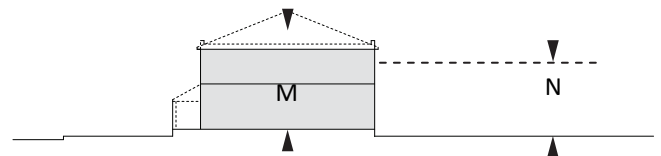
LOT REQUIREMENTS AND BUILDING ENVELOPE



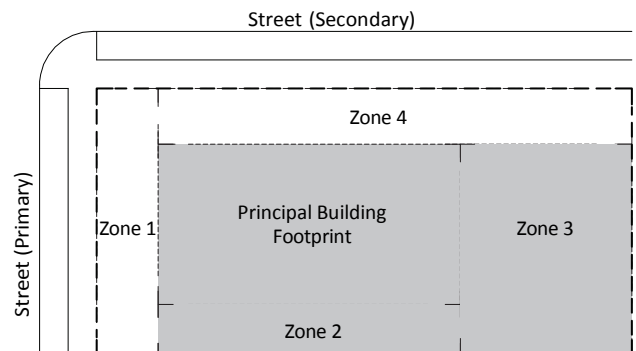
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



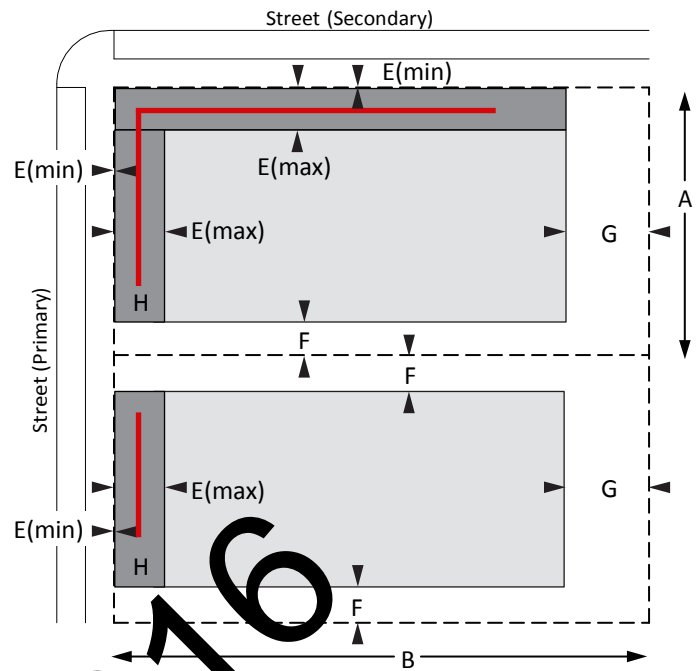
PARKING LOCATION



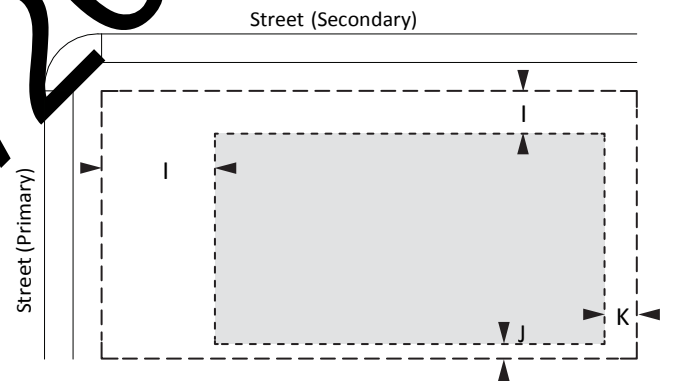
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for smaller lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	20	60
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	1,600	7,200
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	15	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	600
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

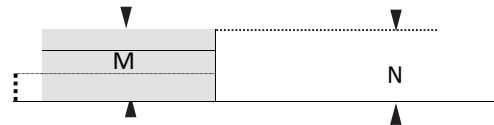
LOT REQUIREMENTS AND BUILDING ENVELOPE



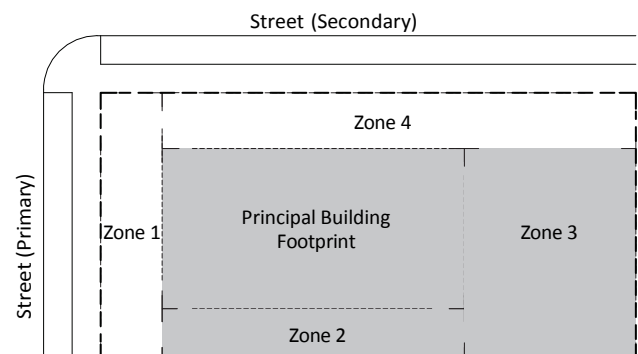
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



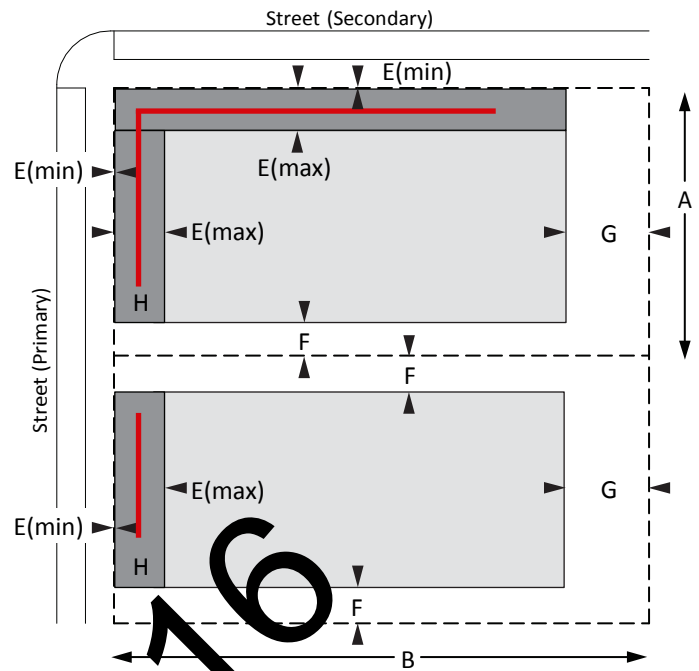
PARKING LOCATION



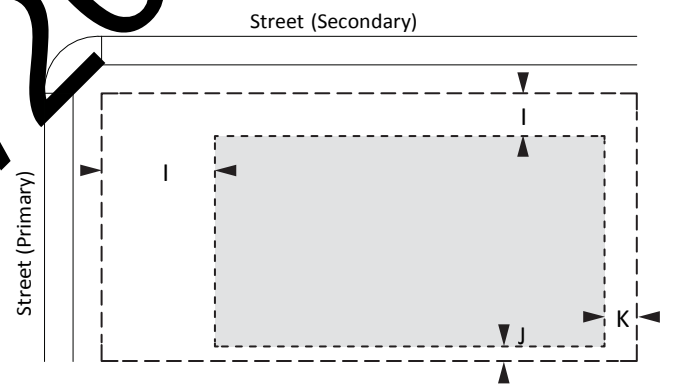
A building lot located and designed to accommodate a multi story building with commercial, office and/or multiple dwellings in any story that is designed for average lot sizes.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	60	150
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

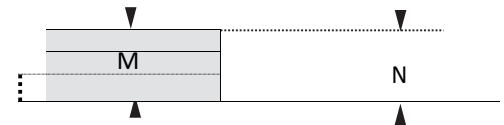
LOT REQUIREMENTS AND BUILDING ENVELOPE



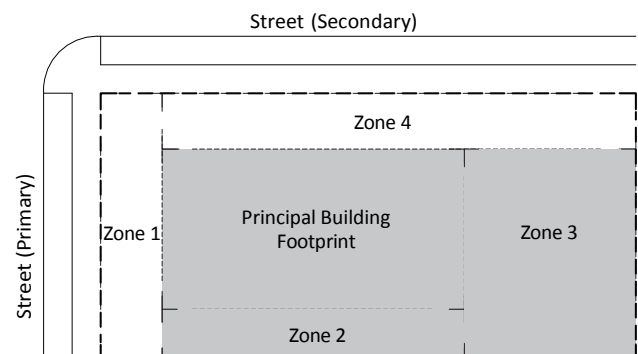
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT

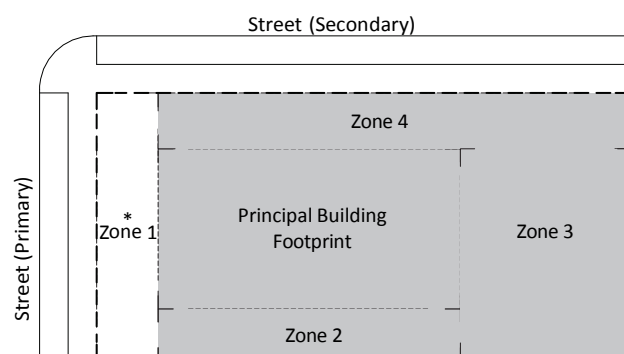
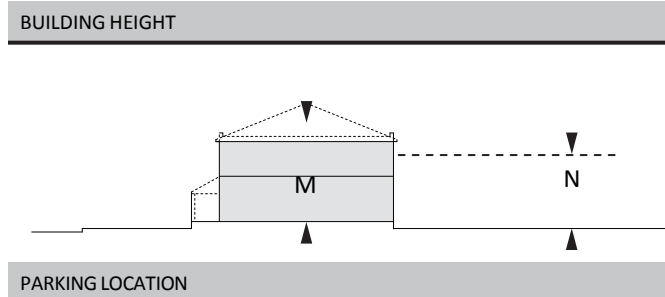
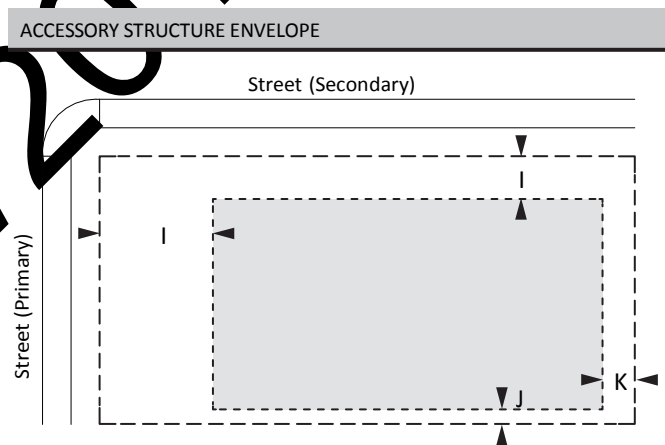
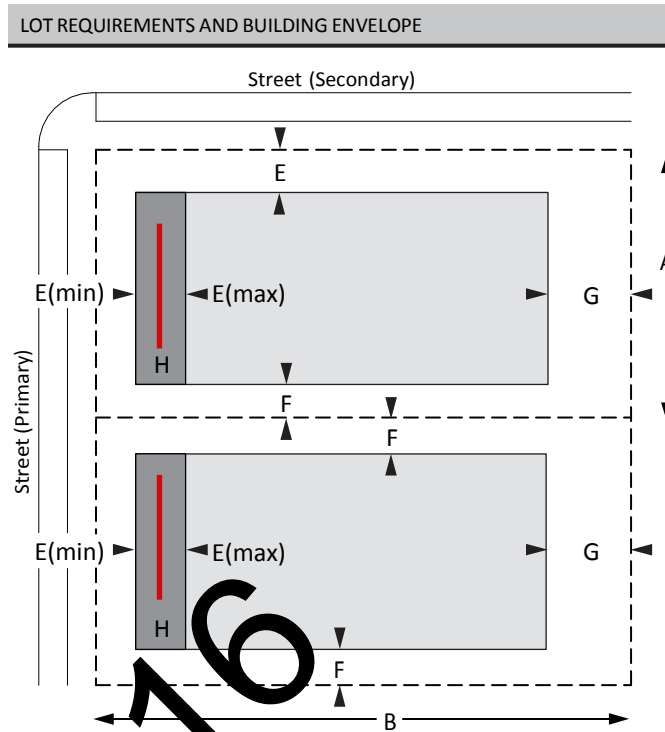


PARKING LOCATION



A building lot located and designed to accommodate lodging. The number of rooms will be confirmed by existing operating hotel rooms. (The units have to be existing prior to redevelopment as stated in Sec.20.06 Density, intensity and assembly of parcels).

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	40	105
B - Lot Depth (ft)	90	125
C - Lot Size (sf)	--	13,125
D - Lot Coverage (%)	--	80
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	15	20
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
Garage Adjacent to Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	'28-32' as defined in Sec. 20.17
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C, P, F, CY,S	

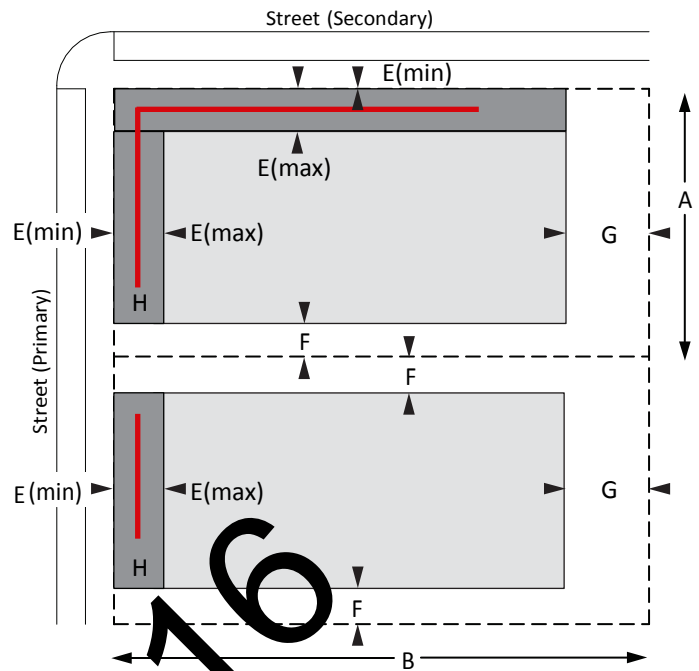


SINGLE STORY COMMERCIAL BUILDING-SMALL

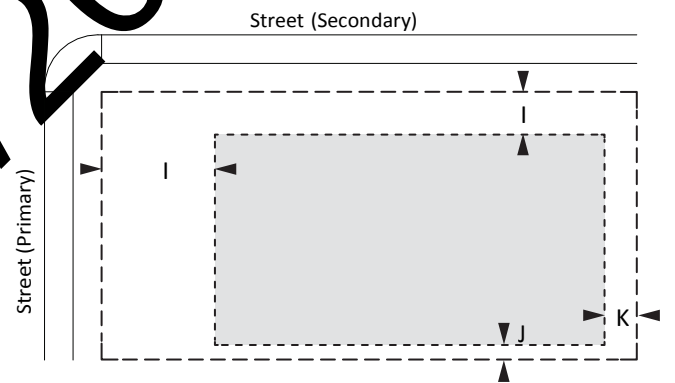
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
B - Lot Depth (ft)	80	120
C - Lot Size (sf)	4,000	6,000
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	
J - Side Setback (ft)	1	--
K - Rear Setback (ft)	10	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C, G, A	

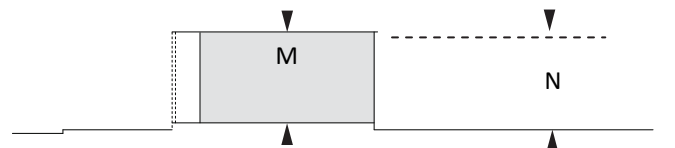
LOT REQUIREMENTS AND BUILDING ENVELOPE



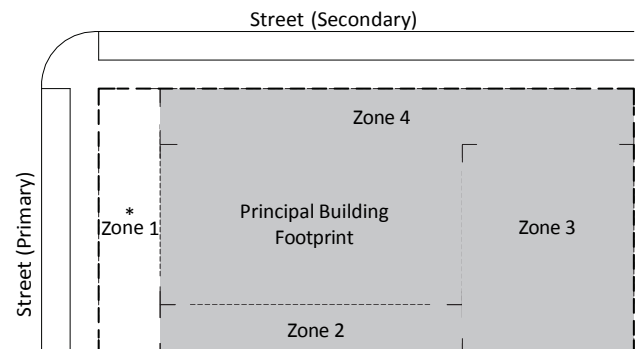
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION

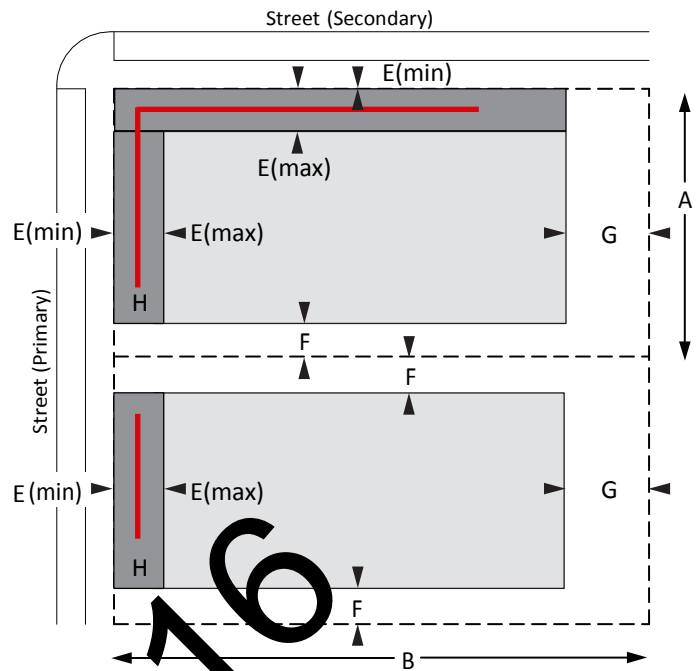


SINGLE STORY COMMERCIAL BUILDING-MEDIUM

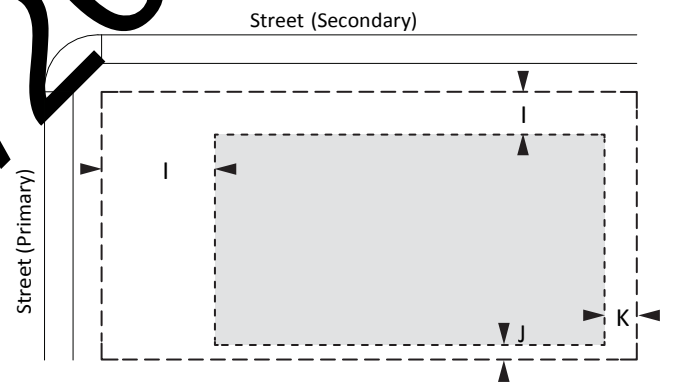
A building lot located and designed to accommodate single use office and retail.

LOT REQUIREMENTS	MIN	MAX
B - Lot Depth (ft)	--	350
C - Lot Size (sf)	--	52,500
D - Lot Coverage (%)	--	90
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	15
Secondary Street Setback (ft)	5	--
F - Side Setback (ft)	0	--
G - Rear Setback (ft)	20	--
Alley	5	--
H - Frontage Buildout (%)	60	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	1	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (st)	--	underlying zoning district
N - Accessory Structure(s) (ft)	--	25
PARKING PROVISIONS		
Location	Zone 2 and 3	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	C	

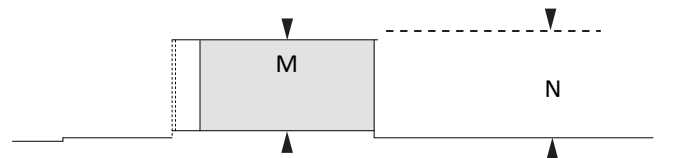
LOT REQUIREMENTS AND BUILDING ENVELOPE



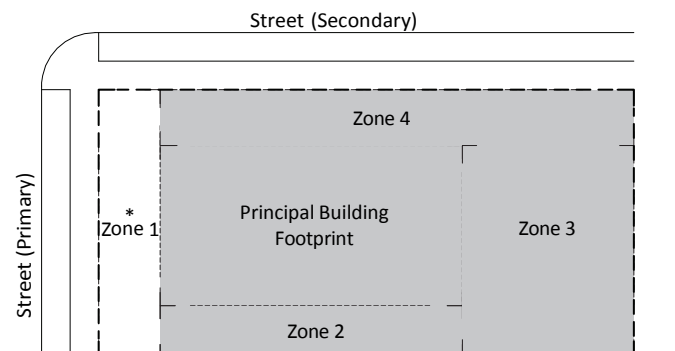
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



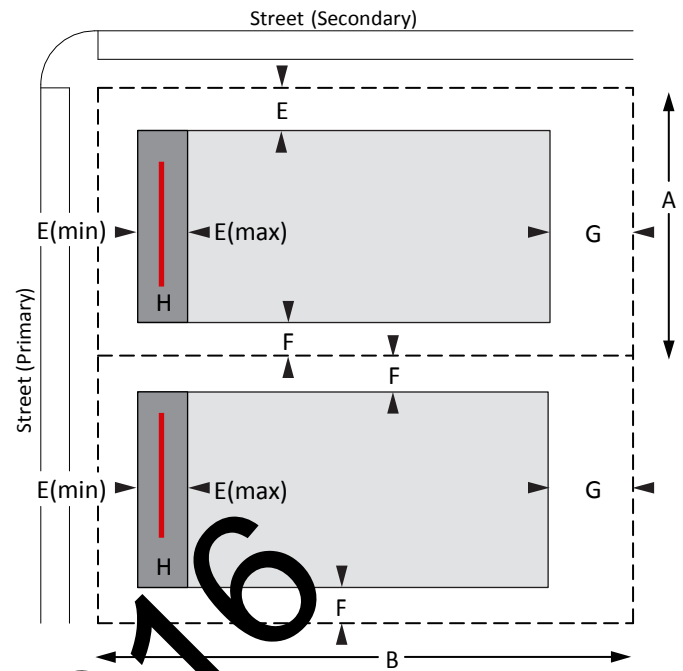
PARKING LOCATION



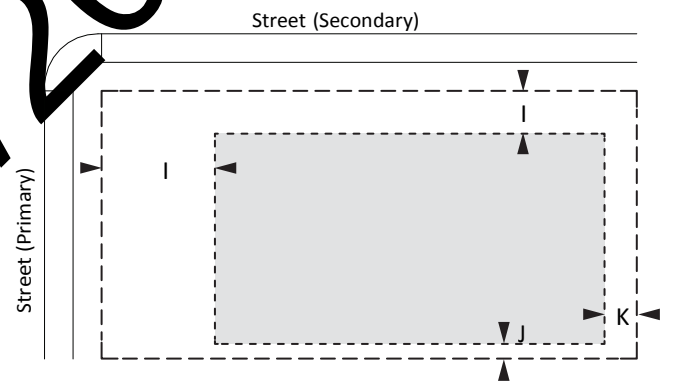
A building lot located and designed to accommodate a building containing public or civic uses such as community services, day care, education, government, places of worship, or social services. This typology is only for permitted and existing institutional buildings.

LOT REQUIREMENTS	MIN	MAX
A - Lot Width (ft)	--	--
B - Lot Depth (ft)	--	--
C - Lot Size (sf)	--	--
D - Lot Coverage (%)	--	--
BUILDING ENVELOPE	MIN	MAX
E - Street Setback (ft)	10	25
Secondary Street Setback (ft)	10	--
F - Side Setback (ft)	10	--
G - Rear Setback (ft)	15	--
H - Frontage Buildout (%)	50	--
ACCESSORY STRUCTURE ENVELOPE	MIN	MAX
I - Street Setback (ft)	30	--
J - Side Setback (ft)	10	--
K - Rear Setback (ft)	--	--
L - Building Footprint (sf)	--	800
BUILDING HEIGHT	MIN	MAX
M - Principal Building (ft)	--	35
N - Accessory Structure(s) (ft)	--	28'
PARKING PROVISIONS		
Location	Zone 2,3, and 4	
PRIVATE FRONTAGES (PF)		
Select a minimum of 1 PF listed	no requirement	

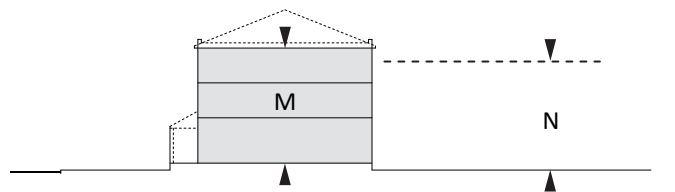
LOT REQUIREMENTS AND BUILDING ENVELOPE



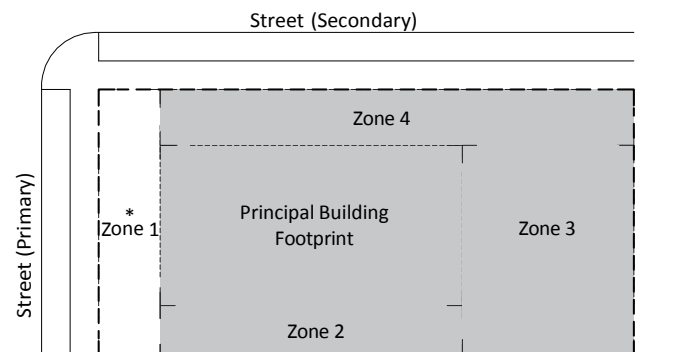
ACCESSORY STRUCTURE ENVELOPE



BUILDING HEIGHT



PARKING LOCATION



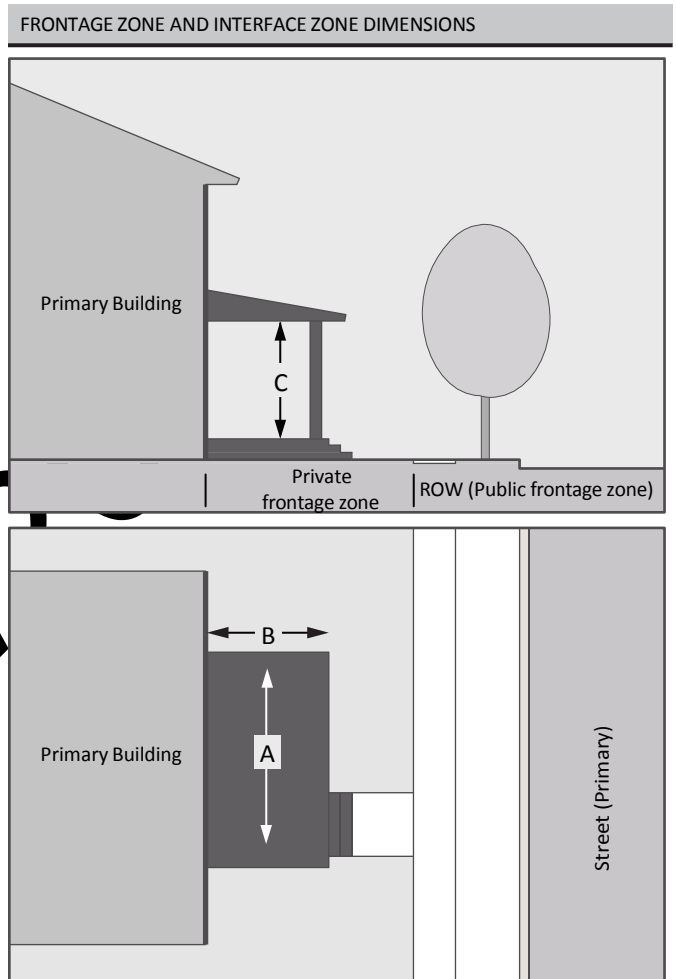
P

PORCH

The façade is setback from the front lot line per applicable street setback requirements. The façade includes an attached front porch structure. A wide variety of porch designs are possible.

FRONTAGE ZONE (FZ)	MIN	MAX
Porch structure requirements:		
A - Width (clear) (ft)	10	--
B - Depth (clear) (ft)	5	--
C - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		

Landscape with path (3' wide min) from sidewalk to structure

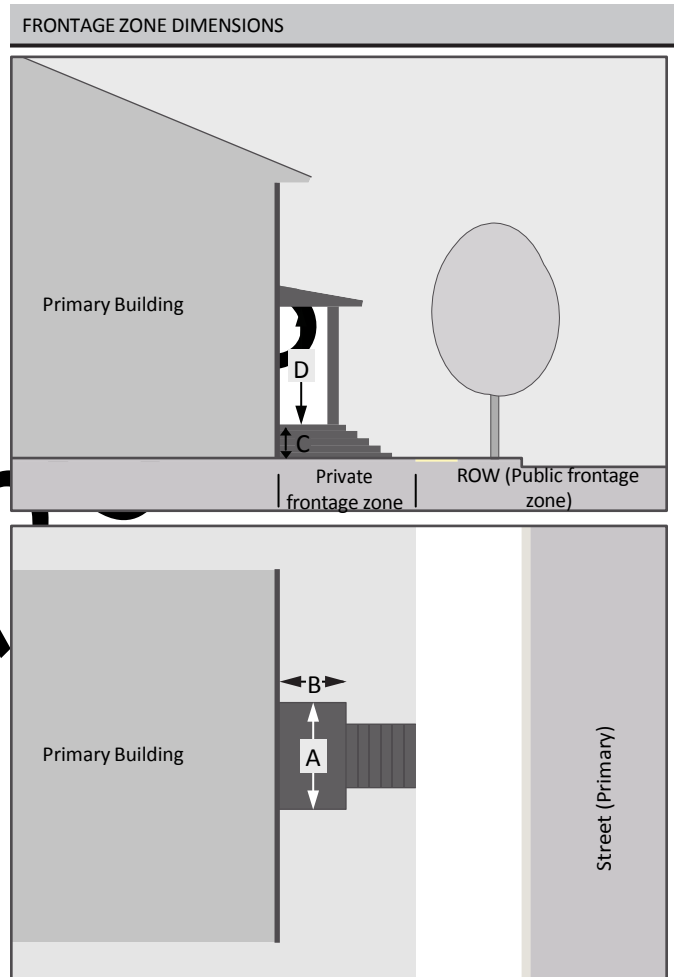


S

STOOP

The façade is set back from the front lot line per applicable street setback requirements. The façade includes an attached entry stoop (an elevated landing with stairs) that is placed at or near the front lot line. The ground floor is elevated to provide privacy. The stoop may include a roof, however it is not required.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Width (clear) (ft)	5	10
B - Depth (clear) (ft)	3	8
C - Height (stoop) (in)	18	24
D - Height (clear) (ft)	7	--
INTERFACE ZONE (IZ)		
Landscape with path (3' wide min) from sidewalk to structure		



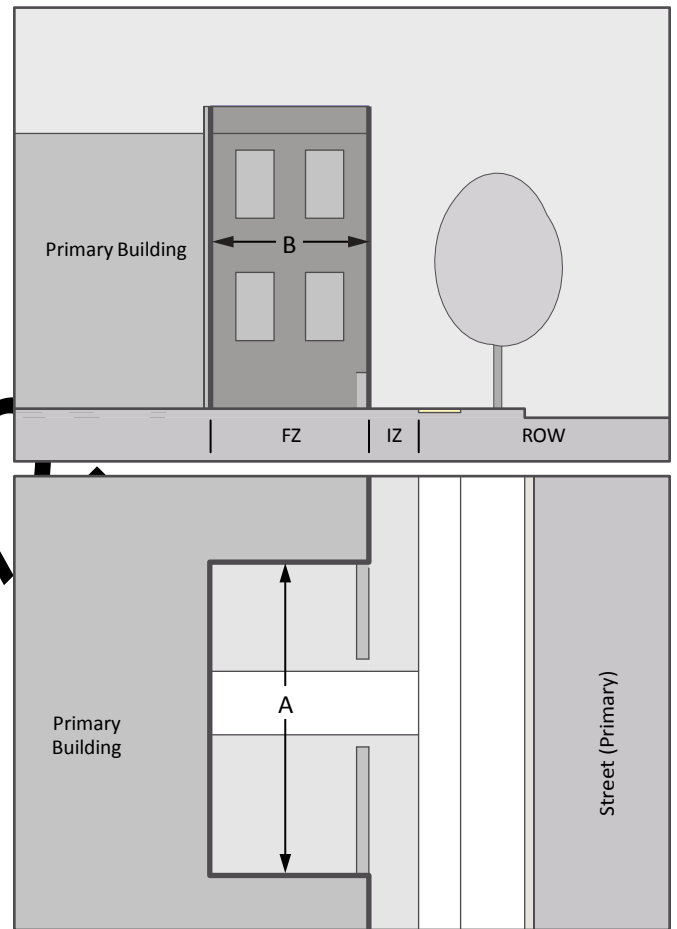
F

FORECOURT

The façade is set back from the front lot line per applicable street setback requirements. A portion of the façade is recessed to form an uncovered court. The court is suitable for outdoor dining, gardens, vehicle drop-offs, formal entries etc. A fence or wall may be used to define the private space of the court. The court may be elevated behind a retaining wall at or near the front lot line with entry steps to the court. The forecourt area may not have a permanent roof structure. Cafe's, seating area's may provide shade, umbrella's or any temporary shelter(s) that provide shade.

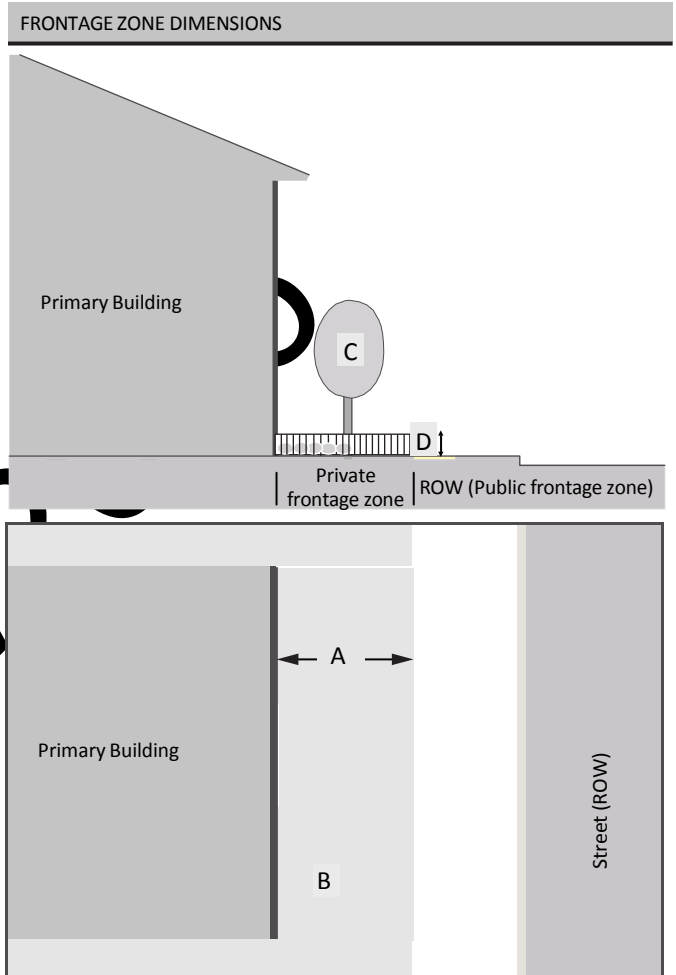
FRONTAGE ZONE (FZ)	MIN	MAX
Courtyard requirements:		
A - Width (clear) (ft)	12	--
B - Depth (clear) (ft)	12	50
INTERFACE ZONE (IZ)		
Landscape with path (6' wide min) from sidewalk to structure		
OTHER REQUIREMENTS		
None		

FRONTAGE ZONE AND INTERFACE ZONE DIMENSIONS



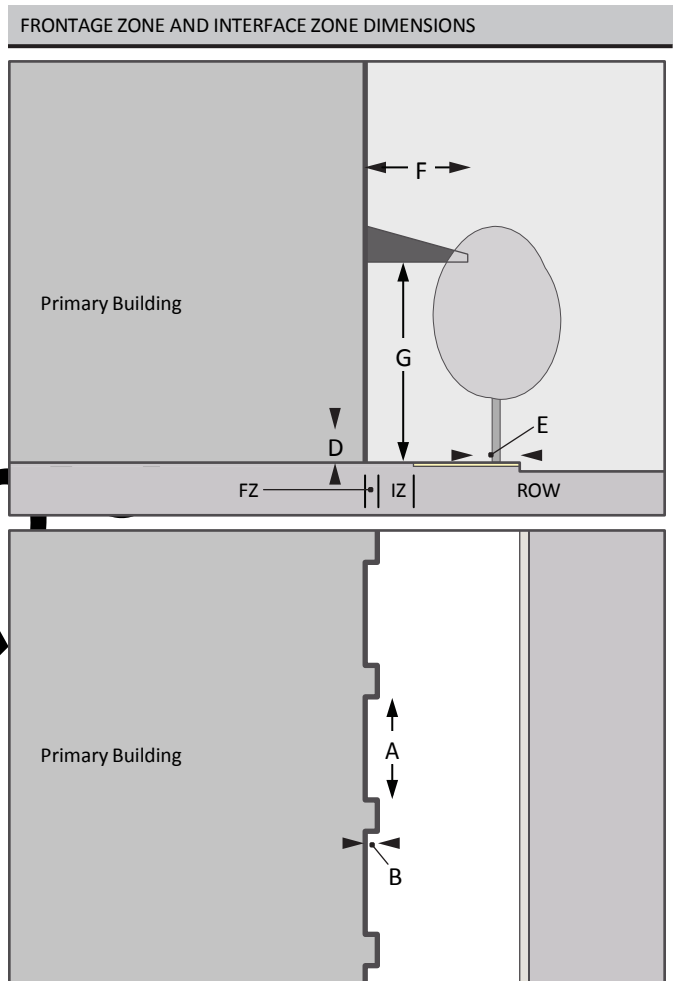
The façade is set back from the front lot line per applicable street setback requirements. The common yard may include a two to four foot in height decorative fence that shall be constructed of wood, shell, or concrete material. The frontyard is required to have a minimum of 1 canopy tree, shrubs, and ground cover.

FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D - Fence Height (feet)	2'	4'



The façade is setback from the front lot line per applicable street setback requirements, typically at or near the front lot line with the entrance at sidewalk grade. The façade may include an awning, shed roof, or gallery (a lightweight colonnade with no habitable building space above it) that covers the sidewalk and may extend into the right-of-way. The facade has a substantial amount of glazing at the sidewalk level. Recessed entrances are acceptable.

FRONTAGE ZONE (FZ)	MIN	MAX
Building facade requirements:		
A - Distance between openings (ft)	10	20
B - Door recess (ft)	--	5
C - Ground floor transparency (%)	60	--
D - Height to bottom of window (ft)	--	2.5
INTERFACE ZONE (IZ)		
Extended sidewalk from right-of-way edge to structure		
OPTIONAL ELEMENTS	MIN	MAX
AWNING or GALLERY		
E - Setback from curb (ft)	2	--
F - Depth (clear) (ft) *(Gallery min 8')	4	10
G - Height (clear) (ft)	8	--
OTHER REQUIREMENTS		
None		



Sec 20.16 Private frontage

The building types in Sec. 20.15 provide the acceptable private frontages (i.e. porches, stoops, etc.) for that building type. If there are multiple frontages provided in the table, the applicant may choose what private frontage to provide per building. A minimum of one frontage will be required for new construction when listed on the chart, by Building Type. The private frontage area may count towards the calculation of the frontage build out requirement under the "Building Envelope" category, by building type, in Section 20.15.

Sec 20.17 Building height

Each building lot typology in Sec. 20.15 provides the range of height appropriate for the building type. No new or substantially improved building within the PAG Overlay District and having the underlying zoning designation of THD, RU-2 Residential, RLM-2 Residential, or RM Residential shall be constructed not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet. Base flood elevation requirements are outlined in Sec. 98-33 of the City's Code of Ordinances.

	MIN	MAX	HEIGHT
Building facade requirements:			
A - Base Flood Elevation (BFE) refer to Sec. 98-33			
B - Finished Grade (FG)	Determined by the BFE & FG		
C - Height of Floors (liveable)	8	14	
D - Total Height (Measurement from the BFE)	--		
Residential*	--	8-32*	
Commercial (non-residential)		Refer to underlying Zoning District	

*Not to exceed 28 feet in height to the midpoint of a sloped roof or top of the parapet of a flat or low sloped roof, and measured from the base flood elevation determined under the most restrictive applicable standard for the building site, further provided that the overall roof height shall not exceed 32 feet.

Sec 20.18 Minimum off-street parking requirements.

- Residential: Shall be in accordance with the requirements of Division 23 of the Land Development Code, Off Street Parking and Loading.
- Nonresidential: may reduce the number of spaces, if on-street parking is available, then an applicant can count any on-street parking within 500 feet of the parcel.

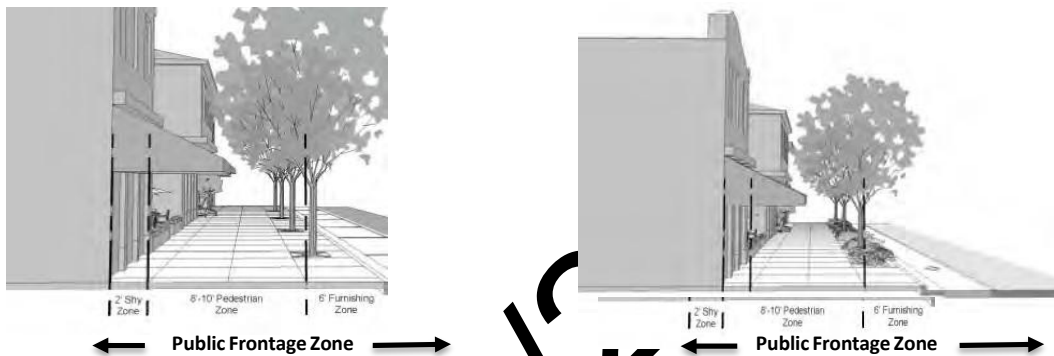
Sec 20.19 Alleyways

- The PAG Overlay District has existing alleyways that shall be maintained as an alleyway.
- Under no circumstance shall an existing alley be reduced in the width and length.
- Parking is permitted adjacent to an Alleyway or where the City has identified, through signage, that vehicles may park within the alleyway. Under no circumstance shall a parked vehicle impede the vehicular movement.
- Alleyways shall not be permanently closed or vacated.

Sec 20.20 Landscaping Standards

(a) Streetscape Standards. When the City requires improvements to the "Public Frontage" Zone which includes: Furnishing zones, pedestrian zones and a shy zone, the following standards shall apply.

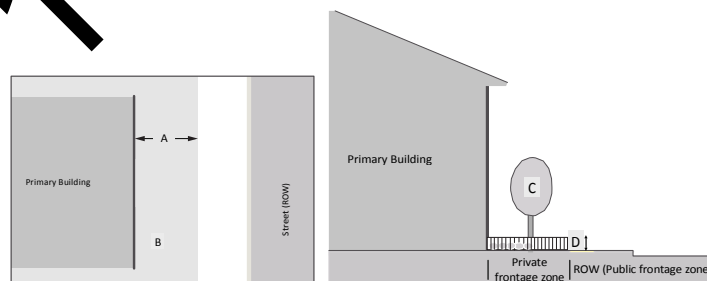
- 1) Furnishing Zone that is a minimum of six feet in depth and may include street lights, benches and canopy trees. A furnishing zone shall include one of the following: Tree Grate Standards. One canopy tree per 30 feet in lineal building shall be provided the entire length of the parcel the building is fronting.
- 2) Planter Beds. A minimum width of 6 feet with a maximum length of 25 feet that contains 1 canopy tree per bed and 100 percent ground cover.
- 3) Pedestrian Zone, 8-10 feet of unobstructed sidewalk
- 4) Shy zone, comprised of 12 inches to 2 feet that includes the area from the edge of the building to the edge of the pedestrian zone.



(b) Landscape Buffers shall not be required between any uses within the PAG Overlay District.

(c) Front Buffers for all Residential building type, excluding the Apartment Building, shall provide the following:

- 1) Front fence or landscape buffer shall be provided and include the following:
 - i. An ornate hedge, height not to exceed 3 feet when fully matured and/or
 - ii. Kneewall and/or fence. Permitted materials are wood, shell or concrete material consistent with the overall architecture and design of the primary residence.



FRONTAGE ZONE (FZ)	MIN	MAX
Stoop structure requirements:		
A - Landscape	grass and or ground cover	
B - Shrubs, ground cover	10 (3 gallon)	--
C - Tree (canopy tree)	1	--
D - Fence Height (feet)	2'	4'

Sec 20.21 Screening of elevated buildings.

A building required by Section 98-33 of the City's Code of Ordinances, to be elevated more than three feet above grade shall mask the fact that it is elevated through the use of appropriate architectural screening so that the building, when viewed from public rights-of-way, appears to have been constructed at, or near, natural grade as follows:

(a) Architectural screening shall:

- 1) Create a visual continuity that is integrated with the overall design and architecture of the home using doors, garage doors, entryways, staircase and/or archways.
- 2) No more than 20% of the area being screened can be transparent.

(b) Landscape screening shall be installed:

- 1) A minimum 3-foot-wide landscape area
- 2) One understory tree per 20 lineal feet (or portion thereof) of the elevated building length/width viewed from public rights-of way.
- 3) Planted with shrubs, ornamental grasses and groundcovers to provide 100% coverage of the landscape area within one growing season. The landscape design shall (unless spatially impractical) provide layering of plant materials that includes larger background shrubs and low foreground groundcovers. All plant material should be Florida Friendly plantings as defined and identified by University of Florida/IFS horticulture expert.
- 4) Permanent mulch materials, such as organic mulches, stones, and recycled inorganic groundcover materials are not permitted in lieu of vegetation, unless they are provided as accent or focal points that enhance the landscape design.

(c) Apartment Building Types (Apartment House, Apartment Building Small and Apartment Building Medium) shall also meet the following standards:

- a. Parking may only be accessed from the side or rear of the building
- b. No portion of the primary building shall have garage doors facing any street.
- c. Parking may be located within the BFE provided the primary face of the building is architecturally designed to be consistent with front entryways of homes that are integrated and not visually seen from any street.

Sec 20.22 General building design (residential)

In addition to the required private frontages and the standards provided in each frontage, the following standards shall be applied to all residential building types (House and Apartment Building Types) in order to maintain the overall mass and scale, of the PAG community's existing housing stock.

The following standards are included to provide a minimum criteria needed to review the overall design, mass and scale as outlined below while allowing an applicant flexibility in the design of the building. The design criteria are typical design elements used by architects to ensure a higher quality development.

Any single family or attached residential must design the building with the following architectural elements:

(a) The mass of a building must include:

- 1) Primary Mass. The building shall have a distinct primary mass
- 2) Secondary Mass. A building should also include secondary mass (private frontage requirements) that form the façade of the building.

- 3) Voids that allow for natural breaks in the mass
- (b) Proportional design elements shall include:
 - 1) Rectangular windows in varying, yet similar arrangements
 - 2) Window size is consistent
 - 3) Correct vertical visual consistency at the centerline of the façade
 - 4) Correct ratios of visual width between top and bottom halves of the elevation (bottom ½ clearly supports the top)
 - 5) Overall design shall be symmetrically or asymmetrically balanced.
- (c) Design must include the following rhythms:
 - 1) Proximity (objects close together complement each other).
 - 2) Similarity- common textures, colors or features.

Sec 20.23 General building design (non-residential)

In addition to the required private frontages and the standards provided in each frontage, the following standards shall be applied to non-residential building types only.

- (a) Public entrance. Buildings that are open to the public shall have an entrance for pedestrians from the street to the building interior. This entrance shall be designed to be a distinctive and prominent element of the architectural design, and shall be open to the public during business hours. Buildings shall incorporate lighting and changes in mass, surface or finish which places an emphasis to the entrance.
- (b) Building orientation. The primary building entrances shall be visible and directly accessible from a street or park space that has a sidewalk or pedestrian path.
- (c) Storefront character. Buildings shall express a "storefront character". This guideline is met by providing all of the following features along the building frontage as applicable.
 - 1) Regularly spaced and similar shaped windows with window hoods or trim (all building stories).
 - 2) Large display windows on the ground floor. All street-facing, park-facing and plaza-facing structures shall have windows covering a minimum of 40% and a maximum 80% of the ground floor of each storefront's linear frontage. Blank walls shall not occupy over 50% of a street-facing frontage and shall not exceed 20 linear feet without being interrupted by a window or entry. Mirrored glass, obscured glass and glass block cannot be used in meeting this requirement. Display windows may be used to meet this requirement if the first floor has not been design as a flood proof first floor.
- (d) Building façade. Buildings shall provide a foundation or base, typically from ground to bottom of the lower windowsills, with changes in volume or material. A clear visual division shall be maintained between the ground level floor and upper floors with either a cornice line or awning from 12' to 16' above grade, whichever applies to the proposed development. No more than 20 feet of horizontal distance of wall shall be provided without architectural relief for building walls and frontage walls facing the street. All buildings excluding single family detached homes shall utilize at least three of the following design features to provide visual relief along all elevations of the building:
 - 1) Divisions or change in materials (materials should be drawn from a common palette).
 - 2) Window bays.
 - 3) Separate entrances and entry treatments, porticoes extending at least five (5) feet.
 - 4) Variation in roof lines.
 - 5) Balconies: 6' maximum may project into the front or side street setbacks.
 - 6) Dormers.
 - 7) Canopies, extending at least five (5) feet.
 - 8) Gables.

- 9) Overhang extending at least five (5) feet.
- 10) Recessed entries (at least three [3] feet from the primary façade).
- 11) Protruding entries (at least three [3] from the primary façade).
- 12) Covered porch entries.
- 13) Cupolas.

Sec 20.24 Design review and required drawings

An applicant shall be subject to the City's (insert the building permit process). In addition, any development within the PAG Overlay District using the building types as provided in this Division shall submit architectural elevations of all facades of all structures subject to this Division and shall be a required exhibit for plan approval which does not subrogate any requirements outlined in Division 5, Site plan approval procedures, and building permit process. Such exhibits shall include colors, materials, building dimensions, mass and scale proportions, location of service areas and mechanical equipment, screening devices, parking, site furnishings, lighting fixtures, all signage, and any other information as determined necessary to ensure consistency with the intent of this Division. All elevations and overall design must be signed and sealed by a licensed architect registered in the State of Florida and must provide a summary and illustrations that identify each standard listed in Section 20.22 or 20.23 of this Division. The City may request review by the Historic Preservation Board to ensure compatibility of new construction or additions within the PAG overlay district.