



HISTORIC PRESERVATION BOARD MEETING

CITY OF ST. PETE BEACH

155 Corey Avenue
St. Pete Beach, FL 33706

Thursday, 10/5/2017
3:30 p.m.

Call to Order
Pledge of Allegiance
Roll Call

- 1. Changes to the Agenda** – Agenda items to be added, moved or deleted will be addressed at this time. Items added will be assigned agenda item numbers and items that are moved will retain the same item numbers. A notation will be made that those items will be taken out of order.
- 2. Audience Comments** – Comments shall be limited to three minutes per person to issues not on the agenda.
- 3. Approval of Minutes**

5/4/2017 Meeting
- 4. Agenda Items**
 - a. Election of Officers**
Chair and Vice Chair
 - b. Case: 17-00013**
Address: 103 7th Avenue

HISTORIC PRESERVATION BOARD MEETING 10/5/17

Request: Applicant requests a modification to previously-approved Certificates of Appropriateness (cases #2015-0030 and #2016-0007; both approved) to decrease from 4 units to 2 units, add an elevator, add exterior air conditioning (A/C) units, and decrease number of windows to more accurately replicate the appearance of the original windows.

c. Case: 17-00017

Address: 104 3rd Avenue

Request: Applicant requests a Certificate of Appropriateness to demolish the existing single-family residential structure.

d. Recommendation to City Commission on Proposed Freedom Fountain (Medal of Honor Memorial)

e. Recommend Language and Location for Historic Marker

f. General Discussion

5. Adjournment

APPEAL

APPEAL: In accordance with 286.0105, Florida Statute (Notices of meetings and hearings must advise that a record is required to appeal), if a person decides to appeal any decision made by this committee, board, agency, or commission with respect to any matter considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AMERICANS WITH DISABILITIES ACT (ADA): In accordance with the Americans with Disabilities Act and Florida Statutes, if any person with a disability defined by the ADA needs special accommodation to participate in this proceeding, then not later than two business days prior to the proceeding, he or she should contact City Hall at (727) 367-2735.

Electronic media must be submitted a minimum of 24 hours in advance to cityclerk@stpetebeach.org

The public is cordially invited to attend.

All agenda material is available for review at City Hall.

Agenda Item a.

Approval of Minutes

HISTORIC PRESERVATION BOARD

MINUTES

MAY 4, 2017

3:30 P.M.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PRESENT:

Chris Marone, Chairman
William Loughery, Member
Yann Weymouth, Member

ABSENT:

Sean Hurley, Vice Chair
Ingrid Jacobus, Member

ALSO PRESENT:

Jennifer Bryla, Community Development Director
Mary Jo Murphy, Deputy City Clerk

Chairman Marone welcomed William Loughery, a new member, to the Historic Preservation Board.

1. Changes to the Agenda

Ms. Bryla made the following changes to the agenda.

- Election of Chair and Vice Chair

Chairman Marone suggested postponing the election of the Chair and Vice Chair until there is a full board present.

Member Loughery made a motion to hold off voting until the next meeting with the addition to the agenda. The motion was seconded by Member Weymouth and unanimously approved by a roll call vote (3 yeses - 0 nos).

2. Audience Comments

There were no audience comments.

3. Approval of Minutes – 1/5/2017

Member Weymouth made a motion to approve the minutes. The motion was seconded by Member Loughery and unanimously approved by a roll call vote (3 yeses - 0 nos).

4. Agenda Item

- A. Case: 2017-0001
Address: 603 Gulf Way
Request: Application for a Certificate of Appropriateness**

Ms. Bryla, Community Development Director, gave a brief overview of Case No. 2017-0001 and stated Staff recommended approval.

Cheryl Engels, 603 Gulf Way, homeowner, spoke and submitted documents on the document camera in regard to hardie board and fencing with triangular cut-outs.

Mr. Marone asked for further comments or questions. There was no discussion.

Chairman Marone made a motion for the approval of the application for a Certificate of Appropriateness to amend the previously approved plans for renovation to a locally designated historic district in Case No. 2017-0001 at 603 Gulf Way. The motion was seconded by Member Loughery and was unanimously approved by a roll call vote (3 yeses - 0 nos).

There was board discussion in regard to the following items:

- monthly meetings regardless if there is a case
- rewrite the landscaping code
- expansion of Historic Preservation Board's input
- mechanics of path to communicate with the City Commission
- request to place the Historic Preservation Board's concerns and interests as a discussion item on the City Commission agenda

Member Weymouth requested to put on the June 1, 2017 Historic Preservation Board agenda to discuss the mission of the Historic Preservation Board and how the board could present it to the Mayor and the City Commission during a City Commission meeting. Ms. Bryla responded affirmatively.

5. Adjournment

There being no further business to come before the board, the meeting was adjourned at 4:07 p.m.

Attest:

Rebecca C. Haynes, City Clerk

Chris Marone, Chairman

Minutes approved on: _____

Agenda Item b

Case: 17-00013

Address: 103 7th Avenue



St. Pete Beach Historic Preservation Board

155 Corey Avenue
St. Pete Beach, FL 33706
727-367-2735

10/5/17

Certificate of Appropriateness Case #17-00013

103 7th Avenue

Applicant/Agent:
Alan L. Stalb Trust/
Alan L. Stalb, Trustee

Related Cases:

COA #2015-0030, COA #2016-0007, Historic Designation #2015-0029; FEMA Variance #2015-0031

Staff Representative

Catherine W. Porter, AICP, CFM
Planner II

Consistency

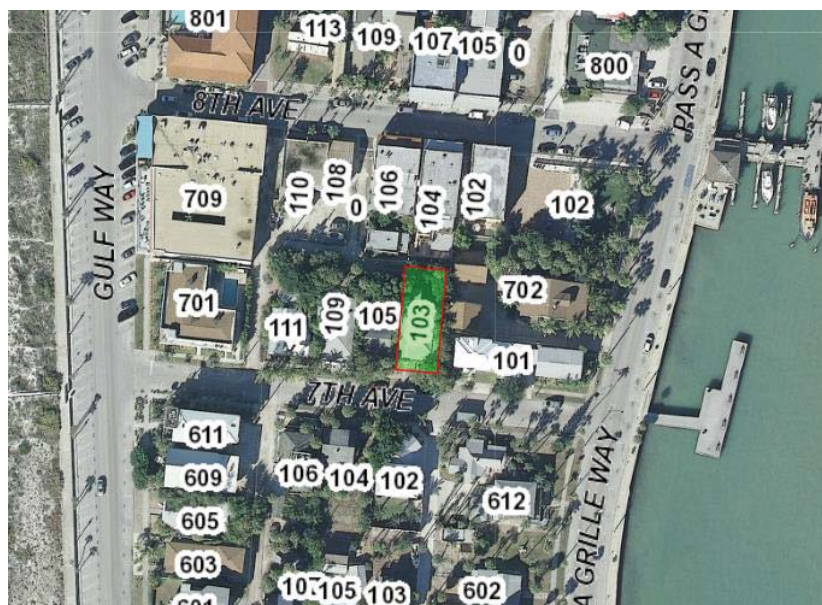
The proposed Certificate of Appropriateness is consistent with both the *Comprehensive Plan* and the Land Development Code of the City of St. Pete Beach.

Recommendation

Staff recommends approval of the proposed Certificate of Appropriateness.

Requested Motion

"I move to approve Certificate of Appropriateness Case #2017-00013 as proposed."



ITEM SUMMARY

Applicant requests a modification to previously-approved Certificates of Appropriateness (cases #2015-0030 and #2016-0007; both approved) to decrease from 4 units to 2 units, add an elevator, add exterior air conditioning (A/C) units, and decrease number of windows to more accurately replicate the appearance of the original windows.

Address	103 7 th Avenue
Year Built	1915
Historic Status	Locally-Designated Historic Resource
Existing Use	4-Unit Apartment
Adjacent Uses	
North:	Commercial

South:	Single-family
East:	Multi-family
West:	Single-family

The Historic Preservation Board approved an application for a Certificate of Appropriateness for the subject property at the meeting of June 4, 2015 (Case #2015-0030). The application included the following modifications to the structure:

- 1) Relocate 6 inches to the east (currently crossing the property line)
- 2) Elevate 2 feet (for better drainage)
- 3) Restore porches back to original state (screened-in)
- 4) Provide for two additions totaling 339 square feet

The Historic Preservation Board approved a modified application for Certificate of Appropriateness for the subject property at the meeting of March 31, 2016 (Case #2016-0007). The application included the following modifications to the structure as well as the ones enumerated above: rebuild the rear portion of the structure due to poor construction and termite/water damage having compromised the structural integrity of the building, using materials that are as close to the appearance of the originals as possible.

Other related cases include local historic designation of the structure (case #2015-0029; approved), a FEMA variance (case#2015-0031; approved).

STAFF ANALYSIS

Staff reviewed the following items specific to the application and drew the following conclusions:

1. The window design, placement and reduced number of window openings are more in keeping with the original design of the structure than those approved under the previous Certificates of Appropriateness. Both kitchen windows will be shorter than the others, but their placement is in keeping with the original design.
2. The proposed elevator appeared to be outside the building footprint. Upon closer inspection, the drawings indicate that the elevator has a slightly smaller footprint than the existing entryway, and as such, does not compromise the historic footprint of the structure.
3. The A/C pad appeared to be outside the building footprint and is not placed in the rear of the structure as required under Sec.28.18 (d). (The drawing of the east elevation does not show the A/C platform, but the foundation plan does.) Applicant stated that the A/C cannot be placed in the rear due to the fact that sufficient parking could not be accommodated if the A/C was placed in the rear. While the A/C pad protrudes several feet to the south of the existing addition, that fact is not apparent from the street due to the location of the entryway/elevator. The A/C pad does not

protrude toward the east beyond the existing addition to the building. As such, the A/C pad is in keeping with the spatial relationships that characterize the property.

4. Due to overgrowth and lack of historical photographs, it is difficult to ascertain the original/existing roofline in order to compare it to the proposed plans. Applicant has stated that the roofline is not being changed.

PUBLIC NOTICE

Notice of public hearing has been advertised as required by State Statutes. As of the date of this report, no written comments have been received. Oral and written comments may be presented at the public hearing.

CONSISTENCY WITH COMPREHENSIVE PLAN AND LAND DEVELOPMENT CODE

The proposed Certificate of Appropriateness is consistent with the City of St. Pete Beach Comprehensive Plan, Housing Element Objective 1.7: The City shall assist property owners in the identification, preservation, and protection of historical and architecturally significant housing with the adoption of this Comprehensive Plan. The proposed Certificate of Appropriateness is also consistent with the City's Land Development Code, specifically Division 28 (Historic Preservation). Both documents can be found at www.municode.com.

STAFF RECOMMENDATION

Staff recommends approval of the application for Certificate of Appropriateness.

The proposed changes are in keeping with the two Certificates of Appropriateness previously granted and will not compromise the historic character of the structure.

Section 28.8 of the LDC states that the criteria for issuance of a certificate of appropriateness shall be the U.S. Secretary of the Interior's Standards for Rehabilitation, which encourages the preservation of unique characteristics of historic structures. There are no distinctive materials, features, finishes, or examples of craftsmanship that will be lost due to the reconstruction.

ATTACHMENTS

- (1) Exhibit A** – Application
- (2) Exhibit B** – Proposed Plans / Survey
- (3) Exhibit C** – Site Photos

Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

EXHIBIT A



CITY OF ST. PETE BEACH

PLN 17-00013 103 7th Ave

Application for Certificate of Appropriateness

FOR OFFICE USE ONLY

Date ____/____/____ Application Number _____
 Bldg. Permit No. _____ Date _____
 Other _____
 PIN: _____

GENERAL INFORMATION (filled out by applicant)

Owner Name & Address

ALAN L. STALB Trust

5633 27th AVE S.

Gulf Port Fla 33707 5244

Representative Name & Address

same

Phone 860-986-4814

Phone _____

Property Address and Legal Description

103 7th Ave St Pete Beach FL. Lot 15 Block 6 Morey Beach

Is the property part of a previously approved development proposal?

☒ Yes

☐ No

If yes, provide the case number 20150029, 20150030, 20150031, 2016-0007

TYPE OF ACTIVITY

New

Construction

Addition

✓

Demolition

Rehabilitation

✓

Relocation

✓



Explain what changes will be made and how they will be accomplished. Submit detailed plans and elevation drawings and specifications to support the written description.

STRUCTURE ELEVATION, Relocation, ADDITIONS (Reconstruction AND RENOVATION TO existing 4 unit 2 story Frame Residence

STATE OF Florida contributing structure (National Register # 11271)

Please describe proposed building materials and manufacturers of materials. Attach product brochure if available.

Example: Windows- Jeldwen "Tradition Plus" wood clad, double hung, 2/2 divided lite

Exterior material/siding	Cypress wood Siding ; shukas
Windows	white vinyl single hung impact resistant glazing
Doors	impact resistant glazing
Roofing	NEW metal Roofing
Entrances/Porches	Existing to be Restored in Front Rear Doors to be Historically Sympathetic.

Owner Attestation: The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing which might affect the decision of the Historic Preservation Board. The undersigned hereby certifies that the project described in this application, as detailed by plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that approval of this application by the Historic Preservation Board in no way constitutes approval of building permit or other required City permit approvals.

Applicant (owner of property) signature

Trustee

Date

6/29/17

**City of St. Pete Beach**

155 COREY AVENUE

ST. PETE BEACH, FL 33706

Telephone: 727.363.9265

Receipt No.: **982**Receipt Date: **06/29/2017**

RECEIPT

RECORD & PAYER INFORMATION

Record ID: PLN17-00013
Record Type: Design Review
Property Address: 103 - 0 7TH AVE, ST PETE BEACH, FL 33706
Description of Work: Certificate of Appropriateness: structure elevation, relocation, additions (reconstruction and renovation to existing 4-unit, 2-story frame residence. State of Florida contributing structure (National Register # 11271)
Reduction of number of units: 4 units to 2 units
Payer:
Applicant: STALB ALAN L TRE
28 STINSON PL
WINDSOR, FL 06095-3023

PAYMENT DETAIL

Date	Payment Method	Reference	Cashier	Comments	Amount
06/29/2017	Check	1004	MLARIMORE		\$50.00

FEE DETAIL

Fee Description	Invoice #	Quantity	Fee Amount	Current Paid
Certification of Appropriateness	855	1.00	\$50.00	\$50.00
			\$50.00	\$50.00

EXHIBIT B

sp1.1	Site Plan
d1.1	First Floor Demolition Plan
d1.2	Second Floor Demolition Plan
a1.1	First Floor Plan
a1.2	Second Floor Plan
a2.1	Elevations
a2.2	Elevations
s3.1	Wall Sections
s0.1	Structural Notes
s0.1	Foundation Plan
s2.1	Framing Plan
s1.1	Roof Framing Plan
e1.1	First Floor Electrical Plan
e1.2	Second Floor Electrical Plan

[illegible]

**SITE WILL COMPLY WITH
REGULATION
REQUIREMENTS OF
SECTION 16.106-4b.4**



LOT SIZE:		
TOTAL IMPERVIOUS ON THE LOT IS:		
1. BUILDING FOOTPRINT W/ PORCHES:	1973 SQFT.	
2. DRIVEWAY:	351 SQFT.	
3. PERMEABLE PAVED WALKWAYS:	351 SQFT.	
TOTAL IMPERVIOUS AREA:	2,675 SQFT. = 64%	
		4,096.16 SQFT.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.



ARCHITECT CERTIFIED, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

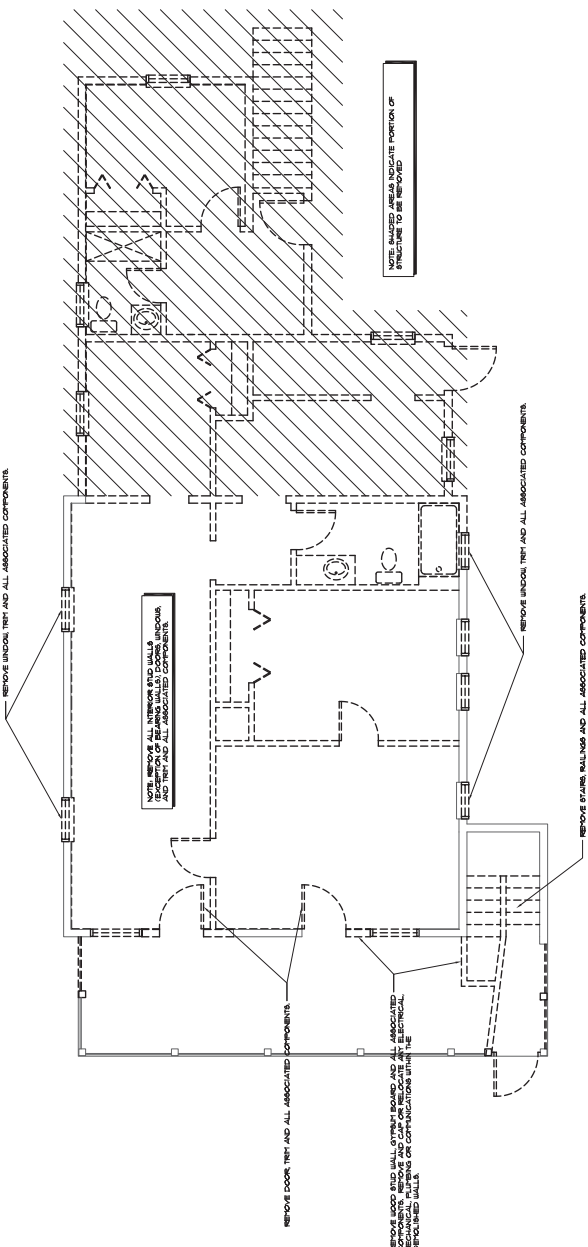
Project No.
2017-043R
Date:
March 31, 2017

103 7th Avenue
St Pete Beach,
Florida 33706

2600 Dc MLK Jr. Shatt N. Suite 600,
St. Petersburg, FL 33704
(P) 727-323-5676
info@orchestrationstudio.com
www.orchestrationstudio.com



d1.1



**EXISTING FIRST FLOOR
SELECTIVE DEMOLITION PLAN**
SCALE: 1/4" = 1'-0"

DEMOLITION LEGEND:

----	GENERAL DEMOLITION
----	EXISTING TO REMAIN

DEMOLITION NOTES:

1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. PETERSBURCH, FLORIDA, ORDINANCE 10-10, AND THE FLORIDA DEMOLITION ACT, CHAPTER 551, F.S.
2. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT CONSTRUCTION SITES AT ALL TIMES.
3. CONTRACTOR TO REMOVE EXPOSED FINISHES OF PATCHED CONCRETE, BRICK, AND STONE. EXPOSED FINISHES SHALL BE REMOVED TO THE UNFINISHED SURFACE OF THE MATERIAL. EXPOSED FINISHES SHALL BE RETURNED TO OWNER.
4. CONTRACTOR TO REMOVE EXPOSED FINISHES OF PATCHES AND REPAIRING.
5. CONTRACTOR TO REMOVE EXPOSED FINISHES OF ALL BUILDINGS.
6. CONTRACTOR SHALL MAINTAIN ALL EXISTING CONDITIONS TO REMAIN. CONTRACTOR SHALL MAINTAIN EXISTING CONDITIONS TO REMAIN. CONTRACTOR SHALL MAINTAIN EXISTING CONDITIONS TO REMAIN. CONTRACTOR SHALL MAINTAIN EXISTING CONDITIONS TO REMAIN.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE AND BELIEF, THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT.

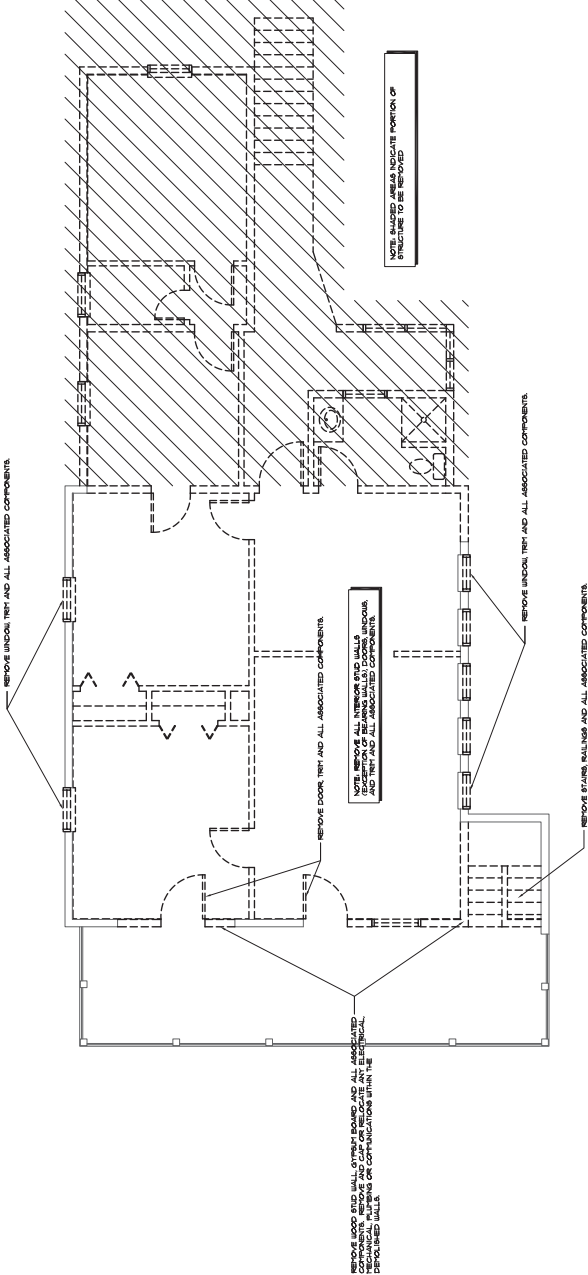
DEMOLITION LEGEND:

GENERAL DEMOLITION
EXISTING TO REMAIN

DEMOLITION NOTES:

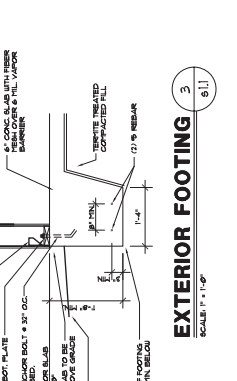
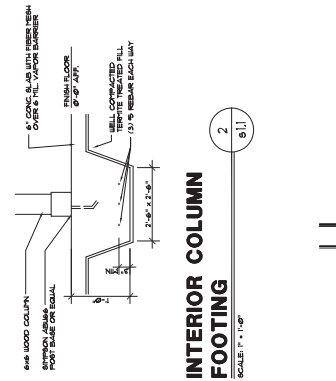
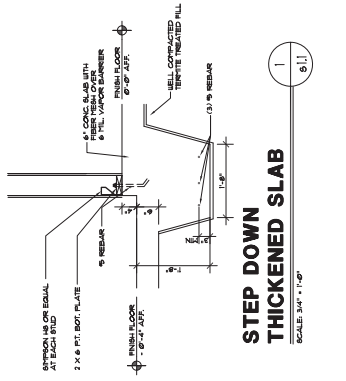
1. DEMOLITION SHALL BE IN ACCORDANCE WITH THE CITY OF ST. PETERSBURCH DEMOLITION ORDINANCE AND ALL APPLICABLE REGULATIONS.
2. CONTRACTOR SHALL MAINTAIN ACCESS TO ADJACENT CONSTRUCTION SITES AT ALL TIMES.
3. CONTRACTOR TO REMOVE EXPOSED FRAMES OF PATCHED ROOFING MATERIALS AND EXPOSED FRAMES OF PATCHED ROOFING MATERIALS.
4. CONTRACTOR TO REMOVE EXPOSED FRAMES OF PATCHED ROOFING MATERIALS.
5. CONTRACTOR TO REMOVE EXPOSED FRAMES OF PATCHED ROOFING MATERIALS.
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10. CONTRACTOR TO REMOVE EXPOSED FRAMES OF PATCHED ROOFING MATERIALS.

ARCHITECT CERTIFIES TO THE BEST OF HIS KNOWLEDGE AND BELIEF THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT.



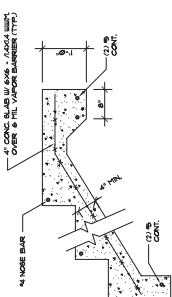
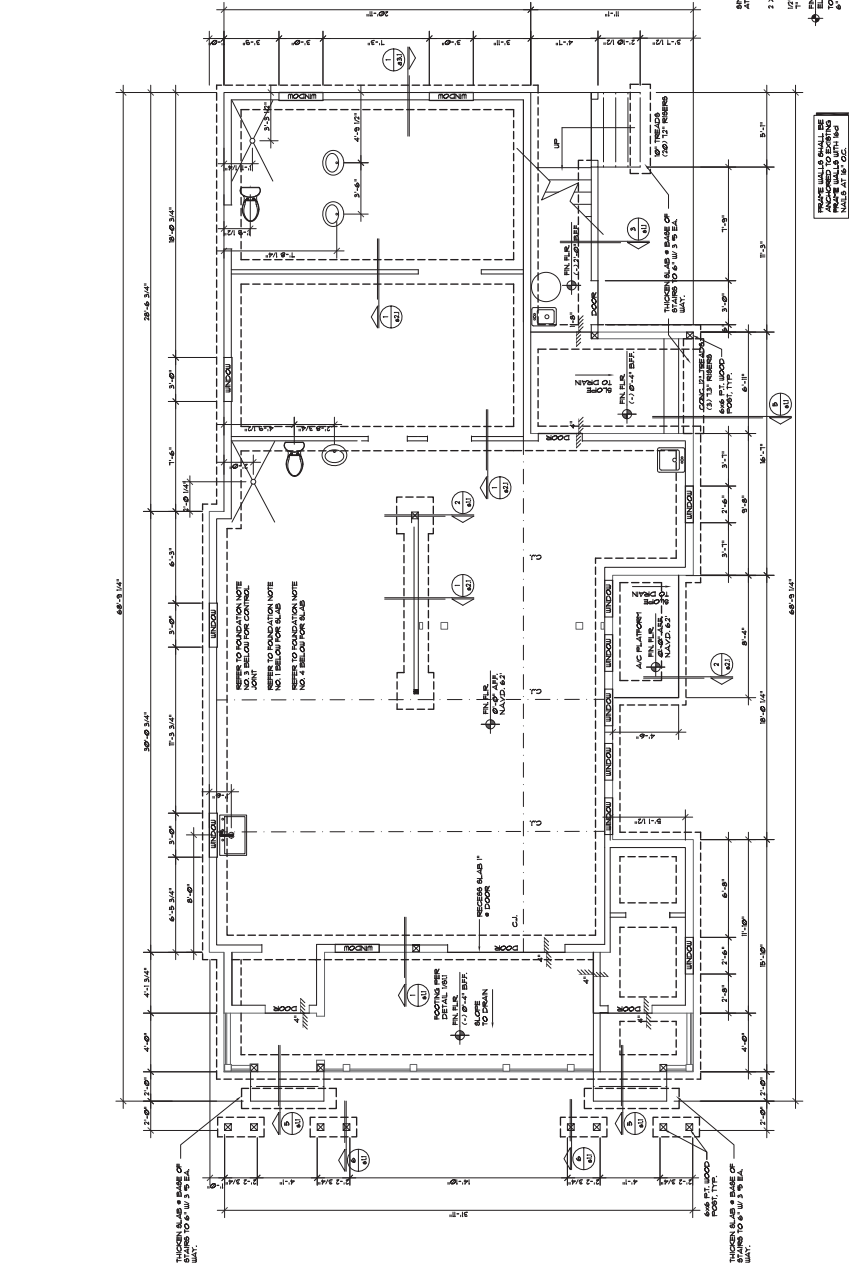
**EXISTING SECOND FLOOR
SELECTIVE DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

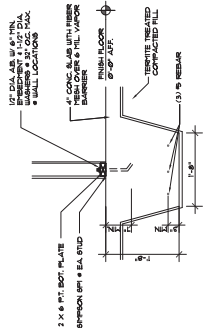


- FOUNDATION NOTES:**
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (IBC).
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (IBC).
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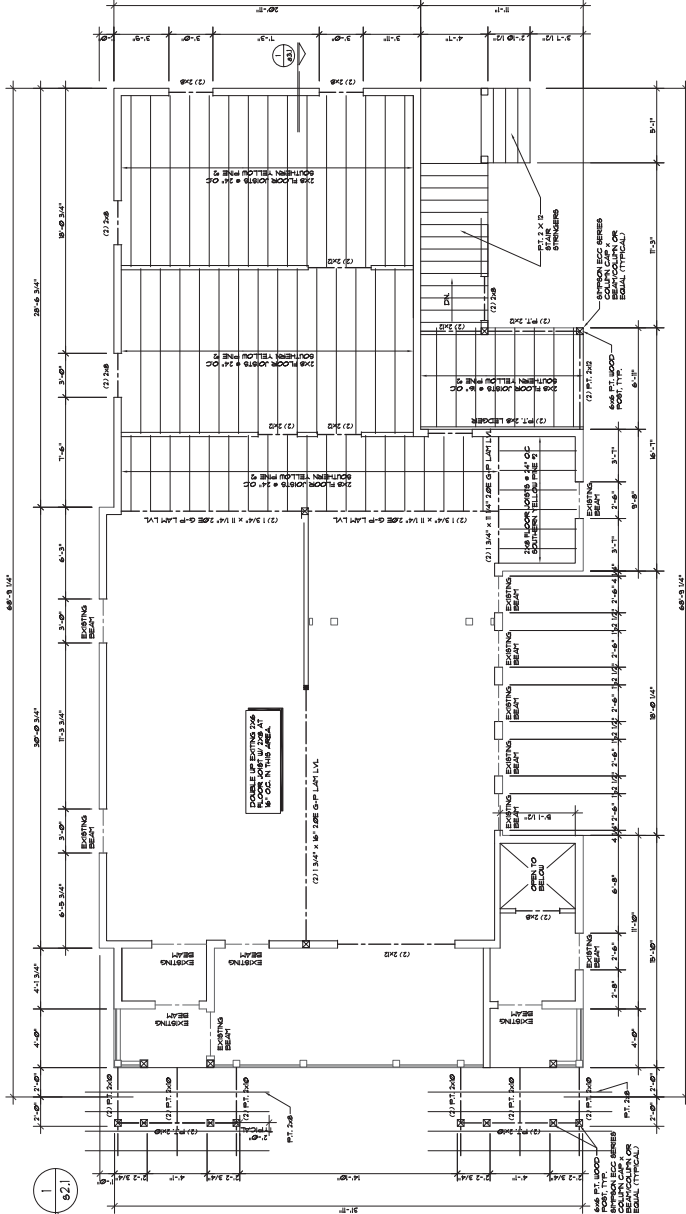
- SHEAR WALL NOTES:**
1. 1/2" CDX SHEATHING ON EXTERIOR SIDE OF WALL.
 2. 4" O.C. NAILS #4 O.C. AT ALL PANEL INTERMEDIATE PERIMETER.
 3. 4" O.C. NAILS #4 O.C. AT ALL PANEL INTERMEDIATE PERIMETER.
 4. 1/2" GYPSUM BOARD AT INTERIOR SIDE OF WALL.



- TERMITE PROTECTION NOTES:**
1. PERMANENT RESISTANCE TO TERMITES SHALL BE USED AND PROVIDED, PER THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (IBC).
 2. PERMANENT RESISTANCE TO TERMITES SHALL BE USED AND PROVIDED, PER THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODES (IBC).
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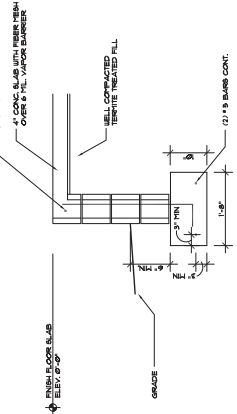
INTERIOR FOOTING
SCALE: 1/4" = 1'-0"



FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



DO NOT SCALE DIMENSIONS. USE DIMENSIONS SHOWN ON THIS PLAN. DIMENSIONS SHALL VERIFY ALL DIMENSIONS ON SITE. DISCREPANCIES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.



EXTERIOR FOOTING
SCALE: 1/4" = 1'-0"

SHEAR WALL NOTES:

1. 12" CDX SHEATHING ON EXTERIOR SIDE OF WALL.
2. 40 MILD STEEL @ 4" O.C. AT ALL PANEL EDGES.
3. 40 MILD STEEL @ 4" O.C. AT ALL PANEL INTERMEDIATE VERTICALS.
4. 12" STYPHT BOARD AT INTERIOR SIDE OF WALL.

FLOOR FRAMING PLAN NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES.
2. ALL EXPOSED WOOD SHALL BE PRESERVED TREATED WITH GALVANIZED NAILS.
3. ALL JOIST AND BEAM CONNECTIONS SHALL BE MADE WITH JOIST BOLTS.
4. ALL FRAMING SHALL BE SOUTHERN YELLOW PINE #1.

ARCHITECT: CENTER TO THE BEST OF HIS KNOWLEDGE, THE ARCHITECT DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED HEREIN.

ARCHITECTONICS
architects • planners

LLC # AA-000347
3600 E. MIA A. Blvd. Suite 400,
St. Petersburg, FL 33704
(727) 323-6576
info@architectonicsstudio.com
www.architectonicsstudio.com

**The Alan L. Stalb
Living Trust**
Renovation
103 7th Avenue
St. Pete Beach,
Florida 33706

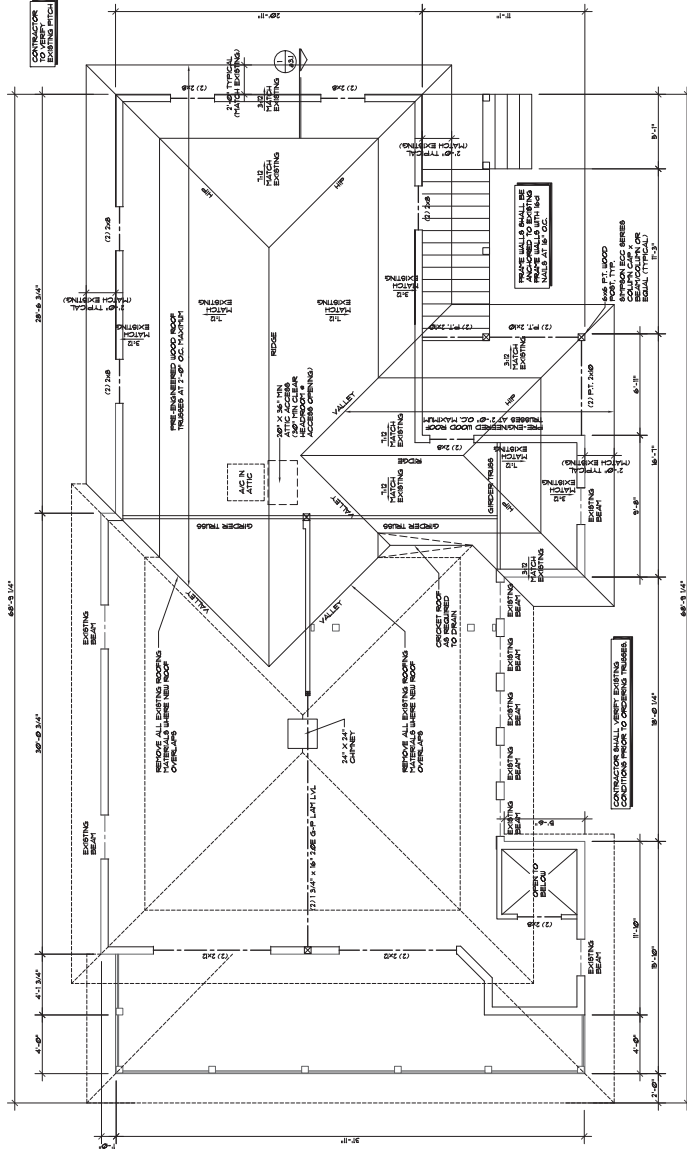
Roof Plan

Project No. 2017-0438
Date: March 31, 2017



s2.1

THE BEARING WALLS
COLUINS BEAMS AND
RAFTERS ARE DESIGNATED
WITH A "B" FOR BOTH QUALITY
AND A "P" FOR PORTLAND CEMENT
MASONRY. NO SUBSTITUTES
SHALL BE USED.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"
DO NOT SCALE DIMENSIONS. USE DIMENSIONS
SHOWN ON THIS PLAN. DIMENSIONS ON THIS
PLAN SHALL BE USED TO VERIFY ALL DIMENSIONS
ON SITE. DIMENSIONS SHALL BE USED TO
VERIFY ALL DIMENSIONS ON SITE. DIMENSIONS
SHOWN ON THIS PLAN SHALL BE USED TO
VERIFY ALL DIMENSIONS ON SITE.



SHEAR WALL NOTES:

1. 1/2" COR BRASS NAIL ON EXTERIOR SIDE OF WALL.
2. 40 MALS 8" x 4" OC AT ALL PANEL EDGES.
3. 40 MALS 8" x 4" OC AT ALL PANEL INTERMEDIATE PERIMETER.
4. 1/2" STYRENE BOARD AT INTERIOR SIDE OF WALL.

ROOF PLAN NOTES:

1. ALL WOOD SHALL BE SPEC IN FIRST ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES.
2. ALL WOOD SHALL BE PRESERVE TREATED (PT) GALVANIZED NAILS.
3. ALL EXPOSED WOOD SHALL BE PRESERVE TREATED (PT) GALVANIZED NAILS.
4. USE GALVANIZED METAL CONNECTORS.
5. USE WOOD TRUSSES AND BEAMS.
6. ALL FINISHES SHALL BE COORDINATE YELLOW PINE 2.

ARCHITECT CERTIFIED TO THE BEST OF HIS
KNOWLEDGE AND BELIEF THAT THE INFORMATION
CONTAINED HEREIN IS TRUE AND CORRECT
AND COMPLY WITH THE APPLICABLE BUILDING CODES.

NOTES:
1. PROVIDE WATER RESISTANT BACKER BOARD IN LIEU OF GYPSUM BOARD AT ALL CERAMIC TILE WALLS.
2. THE EXTERIOR OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS SHALL BE SEALED FROM MOISTURE AND AIR INTRUSION.

	WALL TYPES
	GENERAL CONSTRUCTION NOTE
	SECTION DETAIL
	PLAN DETAIL
	ELEVATION SYMBOL

1000000

1100

1101

BUILDING ACTION SHALL CONFORM TO THE FOLLOWING
SCHEDULE CODES:

- ORCA BUILDING CODE WITH 1984 EDITION
- ORCA PLUMBING CODE WITH 1984 EDITION
- ORCA MECHANICAL CODE WITH 1984 EDITION
- ORCA FIRE ALARMS AND DETECTION WITH 1984 EDITION
- ORCA ELECTRICAL CODE WITH 1984 EDITION
- ORCA RAIL AND RAMP CODE WITH 1984 EDITION
- ORCA CODE FOR ENERGY CONSERVATION WITH 1984 EDITION
- ORCA CODE FOR ACCESSIBILITY WITH 1984 EDITION
- LOCALITY - HAWAIIAN ZONES 9TH EDITION (1984)
- ORCA PREVENTION CODE WITH 1984 EDITION
- ORCA NATIONAL ELECTRIC CODE (NFPA 70)

NATIONAL LOADS PER STRUCTURAL DRAWINGS

BUILDING OCCUPANCY: R-3

INSTRUCTION TYPE: THE MSB EXTERIOR BUILDING

ALTERATION - LEVEL 2

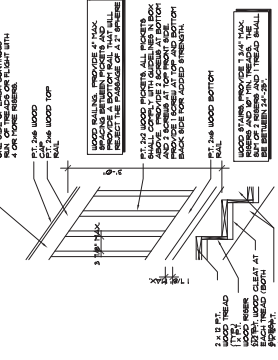
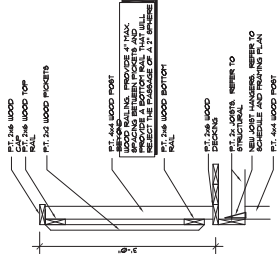
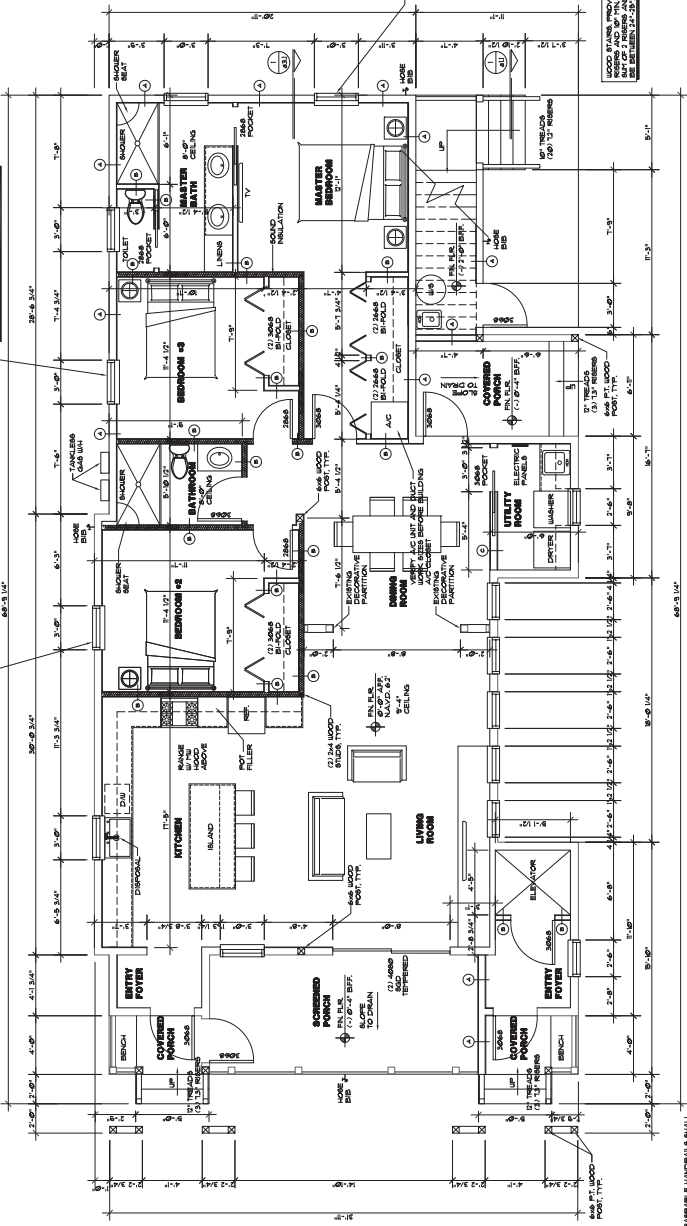
UNREPLISHED

CONCRETE TIE BACKER ON ALL SHOWN AND TIE WALLS
VIBRATING CONCRETE DIMENSIONS
DRAINAGE DIMENSIONS
TOP AND INSIDE DRAINAGE THAT MEET ASSESS 2000S ETC.
AND 3'-0" x 1'-0" x 1'-0" x 1'-0" ETC.
CONCRETE ALL APPLICABLE AND PLUMBING TYPICAL
DIMENSIONS SHOWN ON PLANS ARE MEASURED FROM EXTERIOR
FACE OF WALL/CLUTTER UNLESS SHOWN OTHERWISE.
DIMENSIONS SHALL BE IN ACCORDANCE WITH
APPLICABLE CODES AND ORDINANCES.
FOR ENERGY CODE COMPLIANCE ALL OPERATING HANDRAILS
SHALL BE FINISHED TO GRAB.
ANYTHING OR HANGING ON WALLS OR OTHER MEMBER
OF THE BUILDING OR STRUCTURE SHALL BE REMOVED.
WORK IS TO BE EXPEDITED AND AVAILABLE FOR VALUATION
AND INSPECTION.
AND FIELD CONDITIONS.

EXISTING TO REMAIN	1,000	SQ. FT.
PROPOSED RECONSTRUCTION AREA	5,004	SQ. FT.
PROPOSED RECONSTRUCTION AREA	316	SQ. FT.
TOTAL	1,920	SQ. FT.

SCALE: 3/4" = 1'-0"

SCALE: 3/4" = 1'-0"



MICHAEL ARREAGA
L.C. NO. AR-0017335

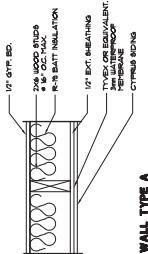
Project No. 17-043R
Rev. 31, 2017

103 7th Avenue
St Pete Beach, Florida 33706

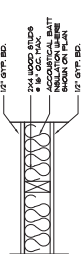
52. Petersburg, FL 33704
(727) 323-5826
www.architectonstudio.com

WALL TYPES:

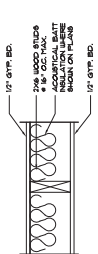
NOTES:
1. ALL WALLS SHALL BE CONCRETE BLOCK WITH 2" MIN. INSULATION.
2. EXTERIOR WALLS SHALL BE CONCRETE BLOCK WITH 4" MIN. INSULATION.
3. INTERIOR WALLS SHALL BE CONCRETE BLOCK WITH 2" MIN. INSULATION.
4. ALL WALLS SHALL BE FINISHED WITH 5/8" GYP. BOARD.



WALL TYPE A



WALL TYPE B

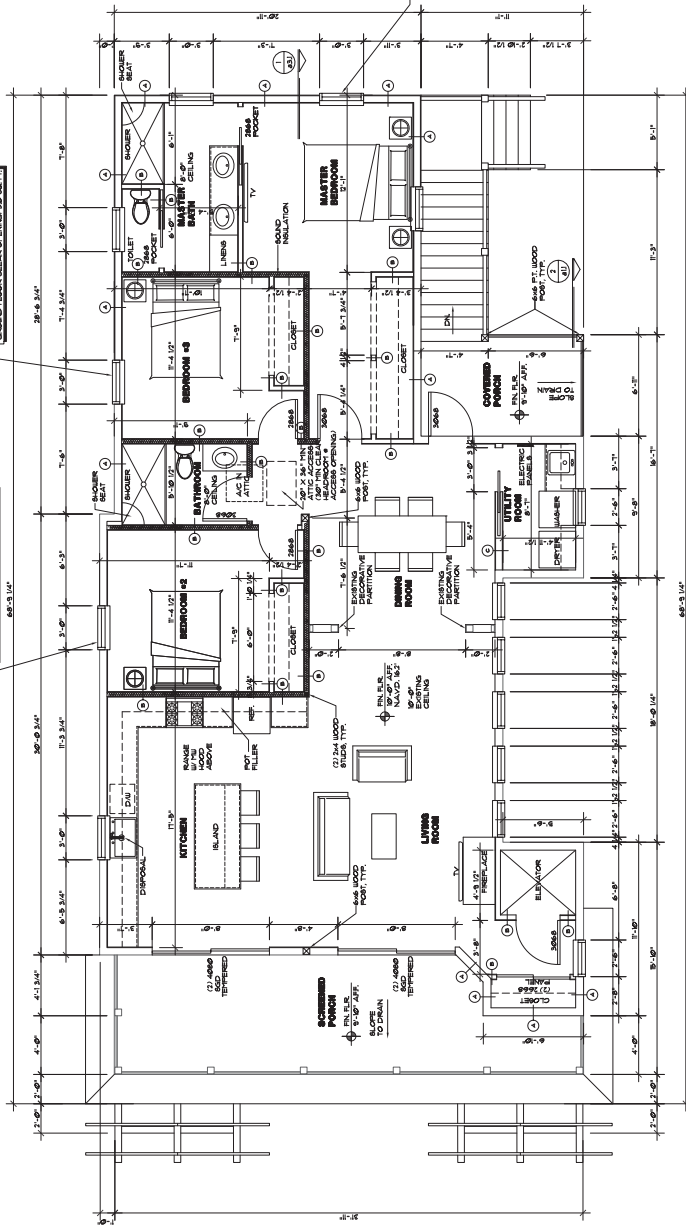


WALL TYPE C

RESIDENTIAL BATHROOMS:
MINIMUM CLEAR OPENING: 6'-0\"/>

RESIDENTIAL BATHROOMS:
MINIMUM CLEAR OPENING: 6'-0\"/>

RESIDENTIAL BATHROOMS:
MINIMUM CLEAR OPENING: 6'-0\"/>



CONTRACTOR SHALL VERIFY EXISTING ROOMS
BEFORE CONSTRUCTION. ALL DIMENSIONS
SHOWN ON THIS FLOOR PLAN ARE TO FACE
UNLESS OTHERWISE NOTED. CONTRACTOR
SHALL MAINTAIN THE EXISTING JOIST.



SECOND FLOOR PLAN
SCALE: 1/4\"/>



ARCHITECT CERTAINS TO THE BEST OF HIS
KNOWLEDGE THAT ALL DIMENSIONS AND
NOTATIONS ON THIS FLOOR PLAN ARE
CORRECT AND ACCURATE.

DO NOT SCALE DIMENSIONS. USE DIMENSIONS
SHOWN ON THE DOCUMENT. CONTRACTOR
SHALL MAINTAIN THE EXISTING JOIST
THROUGHOUT THE EXISTING JOIST.

1. PROVIDE IMPACT RESISTANT GLAZING AT ALL DOORS AND WINDOWS ON THE FIRST AND SECOND FLOORS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

**The Alan L. Stalb
Living Trust
Renovation
103 7th Avenue
Fort Beach,
Florida 33706**

Project No.
017-043R
Date:
March 31, 2017

MICHAEL ARREGO
L/C, NO. AR0007335

a2.1

Diagram illustrating the components and dimensions of a door sill assembly:

- 8" CHUTE WITH FILLED CELL AND 1" REBAR
- 1" 1/2" CARBON 1/4" DIA. W/REBAR INTO CONCRETE FOR BUCKS 1/2" AND 3/4" SMALLER
- DOOR OR WINDOW
- WOOD BUCK

— DOOR OR WINDOW — 8" CMU WITH FILLED CELL AND (1) #5 REBAR

1/2" PANEL OR 1/2" PANEL
SCREWED 1 1/4" INTO WOOD
BUCK MINIMUM

(1) 1 1/4" TAPCON FOR 2x4 WOOD
BUCK OR EQUIVALENT AT 24"
OC. AND (2) 1 1/4" TAPCONS FOR 2x4
WOOD BUCK OR LARGER AT
12" OC. 1 1/4" MINIMUM INTO
CONCRETE

2x4 WOOD BUCK

NOTES

WOOD JOIST OR BUCK IS DEEPER THAN 1/2" UNDOOR AND DOOR ASSEMBLY SHALL BE ANCHORED THROUGH THE JOIST. REFER TO 3% DETAIL ABOVE.

BUCK MUST BE ATTACHED TO TRANSFER THE LOAD TO THE SUBSTRATE.

BUCK MUST EXTEND BEYOND THE INTERIOR LIP OF THE UNDOOR DOOR PROTRUSION AND FULL SUPPORT.

UNDOOR AND DOOR ASSEMBLIES SHALL BE ANCHORED AS SHOWN ABOVE OR PER MANUFACTURER'S RECOMMENDATIONS FOR THE DESIGNED LOADS (USE WORST CASE).

BUCK SHALL BE CONTINUOUS ON ALL SIDES OF FRAME.

- HAND RAILING. PROVIDE LESS THAN 4" SPACING BETWEEN PICKETS AND 4" SPACING BETWEEN SPHERES. SPHERES SHALL NOT PASS THROUGH THE TRIANGULAR PORT BY A TREAD, RUN AND BOTTOM OF A RAIL. RAILING SHALL BE 36" HIGH.

ELEVATION NOTES:

1. VERIFY WINDOW OPENING DIMENSIONS BY MANUFACTURER SIZES
2. DOOR AND WINDOW OPENINGS THAT READ 30"00, 20"00, ARE 3'-0"x8'-0", 2'-0"x4'-0", ETC.

SOUTH ELEVATION

SCALES, 1/4" = 1'-0"

EAST ELEVATION

SCALE: 1/4" = 1'-0"

IMPACT RESISTANT GLAZING AT ALL NEW DOORS AND WINDOWS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

PROVIDE LESS THAN 4" SPACINGS BETWEEN PICKETS AND PROVIDE A BOTTOM RAIL THAT WILL RESIST THE PASSAGE OF A 2" SPHERE. RAILING SHALL BE 36" HIGH MINIMUM

1. PROVIDE IMPACT RESISTANT GLAZING AT ALL DOORS AND WINDOWS ON THE FIRST AND SECOND FLOORS. CONTRACTOR SHALL PROVIDE CERTIFICATION FOR IMPACT RESISTANT GLAZING.

**The Alan L. Stalb
Living Trust**
Renovation
103 7th Avenue
Florida 33706

Project No. 17-043M
March 31, 2017



a2.2

1. VERIFY WINDOW OPENING DIMENSIONS

2. DOOR AND WINDOW OPENINGS THAT MEAS. 30"X40", ETC., ARE 5'-0"X8'-0", 2'-0"X4'-0", ETC.

ARCHITECT CERTIFIES, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

NOTES: WAREHOUSE DOOR REPAIR BUCK H SUBSTR BUCK H WINDOW WINDOW SHOWN PER TH BUCK S

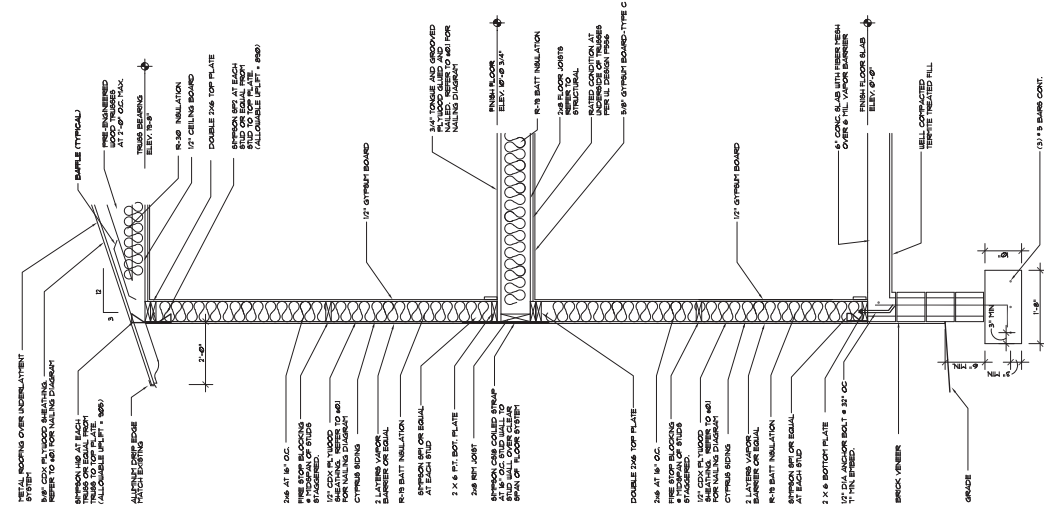


SCALE: 1/4" = 1'-0"

 $\text{OCAL} = 1/4^{\circ} \pm 1^{\circ}\text{-}\mathcal{O}^{\circ}$

THE BEARING WALLS
COLUINS BEARS
THE ENTIRE LOAD
AND
THEY ARE
NOT TO BE
REMOVED
OR
ALTERED
IN ANY
MANNER
AND
THEY
ARE
TO
BE
REINFORCED
AND
BUILT
UP
TO
THE
FULL
HEIGHT
OF
THE
WALL.

ARCHITECT CERTIFIED TO THE BEST OF HIS
KNOWLEDGE THAT THE WALLS AND
COLUINS ARE TO BE REINFORCED
AND BUILT UP TO THE FULL HEIGHT
OF THE WALL.



**TWO STORY
TYPICAL WALL SECTION 1**
SCALE: 3/4\"/>

ARCHITECT CERTIFIED, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

FIXTURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGNOSTIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.



ARCHITECT CERTIFIED, TO THE BEST OF HIS KNOWLEDGE, THAT ALL PLANS AND SPECIFICATIONS COMPLY WITH THE MINIMUM BUILDING CODES.

ALL WORKS SHALL BE DONE IN STRICT ACCORDANCE WITH APPLICABLE CODES AND ORDINANCES. CODES AND ORDINANCES SHALL TAKE PRECEDENCE OVER THE CONSTRUCTION DOCUMENTS ONLY IN THE CASE OF CONFLICT.

2. FURNITURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.

3. ALL RECEPTACLES SHALL BE WIRING TO AN ARC FAULT CIRCUIT INTERRUPTER.

FIXTURE, OUTLET, AND SWITCH LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL COORDINATE EXACT LOCATIONS WITH MINIMUM CODE REQUIREMENTS AND OTHER TRADES WHEN NOT SHOWN IN DETAIL.

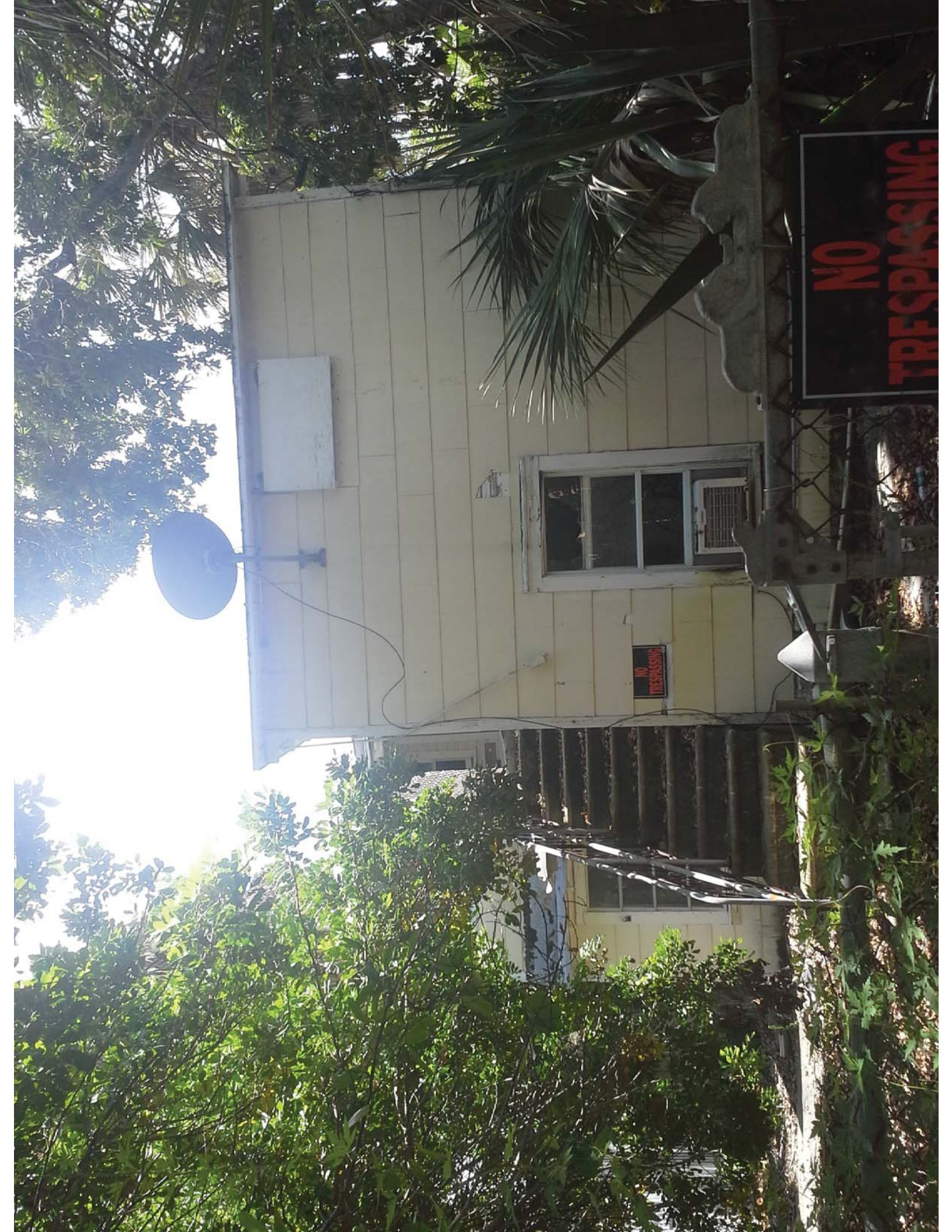


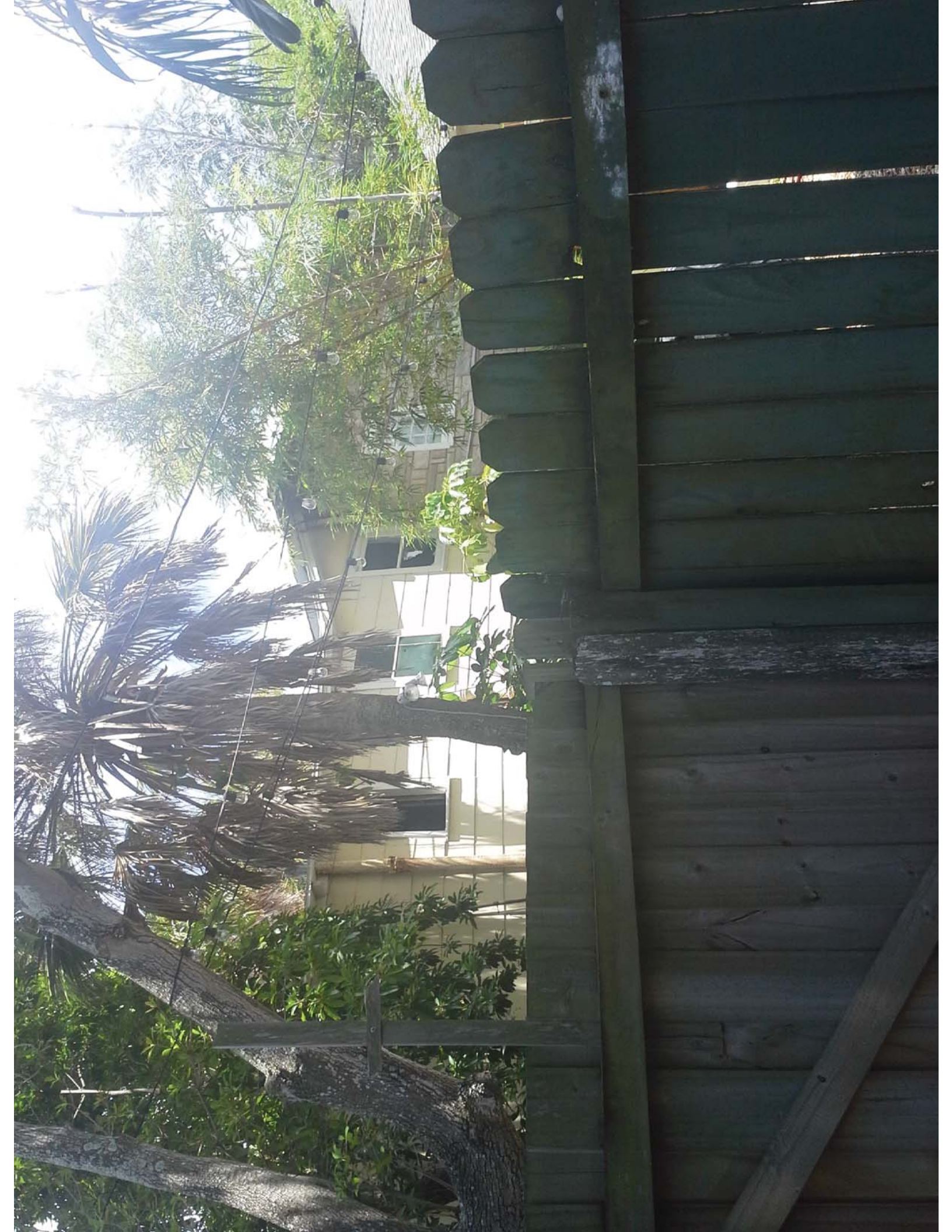
SECOND FLOOR ELECTRICAL PLAN

EXHIBIT C









Agenda Item c.

Case: 17-00017

Address: 104 3rd Avenue



St. Pete Beach Historic Preservation Board

155 Corey Avenue
St. Pete Beach, FL 33706
727-367-2735

10/5/17

Certificate of Appropriateness Case #17-00017

104 3rd Avenue

Applicant/Agent

Jeffrey A. and Caryn L. Bacon/
Wayne Cassity

Staff Representative

Catherine W. Porter, AICP, CFM
Planner II

Consistency

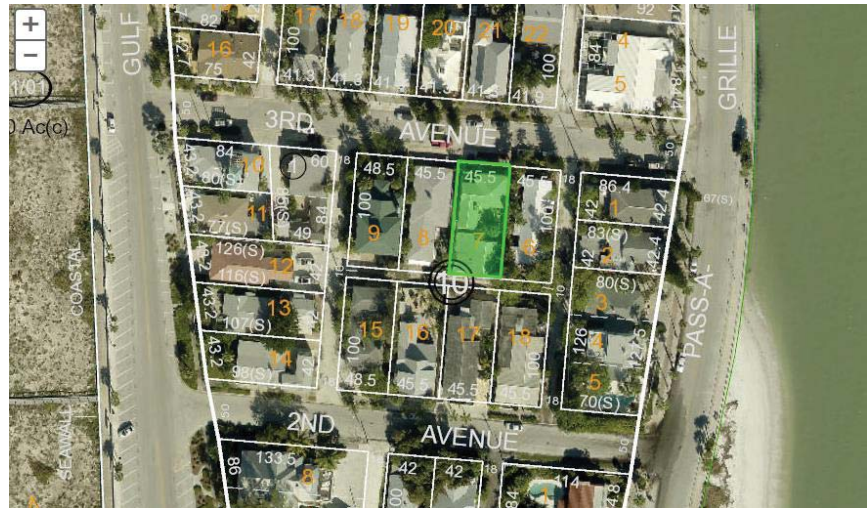
The proposed Certificate of Appropriateness is consistent with both the *Comprehensive Plan* and the Land Development Code of the City of St. Pete Beach.

Recommendation

Staff recommends approval of the proposed Certificate of Appropriateness.

Requested Motion

"I move to approve Certificate of Appropriateness Case #17-00017 as proposed."



ITEM SUMMARY

Applicant requests a Certificate of Appropriateness to demolish the existing structure:

Address	104 3rd Avenue
Year Built	1920
Historic Status	Contributing Structure to National Register District
Existing Use	Single Family Residence
Adjacent Uses	
North:	Multi-family: #105
South:	Multi-family: #105 2 nd Ave.
East:	Multi-family: #102
West:	Multi-family: #106

The residence is listed as contributing to the Pass-a-Grille Historic District, which is listed in the National Register of Historic Places. The areas of historical significance were noted as “architecture” and “community development”. This example of frame vernacular architecture was built in 1920, according to the Pinellas Property Appraiser. Originally, the structure was located on a lot that was incorporated into the Point Pass-a-Grille Condominiums, and was moved to the current site in 1941.

The residence has had several additions. The vinyl siding obscures the original materials. The building also has vinyl-clad windows. The contractor has indicated that the building is infested with termites.

The one-story building to the rear of the property is not a contributing structure.

Section 28.11 of the Land Development Code (Demolition Permits) indicates that the Historic Preservation Board may not deny a request for a Certificate of Appropriateness for a demolition permit, but may impose a stay of demolition for up to 90 days for designated structures that have taken advantage of any preservation incentives or up to 30 days for either contributing structures or designated structures that have not taken advantage of any preservation incentives in order to inform the applicant about possible incentives for preservation of the structure or explore possible alternatives to the demolition of the structure. The owners have provided an email indicating that they have not received incentives.

STAFF ANALYSIS

Section 28.11 of the Land Development Code (Demolition Permits) also indicates that when reviewing a Certificate of Appropriateness request for the issuance of a demolition permit, the Historic Preservation Board shall consider the following criteria:

- (1) The historic or architectural significance of the building.
As indicated above, “architecture” was one of the areas of historical significance of the structure to the Pass-a-Grille Historic District. Additions were made in 1991, 1994, and 1997, all of which were after the period of significance. While some elements of the original roofline appear to remain on the original building, the roofline has been altered. It should also be noted that some building additions exhibit flat rooflines. All these changes appear to have compromised the importance of the “architecture” of this building to the District.
- (2) The importance of the building to the character of a district, if applicable.
This is one of many “frame vernacular” style buildings in the District.
- (3) The difficulty or impossibility of reproducing such a building because of its design, texture, material, detail, or unique location.

The original materials are obscured by the vinyl siding, and the original windows have been replaced with vinyl-clad windows. It appears from the Property Card photo that no original materials or details remain visible. The location is not unique, nor is it the original location of the structure.

- (4) Whether the building is one of the last remaining examples of its kind in the neighborhood or city.

This is one of many “frame vernacular” style buildings in the District.

- (5) Whether reasonable measures can be taken to save the building. *Mr. Cassity, President of ABA Constructors, has submitted a letter (August 11, 2017) that describes the severe structural damage due to termites to supporting beams, original wooden siding (structural, not merely aesthetic), floors and subfloors. Based on this damage, it would take extraordinary rather than reasonable measures to save the building.*

- (6) Whether the building is capable of earning a reasonable economic return on its value and whether the perpetuation of the building, considering its physical condition, its location and the anticipated expense of rehabilitation would be economically feasible.

Based on Mr. Cassity’s letter, it seems that the anticipated expense of rehabilitation would be economically infeasible. Restoration is economically infeasible as well. To restore the building would entail demolition of multiple additions which would devalue the market value of the property. Extensive replacement of exterior materials, restoration of window and door placement would also be required for restoration. These major changes would be economically infeasible as most of them would add little value, and in some cases devalue the property, but be very expensive to execute.

PUBLIC NOTICE

Notice of public hearing has been advertised as required by State Statutes. As of the date of this report, no written comments have been received. Oral and written comments may be presented at the public hearing.

CONSISTENCY WITH COMPREHENSIVE PLAN AND LAND DEVELOPMENT CODE

The proposed Certificate of Appropriateness is consistent with the City of St. Pete Beach Comprehensive Plan, Land Use Element:

Objective 2.1

The integrity and quality of life throughout the City, including existing residential neighborhoods, as well as core commercial and resort areas, will be maintained through the enforcement of the land development

regulations and shall be encouraged to be improved, and for those properties experiencing blighting conditions such as deterioration, degradation, and distress shall be encouraged to redevelop through the use of land development regulations and other incentives, in accordance with the Future Land Use Element.

Policy 2.1.2

The City shall, through the land development regulations, encourage a balanced land use mix providing a variety of housing styles, densities and open space.

The Comprehensive Plan can be found at www.municode.com.

STAFF RECOMMENDATION

Although the City neither encourages nor promotes demolition of historic structures, due to the evidence of many significant changes and deteriorated condition of this particular building, staff supports the applicants' request for Certificate of Appropriateness. Staff also encourages and supports the use of the Pass-a-Grille form-based code to replicate the historic form and massing when redevelopment occurs.

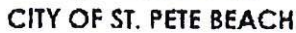
The proposed demolition of the structure is in keeping with all criteria enumerated above, and should not seriously compromise the historic character of the Pass-a-Grille Historic District.

Section 28.8 of the LDC states that the criteria for issuance of a Certificate of Appropriateness shall be the U.S. Secretary of the Interior's Standards for Rehabilitation, which encourages the preservation of unique characteristics of historic structures. There are no distinctive materials, features, finishes, construction techniques nor examples of craftsmanship that will be lost due to the demolition.

ATTACHMENTS

- (1) Exhibit A** – Application
- (2) Exhibit B** – Survey
- (3) Exhibit C** – Letter Regarding Structural Conditions
- (4) Exhibit D** – Photos
- (5) Exhibit E** – Historic Property Cards
- (6) Exhibit F** – History of Additions to the Building
- (7) Exhibit G** – Email Regarding No Incentives
- (8) Exhibit H** – Secretary of the Interior's Standards
for Rehabilitation

EXHIBIT A



Application for Certificate of Appropriateness

Date / / Application Number
Bldg. Permit No. Date
Other
PIN:

ETE BEACH
Paid w/ cash
\$50
7/31/19

- Remove existing & replace existing structure

2. Attach photos and a survey of the existing property.

3. Please describe proposed building materials and manufacturers of materials. Attach product brochure(s) if available.

Example: Windows- Jeldwen "Tradition Plus" wood clad, double hung, 2/2 divided lite

Exterior material/siding

VINYL

Windows

Double Hung VINYL

Doors

VINYL / wood

Roofing

Shingles

Entrances/Porches

N/A

Owner Attestation: The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing which might affect the decision of the Historic Preservation Board. The undersigned hereby certifies that the project described in this application, as detailed by plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that approval of this application by the Historic Preservation Board in no way constitutes approval of building permit or other required City permit approvals.

Applicant signature

 JEFF BACON

Date

7/27/17



City of St. Pete Beach
155 COREY AVENUE
ST. PETE BEACH, FL 33706
Telephone: 727.363.9265

Receipt No.: **1660**
Receipt Date: **07/31/2017**

RECEIPT

RECORD & PAYER INFORMATION

Record ID: PLN17-00017
Record Type: Design Review
Property Address: 104 - 0 3RD AVE, ST PETE BEACH, FL 33706
Description of Work: Remove existing structure & replace existing structure
Payer:
Applicant: WAYNE CASSITY
ABA CONSTRUCTORS INC
3030 47TH AVE N
ST PETERSBURG, FL 33713

PAYMENT DETAIL

Date	Payment Method	Reference	Cashier	Comments	Amount
07/31/2017	Cash		MLARIMORE		\$50.00

FEE DETAIL

Fee Description	Invoice #	Quantity	Fee Amount	Current Paid
Certification of Appropriateness	1683	1.00	\$50.00	\$50.00
			\$50.00	\$50.00

EXHIBIT B

SECTION 19, TOWNSHIP 32 SOUTH, RANGE 16 EAST

CERTIFIED TO:

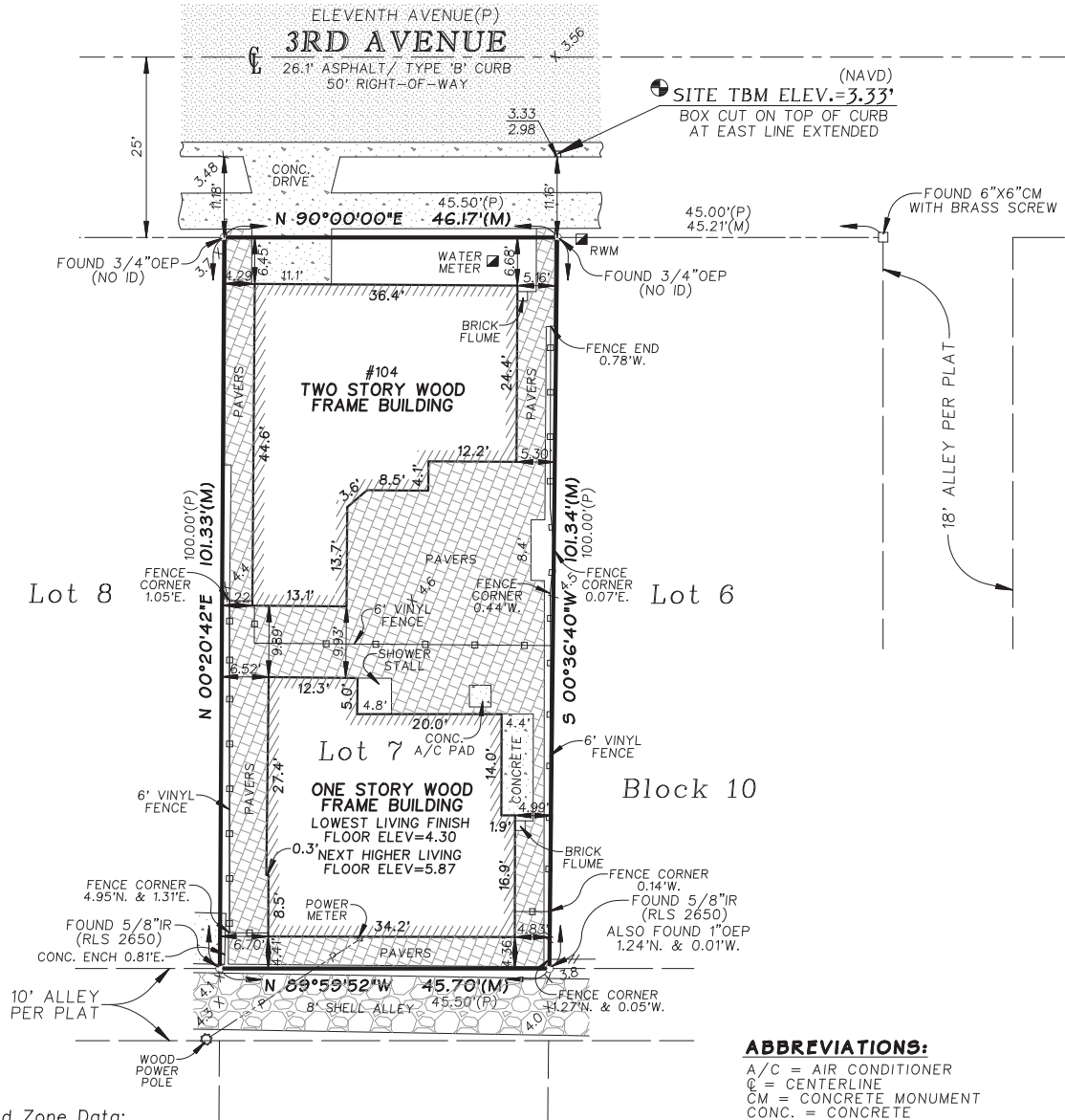
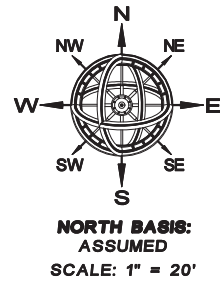
JEFFREY A. BACON
CARYN L. BACON

LEGAL DESCRIPTION

LOT 7, BLOCK 10, ACCORDING TO THE PLAT OF
MOREY BEACH

AS RECORDED IN PLAT BOOK 1, PAGE 102
OF THE PUBLIC RECORDS OF HILLBOROUGH COUNTY, FLORIDA
OF WHICH PINELLAS COUNTY WAS FORMERLY A PART

BOUNDARY SURVEY WITH IMPROVEMENTS AND ELEVATIONS - 3/01/17
LOCATE ADJACENT EXISTING STRUCTURES PER CLIENT - 3/13/17



Flood Zone Data:

FLOOD ZONE AE(11')
COMMUNITY PANEL #125149 12103C0286 G
REVISED 9/3/03

Basis of Bearings:

SOUTH RIGHT-OF-WAY LINE OF 3RD AVENUE
AS BEING N.90°00'00"E., ASSUMED.
(NO PLAT BEARINGS)

Benchmark:

PINELLAS COUNTY MAP #288 (Y 135)
ELEV=4.053' NGVD, ADJUSTED TO
ELEV=3.32' NAVD, MSL=0.00'

NOTE: This survey is made for the exclusive use of the current owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from latest date shown hereon.

ABBREVIATIONS:

A/C = AIR CONDITIONER
C = CENTERLINE
CM = CONCRETE MONUMENT
CONC. = CONCRETE
ENCH = ENCROACHMENT
ID = IDENTIFICATION
IR = IRON ROD
(M) = MEASURED
OEP = OPEN END PIPE
(P) = PLAT
RWM = RECLAIMED WATER METER
RLS = REGISTERED LAND SURVEYOR
TBM = TEMPORARY BENCHMARK
WM = WATER METER

1701-58.CRD

FIELD BOOK 936 PAGE(S) 77&78

This survey was prepared with reference to a title search and is subject to all easements and other matters of record.

NOTE: Survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

JOB# 1701-58
Drawn: DS

I hereby certify that the survey represented hereon meets the requirements of Chapter 5-17, Florida Administrative Code.

JOHN C. BRENDLA
Florida Professional Land Surveyor and Mapper
No. 1269
Commission Expires 12/31/2017
Pinellas County, Florida

Prepared by:
JOHN C. BRENDLA & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS AND MAPPERS
4015 82nd Avenue North
Pinellas Park, Florida 33781
phone (727) 576-7546 ~ fax (727) 577-9932

EXHIBIT C



August 11, 2017

St. Pete Beach
Building and Development Department
155 Corey Avenue
St. Pete Beach Florida 33706
Attn: Ms. Catherine W. Porter

RE: 104 3rd Avenue
St. Pete Beach Florida 33706

Dear Ms. Porter

I am sending you this letter to point out reasons why this structure should be demolished and not rehabbed.

1. Please see the attached *Property Records Card* from 1941 the home shown does not match what is constructed to date
 - The front door has been relocated to the east elevation (not the north elevation as shown)
 - The roof system has been changed to a hip-roof (not a pyramid as shown)
 - The overhangs are extended out 2'-0" (not 6'-0" as shown)
 - The exterior siding is vinyl (not wood as shown)
 - The exterior windows are vinyl (not wood as shown)
 - There has been numerous additions (structure does not match what is shown)
2. Reasonable measures cannot be taken to save the structure for the following reasons
 - **Structural Damage:** The small portion of the structure that is part of the original structure has severe structural damage (termite damage) the structural beams under the house that is supporting the center-spans and exterior spans cannot be repaired, they must be replaced.
 - **Exterior Structural Damage:** The original exterior wood siding (that has been covered with exterior vinyl siding) has massive damage (termite damage). The exterior wood siding is a major structural function of the (lateral shear) which is needed for the exterior walls.

- **Interior Damage:** The original wood floors and subfloors are damaged (termite damage) and the wood cannot be matched
 - **Hurricane Protection:** The existing structure has NO hurricane protection. (i.e. tie-downs) The structure is sitting on cinder blocks and small concrete pads. This house was constructed in 1930. The last hurricane that landed in Pinellas County (Tarpon Springs) was on October 25, 1921, (9) years prior to this house being constructed. **When** Pinellas County has a major hurricane event the house most likely will NOT survive.
3. There is very small portion of the existing home that was constructed in 1930
- Photo #4 rear/south elevation of the existing structure. Please note the foundation 70% of which is constructed of 8" CMU and 30% of which is constructed of cinder block. 8" cinder blocks were manufactured from 1830 to around 1968; 8" CMU (cement masonry unit) were manufactured from around 1967 to the present. It is very easy to determine the difference between them. 8" cinder blocks are a true dimension (8"x8"x16"), 8" CMU are a nominal dimension (7.58x7.58x15.58) **These couldn't have been constructed prior to 1967**
 - Photo #12 this is a photo of the existing house showing the structural floor system as you will see the lumber is a nominal dimension 1.5" wide x 7.25" wide, this lumber was not mild this size until 1969 **These couldn't have been constructed prior to 1969**

If you have any questions please don't hesitate to contact me at (727) 412-5487

Thank you,

Wayne M. Cassity
 President
 ABA Constructors, Inc.

EXHIBIT D



#1 Interior



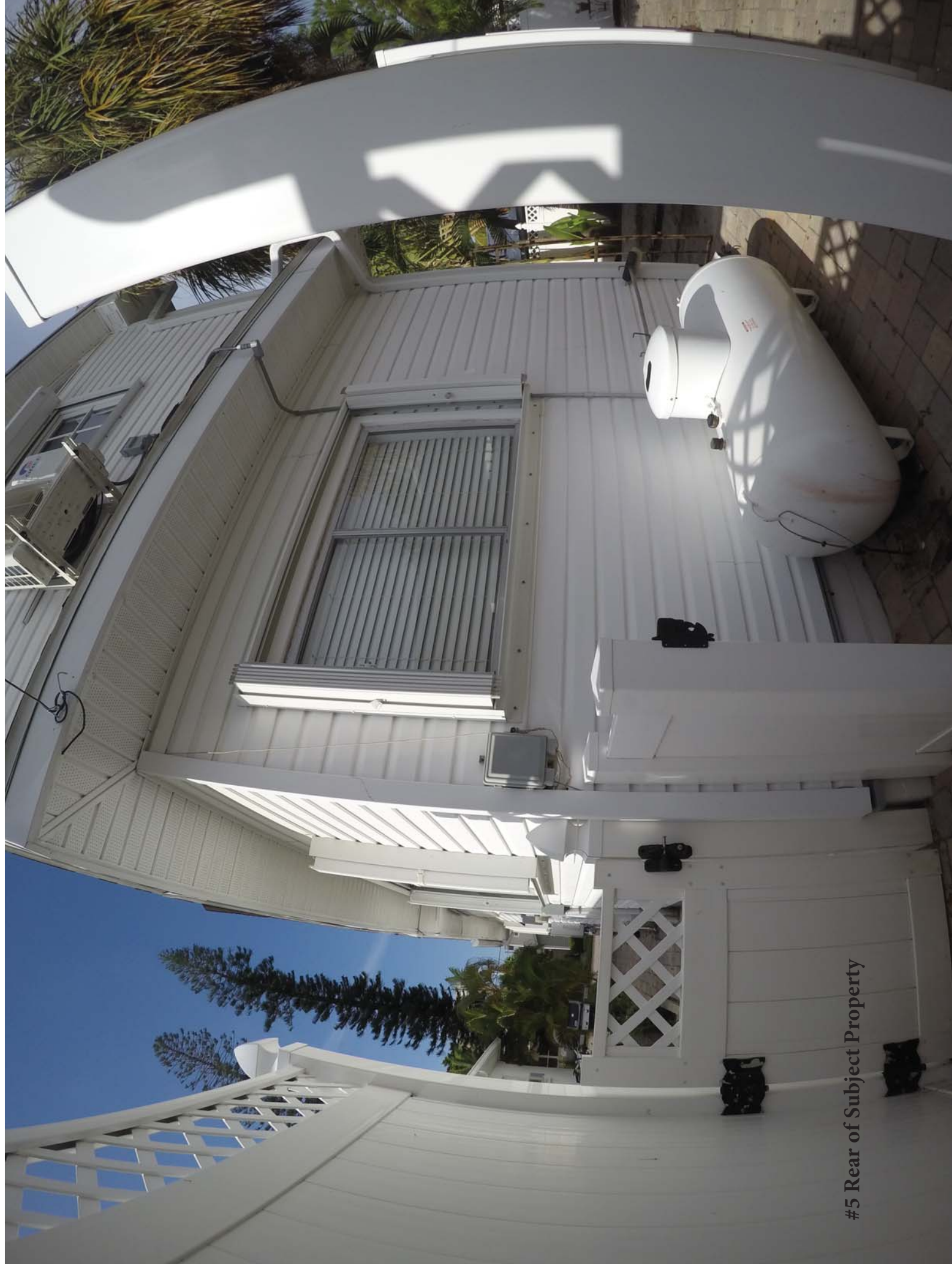
2 Subject Property

#3 Subject Property





#4 Rear Elevation



#5 Rear of Subject Property

#6 Rear of Subject Property





#7 Side of Subject Property



#8 - 106 3rd Ave. To the West of Subject Property



#9 105 3rd Ave. Across the Street from Subject Property





#11 Interior of Subject Property



#12 Structural Floor System

EXHIBIT E

VALUATION RECORD

LAND COMPUTATIONS																	
SQ. FT. @ C ACRES @ \$																	
FRONT	DEPTH	UNIT	Dock Factor	Cos. Factor	△ %	Ft. Ft Price	LAND VALUE										
42	91½	6	96			576	242										

Appraisal by John B. Green, M. A. I.
 111-4th Street North St. Petersburg, Florida
 FIELD WORK BY SEA
 COMPUTED BY SEA
 APPRAISED BY MAY 1936

VALUATION RECORD

[illegible]

Appraisal by John B. Green, M. A. I.
12-4th Street North St. Petersburg, Florida

1936

EXHIBIT F

CITY OF ST. PETERSBURG BEACH
Department of Licensing, Inspection & Planning
APPLICATION AND PERMIT FOR CONSTRUCTION

Permit # 004182

____ New Building X Addition ____ Reroofing ____ Sign X *Electrical X Mechanical X Plumbing
____ Gas ____ Pool X Siding X Fence ____ Alteration/Repair/Other

Description of all work to be performed: ADD LAUNDRY ROOM, NEW BATHROOM & BED ROOM to NEW ADDITION. CHANGE SERVICE TO 200 AMP.

Job Address: 104 - THIRD AVE Parcel ID _____
Legal Description: Lot 7 Block 10 Subdivision MAREY BEACH
Owner: James Sim Fisher Address: 104 - 3RD AVE
City SPB State FL Phone 813-367-3085
Contractor SAME Type _____ Cert. # _____
Address: _____ Phone _____
Architect/Engineer _____ Reg. # _____
Address: _____ Phone _____

ZONING _____ FEMA FLOOD ZONE _____ BASE FLOOD ELEV. _____
OCCUPANCY _____ TYPE OF CONSTRUCTION I II III IV V VI _____ Protected _____ Unprotected
NUMBER OF UNITS _____ BLDG. AREA _____ BLDG. HEIGHT _____
SETBACKS: Front Yard _____ Side Yard _____ Rear Yard _____ CCSBL
VALUATION OF THIS WORK \$ 6500.00 EXISTING VALUATION \$ 39528.00
RATIO OF NEW WORK TO VALUATION OF EXISTING BUILDING 34%

PERMIT FEES

☒ Building Permit (Minimum Fee \$15.00).....(001. 322. 100)	\$ <u>122.50</u>
(Includes: Plumbing, Mechanical, Gas, *Electrical, etc.)	
*If Electrical: Service _____ Amps _____ Phase _____ Wire & Size _____ Meters _____	
☒ Plan Review Fee.....(001. 322. 200)	\$ <u>61.25</u>
☐ Sign Permit.....(001. 322. 400)	\$ _____
☐ Transportation Impact Fee (Due at time of permit.).....(611. 322. 700)	\$ _____
☒ Sewer Impact Fee (Due at time of permit.).....(101. 322. 700)	\$ _____
☒ Radon Gas.....(001. 363. 200)	\$ <u>3.08</u>
☐ Other.....	\$ _____
TOTAL PERMIT FEE	\$ <u>186.83</u>

Permit fees must be paid in each area checked. A completed and signed list of approved sub contractors must be submitted by a properly licensed contractor before this permit becomes valid.

This Permit shall become invalid under the following conditions: (1) if after 180 days the project has not started; (2) if the project once started is abandoned for a period of 180 days; and (3) if the project is not completed within 16 months of the date of issuance.

All provisions of laws and ordinances granting of this permit does not presume to give authority to violate or cancel the provisions of any State or local law regulating construction, the performance of construction, or other land development regulations. I hereby certify that I have read and examined this Application and know the same to be true and correct.

____ CONTRACTOR or authorized agent. (Signed) James K Fisher
☒ OWNER (if owner acts as contractor) (Date) 4-26-91

ISSUED BY G. Marr **DO NOT WRITE IN THIS SPACE - FOR OFFICE USE** DATE ISSUED 4/26/91

INSPECTIONS

ALL WORK MUST BE INSPECTED PRIOR TO COVERING. CALL THE 24 HOUR INSPECTION REQUEST LINE (363-9240) UP TO 7:30 A.M. THE DAY YOU WANT AN INSPECTION. For other information call 363-9241.

WARNING TO PROPERTY OWNERS ON REVERSE SIDE
Routing: White - Permanent File, Green - Fire Dept., Canary - County, Pink - Finance, Goldendard - Applicant

00710310 A 12:20 PM CHECK

\$186.83

called 4-17-91

Date of Submittal 3-16-91
Plan Review # 91-128

Code Enforcement #
Permit # 004182

PLAN REVIEW APPLICATION

Include electrical, mechanical and/or plumbing, if applicable.

X New Building X Addition Roofing Signage Pool Fence
X Electrical X Plumbing X Mechanical Alteration/Other

Description of all work to be performed: BEDROOM, BATHROOM (HARD)
E LAUNDRY Addition, w/ DECK AND
FENCE.

JOB ADDRESS 104-THIRD AV Parcel ID

Legal Description: Lot 7 Block 10 Subdivision MURRY BEACH

Owner: KATHLEEN A. KENNEDY
JAMES K. FISHER Address SAVING

City State Phone 367-3085

Contractor: OWNER Type Cert #

Address Phone

Architect/Engineer DAVIS DESIGN Reg #

Address 770-16TH ST N.E Phone 821-7496

Cost of Job \$6500 (Does this include elec., mech., plbg?)

BUILDING PERMIT/PLAN REVIEW FEES

Building permit.....	\$ <u>188.50</u>
Sign.....	\$ <u> </u>
Plan review.....	\$ <u>61.25</u>
Transportation Impact Fee.....	\$ <u> </u>
Sewer Impact Fee. <u>CREDIT - 3 UNITS TO 2 UNITS.</u>	\$ <u>N/A</u>
Radon Gas... <u>308..X..01.</u>	\$ <u>3.08</u>
Other.....	\$ <u> </u>
TOTAL PERMIT FEE	\$ <u>186.83</u>

ZONING DISTRICT & REVIEW: R3A Multi Family Residential

BOA Case No 1269 March 13, 1991 Approved

Applicant to remove previous area as indicated on
his landscaping plan. Originally 3 units has been reduced to
2 units (2nd unit can not be replaced).

Denied By: Date Approved By: Perkins Mon Date 4-17-91

CONSTRUCTION REVIEW:

SUBJECT TO PLAN NOTATIONS

Denied By: Date Approved By: Date 4/17/91

(Form Revised 02/22/90)

TO BE COMPLETED BY APPLICANT AT SUBMITTAL



City of St. Petersburg Beach
Department of Licensing, Inspection & Planning
Application for Construction within Flood Zone

City Hall Annex
7701 Boca Ciega Drive, St. Petersburg Beach, Florida 33706

PART A. TO BE COMPLETED BY APPLICANT

PLEASE TYPE OR PRINT

APPLICANT JAMES FISHER PROPOSED LOWEST ELEVATION _____ M.S.L.
(As required by _____ B. below)

JOB ADDRESS 104 - 3RD AVE. PARCEL I.D.# _____

LOT _____, BLOCK _____, SUBDIVISION _____

DESCRIPTION OF WORK: RESIDENTIAL ☒ COMMERCIAL ☐

NEW CONSTRUCTION ☐ ADDITION ☒ ALTERATION ☐ EXCAVATION ☐

GRADING ☐ PAVING ☐ OTHER ☐ (Specify) _____

VALUATION DATA: COSTS OF PROPOSED CONSTRUCTION: 3/8/91 6,890 -
4/17/91 500 \$ 13,390.00

VALUATION OF EXISTING BUILDING: 13,390 \$ 39,528.00

RATIO OF NEW COSTS TO EXISTING VALUE: 34 %

I hereby certify, together with plans and specifications, this application shows a true representation of construction to be accomplished under this permit. It is understood that any deviations from the original documents will render the permit issued with respect to this application null and void, unless approved by the Department of Licensing, Inspection & Planning. Further, the permit issued with respect to this application shall become invalid under the following conditions: (1) if after 180 days the project has not started; (2) if the project once started is abandoned for a period of 180 days; and (3) if the project has not been completed within 16 months of the issuance of the permit. I hereby agree to conform to all Department of Licensing, Inspection & Planning regulations and City of St. Petersburg Beach ordinances regulating building, zoning and licensing. Finally, I agree to conform to the provisions of the City Code of Ordinances, Chapter 7 which regulates drainage and flood control.

DATE 4/26/91 SIGNED James Fisher
(Applicant)

PART B. TO BE COMPLETED BY CITY STAFF PERSON

FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD ZONE REQUIREMENTS

(City of St. Petersburg Beach Code of Ordinances, (Drainage/Flood Control))

☐ NEW BUILDING ☐ SUBSTANTIAL IMPROVEMENT ☒ NOT APPLICABLE

A. ☐ A. _____ REQUIRED ELEVATION OF THE LOWEST FLOOR: _____ MSL (NGVD).

B. ☐ V. _____ REQUIRED ELEVATION OF THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER:
_____ MSL (NGVD).

DATE 4/17/91 BY Ed F...
Ed F...
Building Department

Mr. Ferris suggested that Mr. Powell get an accurate survey and come back in April. Mr. Powell said that if he did come back in April he would not have enough time to build the carport before he goes back north and the permit would expire before he returned.

Mr. Ferris stated that he could not issue a variance according to a schematic.

Mr. Bliss asked if there would be a problem with the Fire Department access to the back of the block. Mr. Miller said "no" there was an alley on the west.

There was discussion about the marker and if it was a property marker. Mr. Miller could not verify the dimension of the property.

Mr. Bliss explained to Mr. Powell that the Board was concerned that there might be an encroachment and they would be granting a variance that they would not understand the dimensions of and it would be helpful if Mr. Powell got a certified property survey.

Mr. Powell asked if he got a survey would the Board still grant the variance so he would not have to wait until next month. Mr. Miller asked if he meant contingent upon a particular variance, that would be granted. Mr. Powell said that was what he meant.

Darlene Bache, 104 4th Avenue, said she felt the carport would be a welcome addition.

Mr. Armstrong made the Motion to GRANT A VARIANCE OF THREE (3) FEET CONTINGENT UPON MR. POWELL PROVIDING AN UPDATED SURVEY TO L.I.P. BY MARCH 20, 1991; Seconded by Mr. Bliss and Approved by Unanimous Roll Call Vote.

MR. CUROTTO	YES
MR. MOGAVERO	YES
MR. BLISS	YES
MR. ARMSTRONG	YES
MR. FERRIS	YES

Mr. Miller read the case summary as follows:

CASE 1269

Case 1269: Kathleen A. Kennedy and James K. Fisher, Owners. Request variances to a non-conforming residential structure of 3.4 feet to the required average 10 foot front yard setback, .8 feet to the required 5 foot side yard setback and maximum land coverage in order to erect an addition. 104 3rd Avenue

COMMENTS: No. The residence can be used in its present state. The concern when granting zero lot line setbacks is the relationship to the adjoining properties. The parcel to the east currently has a driveway located on the common property line and would not present a conflict at this time. It could present a problem in the future if the site were redeveloped.

7: Is the variance in harmony with the general intent and purpose of the Ordinance to be varied and other land use control ordinances?

COMMENTS: A zero lot line request to the east is not in harmony. One of the intents of zoning regulations is to prevent encroachment into shared open spaces between adjacent uses. This proposal would set a precedent for further variance requests for associated types of encroachment.

STAFF RECOMMENDATION: Since the proposed carport addition encroaches to some point on the property that cannot be determined without a survey of the site; it is recommended the case be continued until the applicant furnishes a current survey. END SUMMARY.

DISCUSSION

Mr. Powell, 105 4th Avenue, added that there was a punk tree in the area where the carport would be and he wanted to remove it to build the carport to provide shade.

Mr. Mogavero asked if there would be anything else to be removed. Mr. Powell said "no."

Mr. Miller said the problem L.I.P. had was the width and the distance the house was from the property line. Mr. Miller said he went back through the submittal and it was clear that Mr. Powell wanted a zero setback request. Mr. Powell resubmitted his plans with the overhang removed and the house was now fourteen feet from the property line and before it was thirteen feet. Mr. Powell said he found a permanent survey stick and remeasured and the measurement was fourteen feet. Mr. Mogavero asked Mr. Powell if he had a survey. Mr. Powell said "no" he was satisfied with the permanent stick.

Mr. Bliss asked Mr. Miller if he would issue a building permit if the Board were to grant the variance. Mr. Miller said he would issue the permit if the conditions were met but would like to know the dimensions, he had no concern about encroachment on adjoining property. Mr. Powell said he was leaving in April and would like to have the carport built before he leaves.

The lot currently has two structures on the property. One is a two story duplex as the principal structure and the other is a single family one story accessory structure. The applicant is requesting variances to renovate the duplex into a single-family residence and retain the existing accessory structure as is. The square footage of the first floor of the principal structure is to be increased with a new bedroom and bathroom. The impact to the neighborhood is a reduction of one dwelling unit and the increase of permeable area of the site by removing concrete and landscaping. The property is an interior lot located within the R3A, multi-family (low rise) residential zoning district and has a land use designation of Low Medium Density Residential (LMDR). The lot is rectangular in shape being forty five and five tenths (45.5) feet by one hundred (100.0) feet for a total lot area of four thousand five hundred and fifty (4550) square feet. It is bordered to the north, south, east and west by a mix of single family and multi-family residential structures.

Aerial photographs of the area indicate the existing front yard setbacks of structures along the south side of 3rd Avenue to be less than ten (10) feet and nonconforming. It is also worth noting that a majority of the properties within the immediate block have building improvements which encroach upon all other yard setbacks. The addition, if built in line with the existing west side setback would encroach eight tenths (.8) of a foot into the required five (5) foot side yard. The designer has furnished a site plan which delineates a courtyard area and notes the removal of the majority of the concrete on site. The maximum land coverage by structure is limited to fifty (50%) percent. The existing structures and the addition calculate to be fifty one (51%) percent or a one (1%) percent variance. The site currently has approximately one hundred (100%) percent coverage of non permeable area. The landscaping plan will retain only those areas necessary for pedestrian traffic and the on site driveways. The twenty five (25%) landscaping requirement will be met. The proposed addition does not exceed the maximum building height of thirty five (35) feet. The addition, in combination with the conversion to a single family residence will comply with the district minimum of twelve hundred (1200) square feet of floor space.

The addition cannot exceed fifty (50%) percent of the market value of the existing structure without triggering the substantial improvement definition. If the variances are approved, the total cost figures will be reviewed in order to meet the floodplain management program as outlined in Chapter 7 of the City Code of Ordinances.

ST. PETERSBURG BEACH STAFF FINDINGS AND RECOMMENDATIONS ON APPLICATION.

1. Authority of the Board to consider the application.

Comments: Yes, the Board has the authority.

2.Existence of special conditions, circumstances peculiar to land, structure or building not applicable elsewhere in the district.

Comments: Although this residential property is typical of Pass-a-Grille in size and shape, the structure appears to conform to the average front yard setbacks along the block face. A variance to the side yard setback would be typical of other structures within the immediate neighborhood and not further the encroachment.

3.Was the hardship self-created?

Comments: The hardship is self-created due to the applicants desire to renovate a non-conforming structure. The applicant is attempting to meet all other district requirements as well as the requirements of the flood plain management program.

4.Will the grant of the variance confer special privileges to the applicant generally denied elsewhere in the district?

Comments: Many of the properties in this district similarly encroach upon the front, rear and side yard setbacks, thus the grant of some variance will not confer a special privilege. However, it should be noted that no variance is requested to the front or rear of the lot.

5.Would a literal interpretation of the ordinance deny the applicant rights commonly enjoyed within the district?

Comments: Since many of the other properties in this area have similar non-conformities, a literal interpretation would deny commonly enjoyed rights, especially with respect to the front and side yard setbacks.

6.Is the variance requested minimal to allow only reasonable use?

Comments: The applicant is doing what the City would like to see in the reduction of density to a single-family dwelling. The addition to the side yard variance is minimal.

7.Is the variance in harmony with the general intent and purpose of the ordinance to be varied and other land use control ordinances?

Comments: There are primarily three reasons for establishing setback requirements for structures: to ensure that overcrowding and over development will not occur; to ensure adequate separation of neighboring uses; and to ensure protection of scenic vistas. Since the proposed single-family dwelling addition will be erected between the existing structures; only a minimal side yard variance

is required. No other setback variances are asked for. The variance to the structure coverage is minimal and the applicant has submitted a landscape plan which is an improvement to the property. The density is being reduced by one dwelling unit.

RECOMMENDATION: It is recommended the Board grant the variance to the front and side yard setbacks due to the fact a literal interpretation of the ordinance would deny the applicant rights commonly enjoyed within district and due to the fact the variance is in harmony with the general intent and the purposes of the ordinance to be varied. Staff recommends approval of the one (1%) percent variance to lot coverage by structures. With respect to the required lot area issue, the grant of a variance will not confer special privileges to the applicant since many of the structures in the district have two units on lots which do not meet the current regulations for area or width for single-family with garage apartment construction. The applicant should be commended for reducing the density and developing a landscaping plan that conforms to the City's code. END SUMMARY.

DISCUSSION

Mr. Ferris asked Mr. Fisher where they would parked. Mr. Fisher said there was a garage.

Mr. Armstrong asked if the improvement would be 51% or greater. Mr. Fisher said it would be less than 50%.

Mr. Armstrong asked if the size was being expanded by removing the kitchen. Mr. Fisher stated "yes", that the bathroom would stay and the upstairs would be a master bedroom suite.

Mr. Ferris asked where the 1% was figured in and Mr. Miller replied it was the lot coverage. Mr. Miller explained that the 51% was the expansion of the first floor area combined with the setbacks and the existing building.

Mr. Bliss made the Motion to GRANT THE VARIANCE TO THE FRONT AND SIDE YARD SETBACK AND ALSO THE VARIANCE OF ONE PERCENT TO THE LOT COVERAGE BY STRUCTURES; Seconded by Mr. Armstrong and Approved by Unanimous Roll Call Vote.

MR. CUROTTO	YES
MR. MOGAVERO	YES
MR. ARMSTRONG	YES
MR. BLISS	YES
MR. FERRIS	YES

Mr. Mogavero asked Mr. Miller about the Comprehensive Land Use Plan, which states there will be a special Ordinance written for the Pass-A-Grille area, and asked when the Ordinance be would

written. Mr. Miller said it needs to go before the Planning and Zoning Board and other things have taken precedents.

Mr. Miller read the case summary as follows:

CASE 1270

Case 1270: John and Rose Cattani, Owners. Request an administrative review of the Building Official's decision of the legal number of dwelling units permitted in a single-family residential district. 735 Boca Ciega Isle.

The applicant is requesting an administrative review of the building official's decision to allow for one (1) dwelling unit as opposed to the two (2) dwelling units claimed by the applicant. The property is approximately rectangular in shape; seventy-five (75) feet by one-hundred, thirty (130) feet. The property is located within the R-150, single-family zoning district with a land use of Low Density Residential (LDR). The property is bordered to the north, east, south and west by single-family residences.

A review of the property files indicates that only a single family residence was originally approved and erected. The original configuration included the principal structure with an attached garage as shown on the Sanborn maps and labeled one (1) dwelling unit and an accessory structure. No occupational license has ever been recorded to show the rental of apartments as required by State law. This would only apply if more than one (1) unit were being rented out. The Tax appraiser's office classifies the property as single family classification. The finance department lists the property designation as single family. One electric meter was confirmed by Florida Power and observed during the on site inspection.

A complaint to the Licensing, Inspections and Planning department resulted in a field inspection and the confirmation that two separate kitchen facilities exist. An order was issued to remove the additional kitchen or appeal the decision to the Board of Adjustment.

The applicant has filed for a review of staff's administrative decision to discontinue the use of the unit as a dwelling facility and removal of the kitchen. This review is allowed for under section 18.C. which refers to section 5.5-55(1) of the Municipal Code of Ordinances which states:

"Appeals to the board may be taken by any person aggrieved or by any officer of the City of St. Petersburg Beach affected by any decision of the administrative officer where it is alleged there is any error in any order, requirement, decision

CITY OF ST. PETERSBURG BEACH
Department of Licensing, Inspection & Planning
APPLICATION AND PERMIT FOR CONSTRUCTION

Permit #

009562

Job Address: 104 THIRD AVE

Unit#

Description Of All Work To Be Performed (building permits for an entire structure may include electrical, mechanical, and plumbing, only if noted):

DECKS & SUNSCREENS

Owner's Information:

Name: JIM FISHER / KATHY KENNEDY

Phone: 367-3885

Address: SAME

Contractor's Information

Name: SAME

Phone:

Address:

Cert:

Architect/Engineer:

Name: SAME

Phone:

Lot Information:

Lot: 7

Block: 10

Subdivision: MOREY BEACH

Parcel ID: 321619 58932 010 0010

Zoning:

Type of Permit: Residential

Commercial

Valuation Of This Work: \$1250

FEMA Flood Zone:

Base Flood Elev.:

PERMIT FEES

☒ Building Permit (Minimum Fee \$15.00).....(34) ... (001. 322. 100)	\$ <u>25.00</u>
☒ (Includes: Plumbing, Mechanical, Gas, *Electrical, etc.)	
☐ Plan Review Fee.....(37) ... (001. 322. 200)	\$ <u>12.50</u>
☐ Sign Permit.....(40) ... (001. 322. 400)	\$
☐ Transportation Impact Fee (Due at time of permit.).....(370) ... (611. 363. 240)	\$
☐ Sewer Impact Fee (Due at time of permit.).....(280) ... (101. 363. 210)	\$
☐ Radon Gas.....(220) ... (001. 363. 200)	\$
☐ Other.....	\$
TOTAL PERMIT FEE	\$ <u>37.50</u>

Permit fees must be paid in each area checked. A completed and signed list of approved sub contractors must be submitted by a properly licensed contractor before this permit becomes valid.

This Permit shall become invalid under the following conditions: (1) if after 180 days the project has not started; (2) if the project once started is abandoned for a period of 180 days; and (3) if the project is not completed within 16 months of the date of issuance.

All provisions of laws and ordinances granting of this permit does not presume to give authority to violate or cancel the provisions of any State or local law regulating construction, the performance of construction, or other land development regulations. I hereby certify that I have read and examined this Application and know the same to be true and correct.

____ CONTRACTOR or authorized agent.

(Signed) [Signature]

☒ OWNER (if owner acts as contractor)

(Date)

ISSUED BY L. Hall

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE

DATE ISSUED 6/13/94

INSPECTIONS

ALL WORK MUST BE INSPECTED PRIOR TO COVERING. CALL THE 24 HOUR INSPECTION REQUEST LINE (363-9240) UP TO 7:30 A.M. THE DAY YOU WANT AN INSPECTION. For other information call 363-9241.

WARNING TO PROPERTY OWNERS ON REVERSE SIDE

Routing: White - Permanent File, Green - Fire Dept., Canary - County, Pink - Finance, Goldenrod - Applicant

007#2741

B

3:49PM

001322100

\$25.00

001322200

\$12.50

Date of Submittal 5-27-94
Plan Review # 94-171

Code Enforcement #
Permit # 009562

PLAN REVIEW APPLICATION

Include electrical, mechanical and/or plumbing, if applicable.

 New Building ☒ Addition Roofing Signage Pool Fence

 Electrical Plumbing Mechanical Alteration/Other

Description of all work to be performed: More STORAGE SHED, DECK OVER
EXISTING CONCRETE PATIO STONE @ @ @ @ AND BUILD SONScreens
OVER DECK & PATIO AS SHOWN ON ATTACHED @ @ @ @ @.

JOB ADDRESS 104-THIRD AVE Parcel ID 321619 58932 010 0070

Legal Description: Lot ? Block 10 Subdivision MORAY BEACH

Owner: JIM FISHER & KATHY KENNEDY Address 104 THIRD AVE

City ST PETERS BEACH State FL Phone 337-360-3085 (H)
360-6927 (W)

Contractor: OWNERS Type Cert #

Address Phone

Architect/Engineer Reg #

Address Phone

Cost of Job \$1250.00 (Does this include elec., mech., plbg?)

BUILDING PERMIT/PLAN REVIEW FEES

☒ Building permit.....	\$ <u>25.00</u>
☐ Sign.....	\$ <u> </u>
☒ Plan review.....	\$ <u>12.50</u>
☐ Transportation Impact Fee.....	\$ <u> </u>
☐ Sewer Impact Fee.....	\$ <u> </u>
☐ Radon Gas.....	\$ <u> </u>
☐ Other.....	\$ <u> </u>
TOTAL PERMIT FEE \$ <u>37.50</u>	

ZONING DISTRICT & REVIEW: R3A Multi Family Residential

on grade deckng - OK / shed has been relocated to
original location per applicant / sunshade at location

B & C + G are permitted as indicated on

survey. *Sunshade at location D IS

NOT permitted. constitutes a furthering of a non-conforming

Denied By: Date Approved By: A. Mass Date 6/10/94

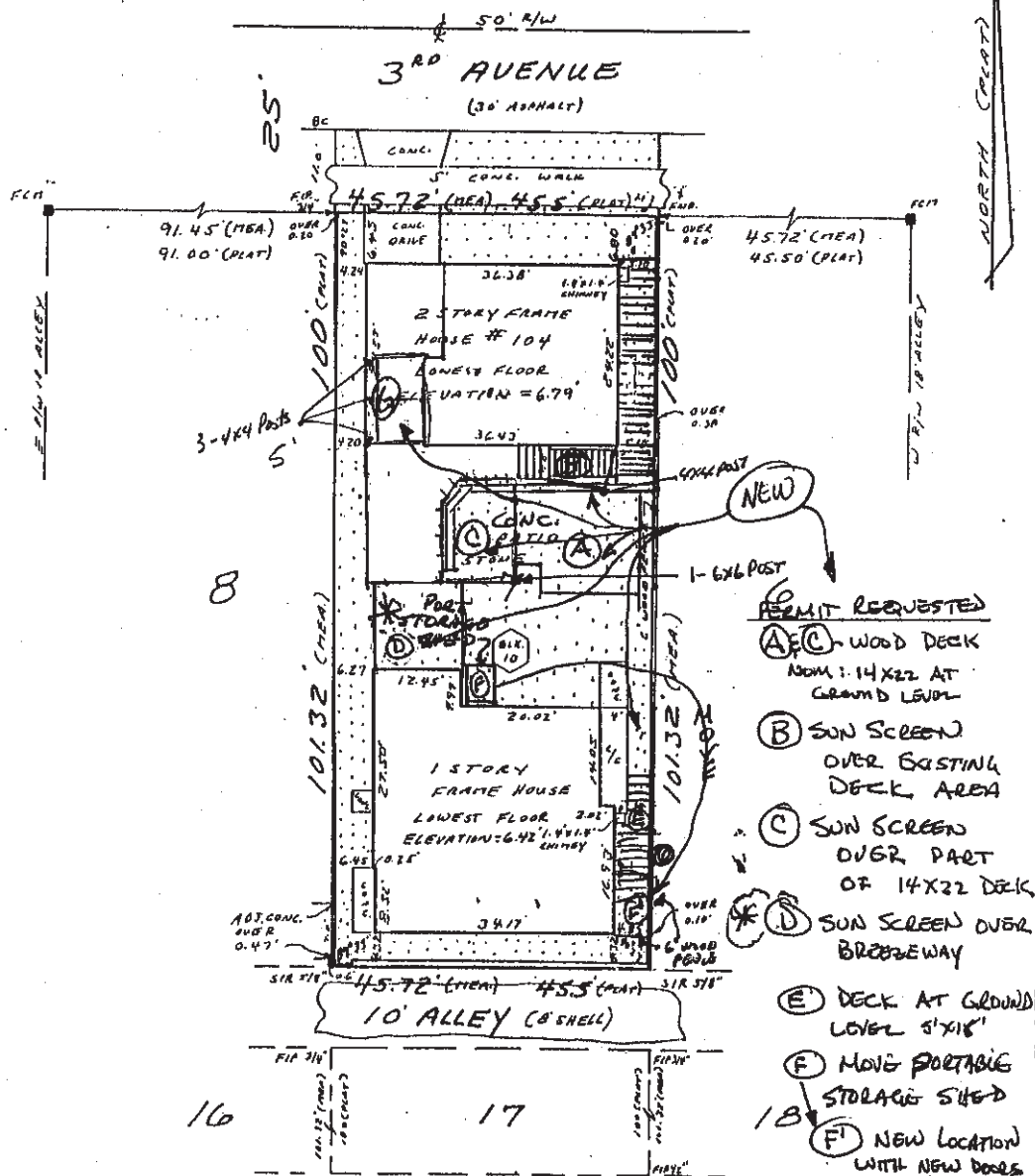
CONSTRUCTION REVIEW: Need specific details on (sunscreen).
Detailed Plans

Denied By: Date Approved By: Date 6/18/94

TO BE COMPLETED BY APPLICANT AT SUBMITTAL

JOB NUMBER 900934	DAVID C. HARNER REGISTERED LAND SURVEYOR 4923 18TH AVENUE SOUTH GULFPORT, FLORIDA 33707	FLOOD MAP NUMBER 125149 0006 B
TELEPHONE (813) 323-5272		FLOOD MAP DATE 3-2-81
DATE 11-29-90		FLOOD ZONE "A11" (EL.10')
CERTIFIED TO: Sears Mortgage Corporation Ron Struthers Homeowners Title and Abstract Company Inc.		

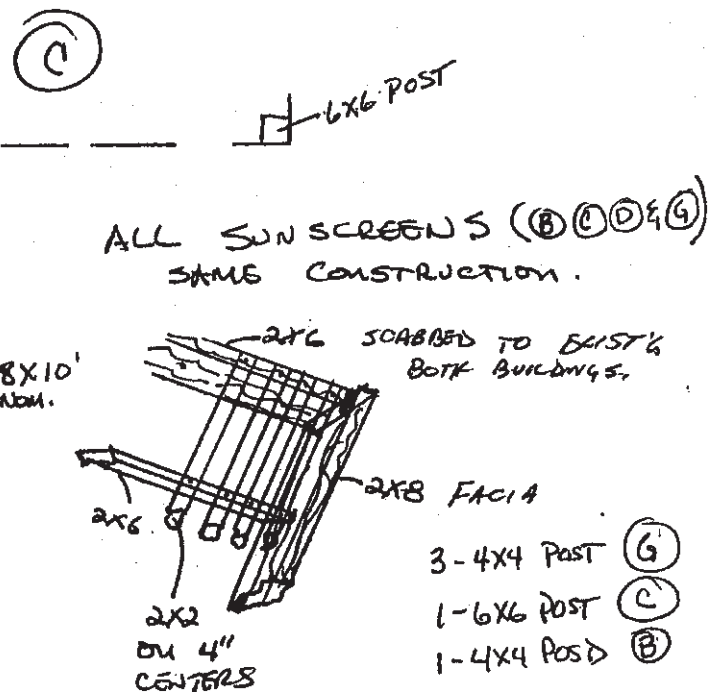
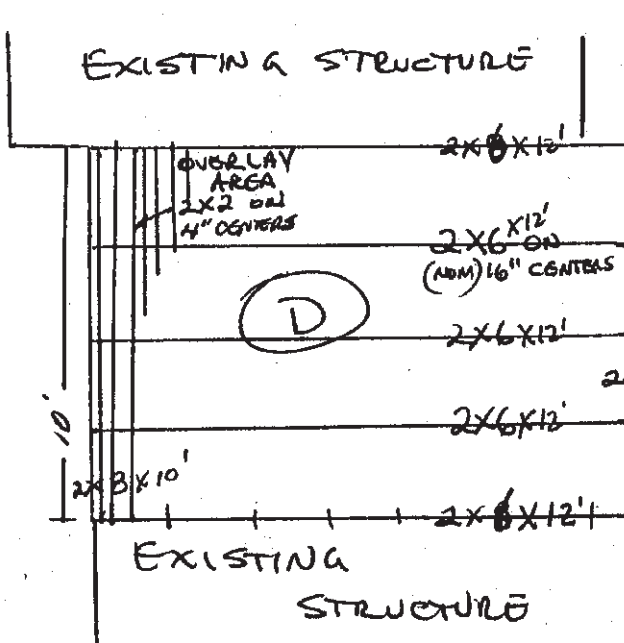
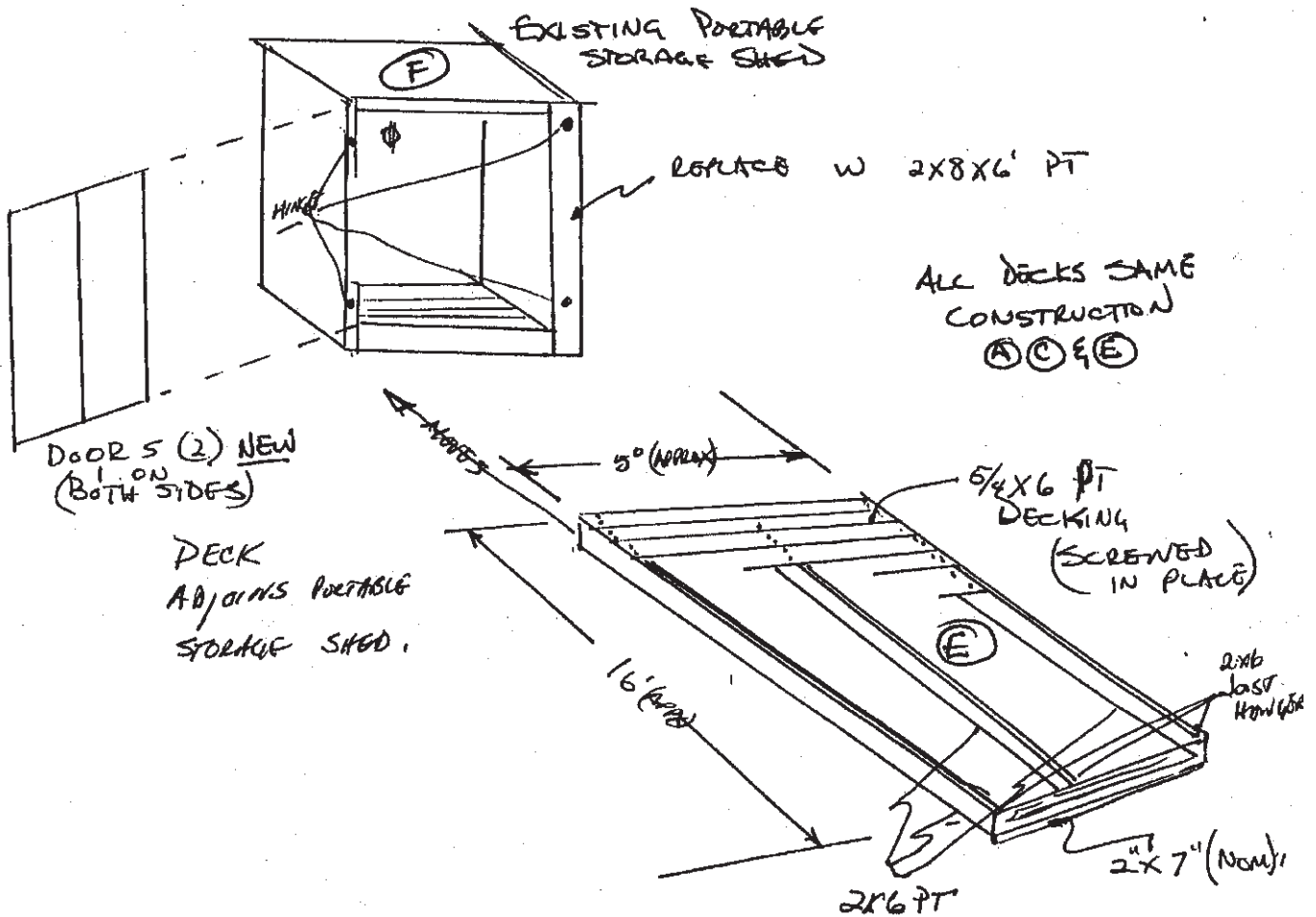
SCALE: 1" = 20'
 PLAN OF SURVEY
 SEC. 19 TWP. 32 S. RGE. 16 E.
 Benchmark Elevation=5.923'
 Basis: Mean Sea Level=0.00'.
 Designation: Pinellas County B.M. #290



A land survey of Lot 7, Block 10, MOREY BEACH, as recorded in Plat Book 1, BACK UNIT Page 102 of the Public Records of Hillsborough County, of which Pinellas County was formerly a part, Florida.

TO THE HEREON PARTY(IES), IN CONSIDERATION OF THE FEE PAID FOR MAKING THIS SURVEY, I HEREBY CERTIFY TO ITS ACCURACY (EXCEPT SUCH EASEMENTS, IF ANY, THAT MAY BE LOCATED BELOW THE SURFACE OF THE LANDS OR ON THE SURFACE OF THE LANDS NOT VISIBLE), AND THAT THE SURVEY REPRESENTED HEREON MEETS THE REQUIREMENTS OF FLORIDA STATUTE 472.027; RULE 21 HH-8.

LEGEND:				DAVID C. HARNER R.L.S. NO. 2850	
CLF - CHAIN LINK FENCE	N - NORTH	SIR - SET IRON ROD	ER - EDGE OF ROAD	C/C - COVERED CONCRETE	A - ARC
PC - POINT OF CURVE	S - SOUTH	FIR - FOUND IRON ROD	CL - CENTER LINE	BC - BACK OF CURB	C - CHORD
BM - BENCH MARK	E - EAST	FIP - FOUND IRON PIPE	W/W - WING WALL	SP - SCREEN PORCH	MH - MANHOLE
BLVD - BOULEVARD	W - WEST	FCM - FOUND CONCRETE	R - RADIUS	EP - EDGE OF PAVEMENT	ELEV - ELEVATION
AL SH - ALUMINUM SHED	DIK - BLOCK	MUN - MONUMENT	SEC - SECTION	ROE - RANGE	STV - STORY
ADJ - ADJACENT	MAS - MASONRY	MEA - MEASURED	TWP - TOWNSHIP	R/W - RIGHT OF WAY	
POB - POINT OF BEGINNING	PP - POWER POLE	CONC - CONCRETE	ST - STREET	AVE - AVENUE	



SUN SCREEN MATERIALS - CYPRESS

B 7'(Nom) X 12'		
1 - 4X4X 12'	16.50	\$16.50
1 - 2X8X 12'	10.08	10.08
2 - 2X8X 8'	6.90	13.44
6 - 2X6X 12'	6.90	41.40
32 - 2X2X 8'	0.20/LF	6.40
1/2 X 6 BOLTS NUTS (4)	2.29	1.15
LAG BOLTS 1/2" (10)	2.29	22.90
JOIST HANGERS (10) (2x6) 0.34		3.40

C 12' X 16'		
1 - 6X6X 12' POST	20.88	\$20.88
2 - 2X8X 16'	13.44	26.88
1 - 2X8X 12'	10.08	10.08
9 - 2X6X 12'	6.90	62.10
72 - 2X2X 8'	0.20/LF	14.40
		235.14

CEMENT (1 BAG)		
10 - LAG BOLTS 1/2X6	2.29	22.90
4 - BOLTS 1/2X8	2.29	9.16
18 - JOIST HANGERS (2x6) 0.34		6.12

\$274.77 = C

D 10' X 12'

2 - 2X8X 10'	8.40	\$16.80
5 - 2X6X 12'	6.90	34.50
36 - 2X2X 10'	0.20/LF	7.20
10 - JOIST HANGERS (2x6) 0.34		3.40
12 - LAG BOLTS 1/2X6 2.29		27.48

\$154.18 TOTALS

DECK (PT) A C MATERIALS 14'X22'

17 - 2X4X8 PT @ 2.75	\$46.75
6 - 2X4X12 PT @ 4.08	24.48
60 - 3/4X6X8 PT DECKING @ 3.75	225.00
2 - GALV DECK SCREWS @ 12.85	25.70
	\$302.93 = A

G 15X9E		
3 - 4X4X 8'	12.26	\$36.75
2 - 2X8X 16'	13.44	26.88
2 - 2X8X 10'	8.40	16.80
8 - 2X6X 10'	6.80	54.40
54 - 2X2X 8'	0.20/LF	10.80
12 JOIST HANGERS (2x6) 0.34		4.08
8 LAG BOLTS 2.29		18.32
8 1/2X6 NUTS & BOLTS 2.29		18.32
		\$253.95

E 5' X 16

8 - 3/4X6X 10' 4.85	40.00
3 - 2X6X 16' 6.72	21.00
1 - 2X8X 5' 5.00	5.00
	67.00

MATL	LABOR
\$1250	\$492

\$258

	MATL	OWNERS LABOR
B	\$167.70	8 - 36.00
C	\$274.77	8 - 48.00
D	\$154.18	1 - 42.00
G	\$253.95	8 - 48.00
A&C	\$327.93	10 - 60.00
	\$1178.53	\$234.00

LABOR (By Owner)

JCM
THE
FRANIER
\$6.00/HR

(B) 7' (nom) x 12' 6 hrs 36.00

(C) 12' x 16' 8 hrs 48.00

~~(D) 10' x 12' 7 hrs 42.00~~

(A+C) 14' x 22' (Deck) 10 hrs 60.00

(G) 9' x 15' 8 hrs 48.00

(E) 5' x 15' \$234.00

4

24
258.00
216.00

1178.53
- 154.18
1023.35
216
1239

Cypress - 100 LB V 531 - 8724
HP = 100

2x2	12	.20/LF	EVERY OPEN
2x4 #40	12	.34	
HD 16'	602		
2x6	12	.6	
HD 588			
2x8	12	10.08	
6x6	10	20.17	
	12	20.88	

Do Not Stock
~7 DAYS

Home Depot

(LW26) 2x6 Joist Hangers 0.34
2" Deck Screws 500 GALV 18.85 / Box
3" " 250 GALV 13.55
6" Lag Bolts GALV 29.25
5" Lag Screws / WASHERS 18.50
8" Bolts & NUTS / WASHERS 22.90

SANITARY 100# \$1.15
12" NAILS \$
2x4 X 12' 4" PT \$4.00
7/8 X 6 X 305 8' Decking \$3.85
650 12' \$6.50

12D 3" / Box
100# 3" / Box
8D Deck 12" / Box
PT LWSA
5" / Box

Deck
308 #1
4 #1 (1.5 x 6 x 8)
77-5/8 X 6 X 8' =
\$96.45
HD

PT 4x4x8 5.25
PT 4x6x12 14.95
PT 6x6x8 13.50

14 X 22



17-2x4x8' @ 4.08
6 2x4x12' @ 4.08

ST. PETE BEACH
CITY OF ST. PETE BEACH

Department of Planning and Development
APPLICATION AND PERMIT FOR CONSTRUCTION

Permit # 016140
CO Required ☐ Yes ☒ No

Job Address: 104 THIRD AVENUE Unit # _____

Check One: _____ New ☒ Addition _____ Alteration _____ Repair _____ Other _____

Description Of All Work To Be Performed (building permits for an entire structure may include electrical, mechanical, and plumbing, only if noted): 2ND FLOOR ADDITION OVER EXISTING STRUCTURE, ELECTRICAL, PLUMBING AS DESCRIBED ON DRAWINGS, NEW ROOF SHINGLES TO FULL ROOF.

Owner's Information:
Name: KATHY CONNOR / TIM FISHER Phone: 367-3085
Address: 104 THIRD AVENUE

Contractor's Information:
Name: OWNER Phone: _____
Address: _____ Cert: AR0005068

Architect/Engineer:
Name: BRETT SLOAT / JOHN BODZIAK, SR. Phone: 544-8791

Lot Information:
Lot: #7 Block: 10 Sub: WORTH BEACH
Parcel ID: 321619 58932 010 0010 Zoning: R3A

Total Valuation Of This Work: \$ 12,020.79 FEMA Flood Zone: _____ Base Flood Elev.: _____
Subcontractors: Electrical: ~~\$4,000.00~~ Mechanical: _____ Plumbing: ~~\$2,279.41~~
Roofing: ~~\$3,500.00~~ Swimming Pool: _____ Misc.: _____ (see attached list)

PERMIT FEES

Building Permit (Minimum Fee \$15.00)	 (34) ...	(001.322.100)	...	\$ <u>205.00</u>
- Plan Review Fee	 (37) ...	(001.322.200)	...	\$ <u>102.50</u>
- Sign Permit	 (40) ...	(001.322.400)	...	\$ _____
- Transportation Impact Fee (Due at time of permit.)	(370) ...	(611.363.240)	...	\$ _____
- Sewer Impact Fee (Due at time of permit.)	(280) ...	(101.363.210)	...	\$ _____
- Radon Gas	(220) ...	(001.363.200)	...	\$ <u>5.28</u>
- Other				\$ _____
TOTAL PERMIT FEE				\$ <u>312.78</u>

Permit shall become invalid under the following conditions: (1) if after 180 days the project has not started; (2) if the project, started, is abandoned for a period of 180 days; or (3) if the project is not completed within 16 months of the date of issuance.

Granting of this permit does not presume to give authority to violate or cancel the provisions of any Federal, State or local law regulating construction, the performance of construction, or other land development regulations.

I hereby certify that I have read and examined both sides of this Application and know the same to be true and correct.

CONTRACTOR or authorized agent. (Signed) James Fisher

act OWNER (If owner acts as contractor) (Date) 05 Dec 97

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY.

ISSUED BY L. Hull DATE ISSUED 12/12/97

INSPECTIONS: All work must be inspected prior to covering. Call the 24 hour inspection request line at 366-9240 up to 3:30 P.M. for next day inspection. For other information call 366-9240.

Warning to property owners on reverse side

PERMANENT FILE

EXHIBIT G

From: cassitywayne <cassitywayne@gmail.com>
Sent: Thursday, August 10, 2017 4:04 PM
To: Catherine Porter
Subject: Fwd: 104 3rd Ave St. Pete Beach, Fl/Bacon Residence

Sent from my T-Mobile 4G LTE Device

----- Original message -----

From: Jeff Bacon <jeff.bacon@mauriceelectric.com>
Date: 8/3/17 4:15 PM (GMT-05:00)
To: cassitywayne <cassitywayne@gmail.com>
Cc: Jeff Bacon <jeff.bacon@mauriceelectric.com>, "Caryn Bacon (clbacon2016@gmail.com)" <clbacon2016@gmail.com>
Subject: 104 3rd Ave St. Pete Beach, Fl/Bacon Residence

To Whom It May Concern:

My wife, Caryn and I purchased the land and dwellings located at 104 3rd Ave in St. Pete Beach, Fl in 2015. No consideration whatsoever, was ever given to any historical designation at all, especially any property tax relief considerations. In addition, there was no building code relief ever mentioned, offered, or nor given. As of this writing we are not exempt from any flood regulations that are in place for our land/dwellings. Please feel free to contact me should you require anything further at 240-375-5906. Thank you.

Jeffrey A. Bacon
45518 Lighthouse Road
Piney Point, Md 20674



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Think, reuse, recycle.

From: cassitywayne [<mailto:cassitywayne@gmail.com>]
Sent: Thursday, August 03, 2017 3:55 PM
To: Jeff Bacon
Subject: Fwd: 104 RD aVENUE

Sent from my T-Mobile 4G LTE Device

----- Original message -----

From: Catherine Porter <cporter@stpetebeach.org>

Date: 8/3/17 3:50 PM (GMT-05:00)

To: 'Cassity Wayne' <cassitywayne@gmail.com>

Subject: 104 RD aVENUE

Hi Wayne!

As part of our providing the facts to the historic preservation board, we need to know whether the property received any historic incentives. This would include things such as property tax abatement, relief from flood regulations or relief from certain provisions of the Building Code. Please ask you client and let me know the results. Thank you.

St Pete Beach logo



CATHERINE W. PORTER, AICP, CFM

Planner II

City of St. Pete Beach

155 Corey Avenue

St. Pete Beach, FL 33706

727-363-9266

FAX 727-363-9222

Download SPBConnect at www.stpetebeach.org/spb-connect.html

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EXHIBIT H

Secretary of the Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Agenda Item d.

Recommendation to City Commission on Proposed Freedom Fountain
(Medal of Honor Memorial)



Veterans of South Pinellas County Inc.

7217 Gulf Blvd #14-155, St Pete Beach, FL 33706

A 501(C)(3) CHARITABLE ORGANIZATION

Presentation to the Historical Board of SPB

7 Sept. 2017

A brief history of the Freedom Fountain, Medal of Honor Memorial proposed for Pass A Grille Park.

It all started about 7 years ago, with SGM Augie D'Alessio (Ret), who's dream it was to build a memorial to recognize the MOH Recipients, who were born in or currently live in the State of Florida. There are currently thirteen MOH recipients that were born in Florida, plus four additional recipients that currently live in Florida, including one that is a resident of SPB.

SGM D'Alessio passed away Oct. 30, 2013 at his home here in SPB. You only you needed to have met Augie once in order to understand that if he asked you to do something, for some reason you always did it and later wondered just how you got involved. During one of our many long conversations, Augie gave me a packet of paper and said "You need to follow up on this". It was a packet describing his vision for a Medal of Honor Memorial. Shortly afterwards he passed away, and in so he his left the project in my hands.

I had a meeting with my Veterans of South Pinellas County Inc. Executive Board, asking if I could move forward with the MOH Memorial and received a favorable vote to move forward using the VSPC name.

The area we are requesting is located in PAG Scuffle Board Court area. It will be in the East end of the park facing PAG Way. The area measured about 104ft from the South sidewalk to the North Curb and about 96ft east and west from sidewalk to sidewalk. The memorial would be located in the north end of the area and would measure approximately 30ft by 18ft for the Reflection Pool. The height of the brick surrounding the pool would be about 18in with a flat top to sit on. There would be two fountains spurting water on each side of the pool. In the front middle part of the pond, the would be a replica of a solider kneeling in pray, holding his rifle with a white cross in front of the solider. The image would show as a 2D effect coming out of the pond. The granite slabs should be six feet in height, by 4 feet, at the top of the slabs, there would be a replica of each of the three branch's Medal of Honor Award, also the names of each recipient that live or who have passed away in Florida. The MOH is one of the oldest medals still being awarded, which dates back to the civil war. There have been thirteen MOH recipient's that would be listed, and there are four additional recipients who are current residents of Florida.

The benefits to the city;

1. Increase in our local Mom and Pop's stores business and local taxes.
2. Increase in hotel reservations and bed tax.
3. Increase in restaurants business
4. Increase in parking fee revenue.
5. Tourist attraction nationwide, but not a daily large gathering to view the memorial.

Note: We are a 501(C)(3) charitable organization, Florida registration #CH35056.

A COPY OF THE OFFICIAL REGISTRATION AND FINANCIAL INFORMATION MAY BE OBTAINED FROM THE DIVISION OF CONSUMER SERVICES BY CALLING TOLL-FREE (800-435-7352) WITHIN THE STATE. REGISTRATION DOES NOT IMPLY ENDORSEMENT, APPROVAL, OR RECOMMENDATION BY THE STATE.

We are asking that the Commission; to give us permission to build the memorial in the PAG Park and allot \$5,000 to get the architectural design completed; to have the staff approved the site plan. This is not saying that the plans are in concrete, we want suggestions from the public, business, city staff before we submit it to the Commission for final approval.

Various areas in SPB have been looked at ensure the MOH memorial isn't tucked away in some out of the way corner in SPB and we realized that the PAG Park would be the best open area to place it.

Engraved on the center granite slab at the bottom will be encribed;
Dedicated to the Medal of Honor recipients and their fellow brothers and sisters.

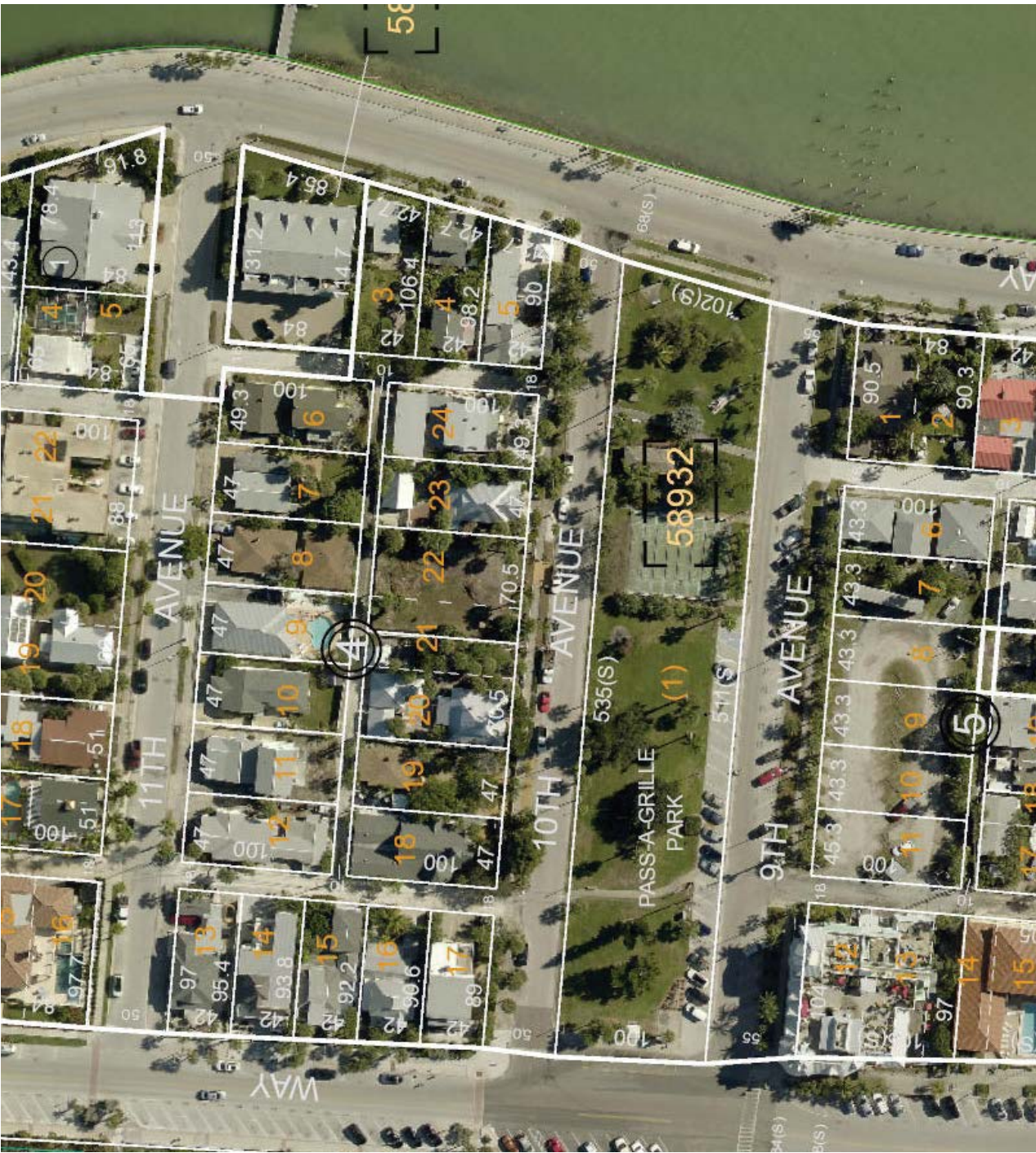
The Veteran of South Pinellas County Inc. is a 501(c)(3) charitable organization that was formed to support our fellow veterans and First Responders. We have 5 donated electric wheelchairs that we loan out either on a loan basic, or give the chair to the person; there is also a \$500 fund maintained at the VA's OIF/OEF section for qualified Veterans that the VA determines they are in need of emergency help but normal approval red tape at the VA would take too long. We also have two college grants per semester one at St Petersburg College and one for USF, for returning Veterans from their tours of duty. We are presently assisting with rehabbing a house for wheelchair bound Vet in Safety Harbor and received a \$94,000 grant from a local person to be used for that Veterans house. That project is almost completed. Those are just a few items that are ongoing work the Veterans of South Pinellas County have accomplished for our local veterans. In addition through the years we have partnered with Building Homes for Heroes in order to provide a returning Gulf War Disabled Vet with a mortgage free home. We worked with the City of St Pete Beach during the recent Bridge rededication ceremonies. We continue to strive to serve those who serve, Veterans, First Responders, & Civic needs as well.

Thank you for hearing our case today and hope you can approve our request that will go before the Commission.

Respectfully,



Harry Metz - President
Veterans of South Pinellas County Inc.
7215 Gulf Blvd. #14-155
St Pete Beach, FL 33706
(727) 642-5995



A Memorial to Make a Dream Come True

By Betsy Judge

In August 2013, retired Marine Sgt. Maj. Augie D'Alessio called. "I've got a scoop for you," he said with a great deal of delight. "But you can't do anything with it yet; I have to get a few more things lined up." His scoop was about a project he called "Freedom Fountain," and he had hand selected fellow veteran and St. Pete Beach resident Harry Metz to make it a reality.

"We were sitting and talking and he says, 'Uhh Harry, here's another project I want you to do,'" recalls Metz. "When he passed (Oct. 30, 2013), I thought I better get off my butt and do it, because I'll catch hell when I get up there," he says pointing skyward and laughing.

He's been working behind the scenes with Medal of Honor recipient retired CSM Gary Littrell along with local businesses to get things going

MEMORIAL continued on page 19

This rendition of the Freedom Fountain was donated by Tim Kelly owner of TNT Design & Marketing. He specializes in product design and development for major theme parks and attractions and locally for St. Pete Beach, Redington Beach, and the Gulf Beaches Historical Museum. He also does commissioned art for the Tampa Bay Rays and The Dalí Museum.



MEMORIAL continued from page 17

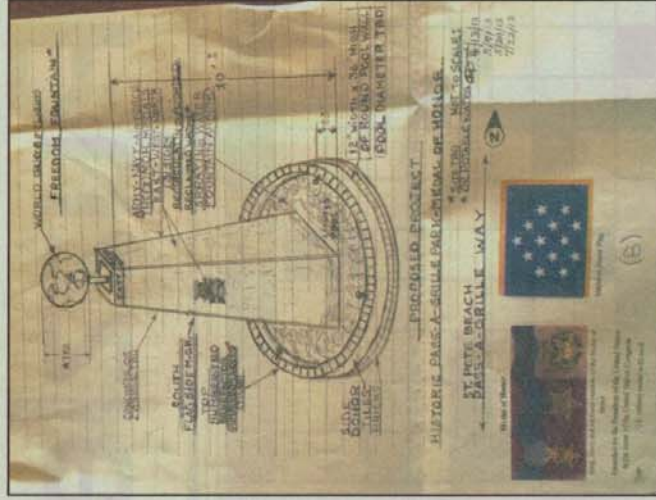
since and presented the idea officially to the St. Pete Beach City Commission, July 11.

Freedom Fountain is a monument to recognize Medal of Honor recipients. Augie planned it for Pass-a-Grille Park. The design presented to the commission was done by Tim Kelly of TNT Design & Marketing based on an initial design hand-drawn by Augie in 2013 and input from Harry.

The monument has a 20 by 30 foot pool with three granite panels, each of which will hold one version of the medal along with the names of the services to which it pertains and the names of the 13 Florida recipients who received it. There will be an American flag in the center behind the memorial flanked by flags of the services and the POW/MIA flag. The drawing has a soldier with a rifle and helmet kneeling and praying to a white cross in the pool. It will be dedicated to Augie and have a path to it and around it for visitor access.

Harry pegs the cost around \$35,000 and plans to seek funding from the city, county and possibly the state.

He has already gotten help from area businesses. Kelly donated his time on the drawings, H. Neuman Plumbing has offered to donate labor related to plumbing, and he believes a Bradenton company will provide the concrete for the pool. Commissioner Rick Falkenstein offered to provide a solar contact.



Retired Marine Sgt. Maj. Augie D'Alessio from St. Pete Beach dreamed of a monument to Medal of Honor recipients. This is his original sketch from 2013. Harry Metz, president of the Veterans of South Pinellas County is leading the effort.

The goal is to have the monument completed in time for the 2019 Medal of Honor Convention being held in the Tampa Bay area and have them attend a dedication.

It has been a long time coming. City Commissioner Terri Finnelly remembers Augie discussing it in 2006 when he was on the board for SPB Support Our Troops. "He was talking about it way back then and right up to the day he passed. He kept pushing and pushing, and that original design is etched in my memory," she said.

"I think we have a consensus here that we should support it," said Mayor Al Johnson. Andrew Dickman, the city attorney, offered his help to review cases related to use of religious symbols on public land to avoid litigation. Commissioner Melinda Pletcher, District 4 which includes Pass-a-Grille, says she still misses Augie and knew how much he wanted it at that park, but suggested Horan Park be considered. Vice Mayor Ward Friszolowski noted it would need to go through parks and recreation and has to fit within the greater whole, no matter where it is.

"This will be the first Medal of Honor Memorial in the state of Florida or in any other state that I have checked," said Metz. "It's not only a memorial for the Medal of Honor recipients, it's a memorial for everybody."

9th Avenue



97'

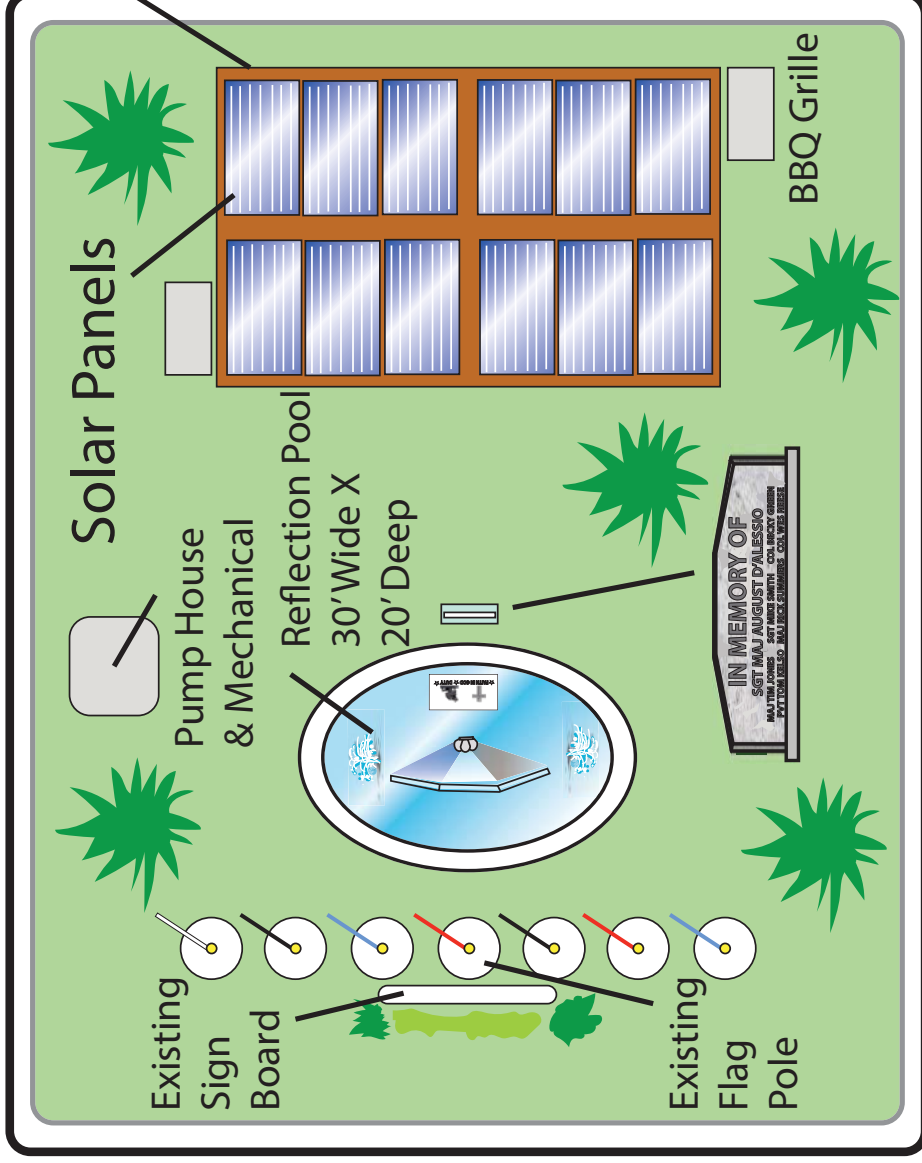
Plan A - New Shelter

Pass A Grille Way

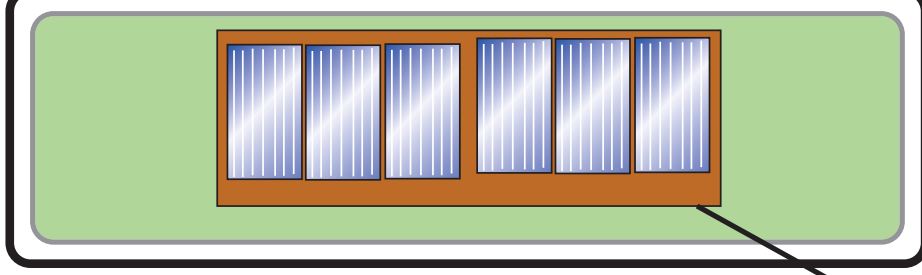


104'

NORTH



Existing Sidewalk



10th Avenue

Plan B - Existing Shuffle Board Building



TNT DESIGN & MARKETING

St Pete Beach, FL 33706

727 468 4303

© 2017 Tim Kelley

PASS-A-GRILLE PARK ★ Freedom Fountain ★ Medals of Honor

Sponsored by The Veterans of South Pinellas County, Inc.

Agenda Item e.

Recommend Language and Location for Historic Marker

PASS-A-GRILLE HISTORIC DISTRICT

The Pass-a-Grille Historic District was listed in the National Register of Historic Places in 1989. This district celebrates the importance of Pass-a-Grille to the development of Pinellas County and the State of Florida. Pass-a-Grille was the first incorporated community on the Gulf Beaches, and one of the first in Pinellas County. Pass-a-Grille was in the forefront of development, developing approximately 25 years before the other Gulf Beaches. The district encompasses 116 acres, bounded by Gulf Way, 1st Avenue, Pass-a-Grille Way and 31st Avenue. The period of significance of the district is 1900-1957, from the days of early settlers to the date of incorporation into the City of St. Petersburg Beach, now St. Pete Beach. The district is characterized by a large collection of architectural styles, including Frame Vernacular, Masonry Vernacular, Craftsman, Tudor Revival and Mediterranean Revival.

944 characters, with spaces

MARKER TEXT 2

Native Americans, notably the Tocobagas, hunted and fished for more than 10,000 years in the area that would later become Pass-A-Grille. Panfilo de Narvaez, the first European to visit the area in 1528, anchored off Pass-A-Grille pass. As more Europeans arrived, the island was used as a campground for fisherman, where they grilled their catch. It is believed that Pass-a-Grille is derived from the French phrase for this activity, *Passe aux Grilleurs*. In 1857, John Gomez began bringing excursionists here from Tampa, making Pass-a-Grille what is believed to be the oldest resort on Central Gulf Coast of Florida. Zephaniah Phillips was the first homesteader, settling here in 1886.

In 1989 the Pass-a-Grille Historic District was listed in the National Register of Historic Places. Pass-a-Grille was the first incorporated community on the Gulf Beaches, and one of the first in Pinellas County. Pass-a-Grille was in the forefront of development, developing approximately 25 years before the other Gulf Beaches. The district is bounded by Gulf Way, 1st Avenue, Pass-a-Grille Way and 31st Avenue. The period of significance of the district is 1900-1957. The district is characterized by a large collection of architectural styles, including Frame Vernacular, Masonry Vernacular, Craftsman, Tudor Revival and Mediterranean Revival.

1141 characters, without spaces

1365 with spaces

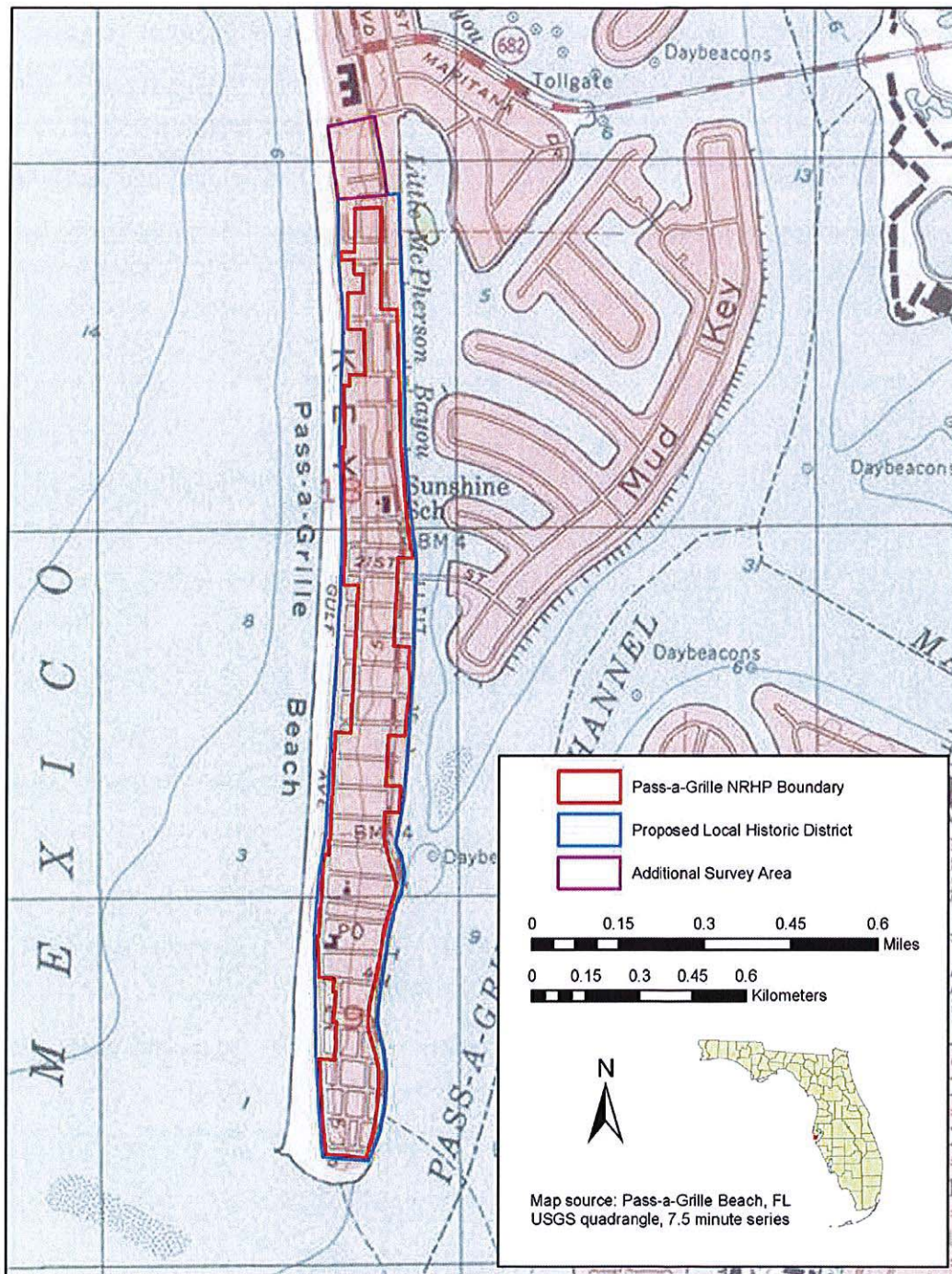


Figure 1. Pass-A-Grille Historic Sites Survey Boundaries