

HISTORIC PRESERVATION BOARD

MINUTES

JANUARY 5, 2017

3:30 P.M.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT:

Sean Hurley, Vice Chair
Tina Douglass, Member
Ingrid Jacobus, Member
Yann Weymouth, Member

ABSENT:

Chris Marone, Chairman

ALSO PRESENT:

Jennifer Bryla, Community Development Director
Chelsey S. Welden, Planner II
Mary Jo Murphy, Deputy City Clerk

1. Changes to the Agenda

There were no changes to the agenda.

2. Audience Comments

There were no audience comments.

3. Minutes for Acceptance – 12/1/2016

Member Jacobus made a motion to approve the December 1, 2016 Historic Preservation Board minutes as presented. The motion was seconded by Member Douglass and unanimously approved by a roll call vote (4 yeses - 0 nos).

4. Public Hearing

A. Ordinance 2016-19

Tara Salmieri, PlanActive Studio, gave a presentation to the board and reviewed documents entitled "Project Timeline" and "Division 20 – Pass-A-Grille Overlay District."

There was board discussion with Ms. Salmieri in regard to Ordinance 2016-19.

Vice Chair Hurley asked for audience comments.

Jim Anderson, 301 41st Avenue, spoke in regard to his concerns with Section 20.07, (b) and (c), Density, intensity and assembly of parcels." Also, Mr. Anderson submitted and reviewed a two-page document entitled "The Countywide Rules Amended through May 31, 2016" to the Historic Preservation Board and the Deputy City Clerk.

Joe Caruso, 1301 Gulf Way, spoke about redeveloping the Sabal Palms Inn, submitted renderings, and discussed building height.

Tara Salmieri spoke in regard to building height, building typology, the Pass-A-Grille overlay and zoning.

Joe Caruso, 1301 Gulf Way, spoke about building height and zoning.

Ralph Lickton, 1706 Pass-A-Grille Way, St. Pete Beach, spoke in regard to multi-family and the destruction of designated and contributing structures.

Jim Anderson, 301 41st Avenue, spoke in regard to his disagreement with Section 20.18, (b), "Minimum off-street parking requirements."

Vice Chair Hurley asked for further audience comments. Hearing none, Vice Chair Hurley closed audience comments.

Member Weymouth made a motion to accept 2016-19 with these four items: first, the cupolas are not to be included in the height of the building structure, have a ratio to be determined and to be on a pitched roof; second, remove 20.22(b)2, "Window size is consistent"; third, move the first sentence in Section 20.23, General building design (non-residential), Item (d), and make it Item No. 14 under that section; fourth, raise the permitted height of Boutique Hotel typology on Gulf Way to 35 feet with the proviso that for every additional foot of height above the normal permitted height, that the setback from the property line be increased, on a one-to-one basis, from the front setback. The motion was seconded by Member Jacobus and was unanimously approved by a roll call vote (4 yeses - 0 nos).

Ralph Lickton, 1706 Pass-A-Grille Way, St. Pete Beach, spoke in regard to the Havana Inn, cupolas and thanked Member Weymouth for his comments.

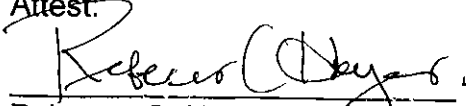
5. Discussion Items

Member Weymouth requested to find a way to communicate with city commissioners to discuss items reviewed by the Historic Preservation Board and the enforcement of the preservation of historic buildings. Ms. Bryla offered to discuss with the City Manager whether this could be a topic for the Community Development Department to explore.

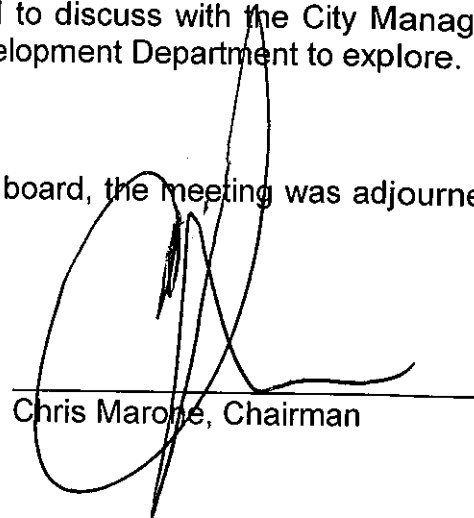
6. Adjournment

There being no further business to come before the board, the meeting was adjourned at 5:33 p.m.

Attest.



Rebecca C. Haynes, City Clerk



Chris Marone, Chairman

Minutes approved on: 3/4/17