



TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Notice of Public Meeting Technical Review Committee

Community Development Department TRC Room
155 Corey Avenue, City Hall, St. Pete Beach, FL 33706

Wednesday, May 17, 2023
10:00 AM

Regular Meeting Agenda

This is an informal meeting between City staff and the applicant(s). The public is invited to attend, however no public comment shall be permitted.

Discussion Items

1. Conditional Use Permit #23034: 2007 Pass-a-Grille Way

Applicant requests a conditional use permit to establish an outdoor seating area that will include live and amplified music (LDC Sec. 15.4(n)).

2. Upham Beach Village Density Pool Request: 601 71st Ave

Applicant requests three lodging units from the Upham Beach Village density pool to permit an increase from eight to 11 lodging units at the subject property. The building is currently undergoing significant renovations and no further structural additions are proposed to accommodate the request.

3. Variance #23032: 601 71st Ave

Applicant requests hardship variances to permit the encroachment of elevated mini-split units into the required rear and side yards and a staircase into the required front yard, as well as to allow for an increase of three lodging units on the property without providing additional on-premise parking (LDC Sec. 36.8 & 23.5).

4. Conditional Use Permit #23035: Fisherman's Park Pier

The city requests a conditional use permit to construct a pier at Fisherman's Park, located at the western Corey Ave street-end (LDC Sec. 16.4(g)).

Next Meeting: June 7, 2023

TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Agenda Report

Action Request:

Strategic Objective:

Date: May 17, 2023

Prepared By: Brandon Berry, Planner II

Through: Jennifer McMahon, Chief Operating Officer

Summary of Issue: Applicant requests a conditional use permit to establish an outdoor seating area that will include live and amplified music (LDC Sec. 15.4(n)).

Funding:

Attachments:

1. CUP 23034 Application
2. Survey
3. Proposed Band Area
4. Band Area Sketch



CONDITIONAL USE APPLICATION

23034

Case Number: _____

PROPERTY OWNER: _____ APPLICANT/AGENT (Attach agent authorization form)

Name: CHARLES & HELEN COLLUM Name: _____

Address: 2381 E. VINA DELMAR BLVD Address: _____

City: St. Pete Beach State: FL City: _____ State: _____

Zip: 33706 Telephone: 727-418-1314 Zip: _____ Telephone: _____

Email: Jrcmoo@aol.com Email: _____

SUBJECT PROPERTY:

Address: 2007 PASS-A-GRILL WAY Current Name of Business: RED, WHITE + BOOZE

Parcel ID: 18-32-16-68634-000-0020 Name of Project: LIVE MUSIC

DETAILS OF THE REQUEST, INCLUDING APPLICABLE CODE SECTIONS AND ANY ASSOCIATED CASES (Add additional sheets if necessary):

RED, WHITE + BOOZE WISHES TO ALLOW THE PERFORMANCE OF LIVE MUSIC ON THE
OUTDOOR UNCOVERED DECK AREA IN ACCORDANCE WITH SEC 15.4(N).

J. Collum
Signature of Applicant/Agent

4-14-23
Date

CITY OF ST. PETE BEACH, Community Development Department
155 Corey Avenue, St. Pete. Beach, Florida 33706, 727-367-2735 www.stpetebeach.org

CONDITIONAL USE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

HE I understand that the City will not accept or process an incomplete application.

HE I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a conditional use. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a conditional use.

HE On all conditional uses, a majority vote is required. Action on this application by the City Commission may be continued to a later meeting.

HE I understand that if a conditional use is approved by the City Commission, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval from the City Commission becomes voided.

HE I understand that any person aggrieved by the final decision has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

HE I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application.

After acknowledgement of these conditions, complete the application form on the following pages

H. Colson
Signature of Applicant

4/14/23
Date

CITY OF ST. PETE BEACH, Community Development Department
155 Corey Avenue, St. Pete. Beach, Florida 33706, 727-367-2735 www.stpetebeach.org

In order for an application for a conditional use to be approved or approved with conditions, the City Commission must make a positive finding with regard to each of the provisions below, pursuant to Division 4 of the City's Land Development (LDC). The applicant has the burden of proof demonstrating that the application for the conditional use complies with each of the requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. LDC Sec 4.4(a)(1) Whether the conditional use is consistent with the goals, objectives, and policies of the Comprehensive Plan and any adopted special area plan.

THE PERFORMANCE OF LIVE MUSIC IS CONSISTENT WITH THE COMPREHENSIVE PLAN IN THE CG-1 COMMERCIAL DISTRICT IN PASS-A-GRAVE, OUR NEIGHBORING RESTAURANT/BAR DIRECTLY TO THE SOUTH ALSO PROVIDES THIS AMENITY TO THEIR GUESTS AND HAS FOR MANY YEARS.

2. LDC Sec 4.4(a)(2)a-d Whether the proposed use will be compatible with the character of the existing area, including existing structures and structures under construction, existing public facilities and public facilities under construction, and residential commercial and/or service facilities available within the existing area. More specifically:

- a. Whether the overall appearance and function of the area will be significantly affected. consideration shall be given to the existence of other uses in the area, based on the number, size, and location of the uses and the intensity and scale of the proposed and existing uses in the area;

PERFORMANCE OF LIVE OUTDOOR MUSIC WILL NOT AFFECT THE APPEARANCE OF THE AREA.

- b. Whether the application will preserve any city, state, or federally designated historic, scenic, archaeological, or cultural resources (check with Community Development to determine historic resource status);

ANY HISTORIC/CULTURAL RESOURCE WILL BE UNAFFECTED BY THE APPLICATION FOR LIVE MUSIC IN THE AREA.

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- c. Whether the application will be compatible with adjacent development, if any, based on characteristics such as size, building style and scale, or whether such incompatibilities are mitigated through such means as screening, landscaping, setbacks, and other design features;

NO STRUCTURAL CHANGES WILL BE NECESSARY AND LIVE PERFORMANCE IS COMPATIBLE WITH EXISTING FEATURES BEING USED IN THE DISTRICT.

- d. Whether the application will have significant adverse impacts on the livability and usability of nearby land due to noise, dust, fumes, smoke, glare from lights, late-night operations, odors, vehicular traffic, truck and other delivery trips, the amount, location, and nature of any outside activities, potential for increased litter, or privacy and safety issues;

LIVE MUSIC PERFORMANCES WILL FALL UNDER THE COMMUNITY GUIDELINES REGARDING NOISE AND HOURS OF OPERATION. IT IS OUR INTENT TO ACT RESPONSIBLY AND AS A GOOD NEIGHBOR TO THE SURROUNDING COMMERCIAL AND PRIVATE, RESIDENTIAL COMMUNITY.

3. Whether the transportation system is capable of adequately supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, access to arterials, transit availability, on-street parking impacts, if any, site access requirements, neighborhood impacts, and pedestrian safety (a traffic study may be required);

THE PROPOSAL WILL HAVE A NULL EFFECT ON TRANSPORTATION AND PARKING.

4. Whether the minimum off-street parking area required and the amount of space needed for the loading and unloading of trucks, if applicable, will be provided and will function properly and safely (please provide current and proposed number of parking and loading spaces);

ALL ACTIVITIES REGARDING LIVE MUSIC WILL BE STRICTLY CONTAINED WITHIN THE PRIVATE PARKING AND OUTDOOR DINING AREAS AT RED, WHITE + BOOZE.

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5. Whether generally, the public health, safety and welfare will be preserved, and any reasonable conditions necessary for such preservation have been made;

ALL HEALTH AND SAFETY GUIDELINES WILL BE ADHERED TO REGARDING THE PUBLIC AND RESTAURANT STAFF.

6. Whether the applicant has demonstrated the financial and technical capacity to complete any improvements and mitigation necessitated by the development as proposed and has made adequate legal provision to guarantee the provision of such improvements and mitigation; and,

NO FINANCIAL NEEDS WILL BE REQUIRED TO EXECUTE LIVE MUSIC PERFORMANCE. ANY SECONDARY NECESSITIES ARISING FROM HOSTING THESE EVENTS WILL BE HANDLED ADEQUATELY BY OWNERSHIP.

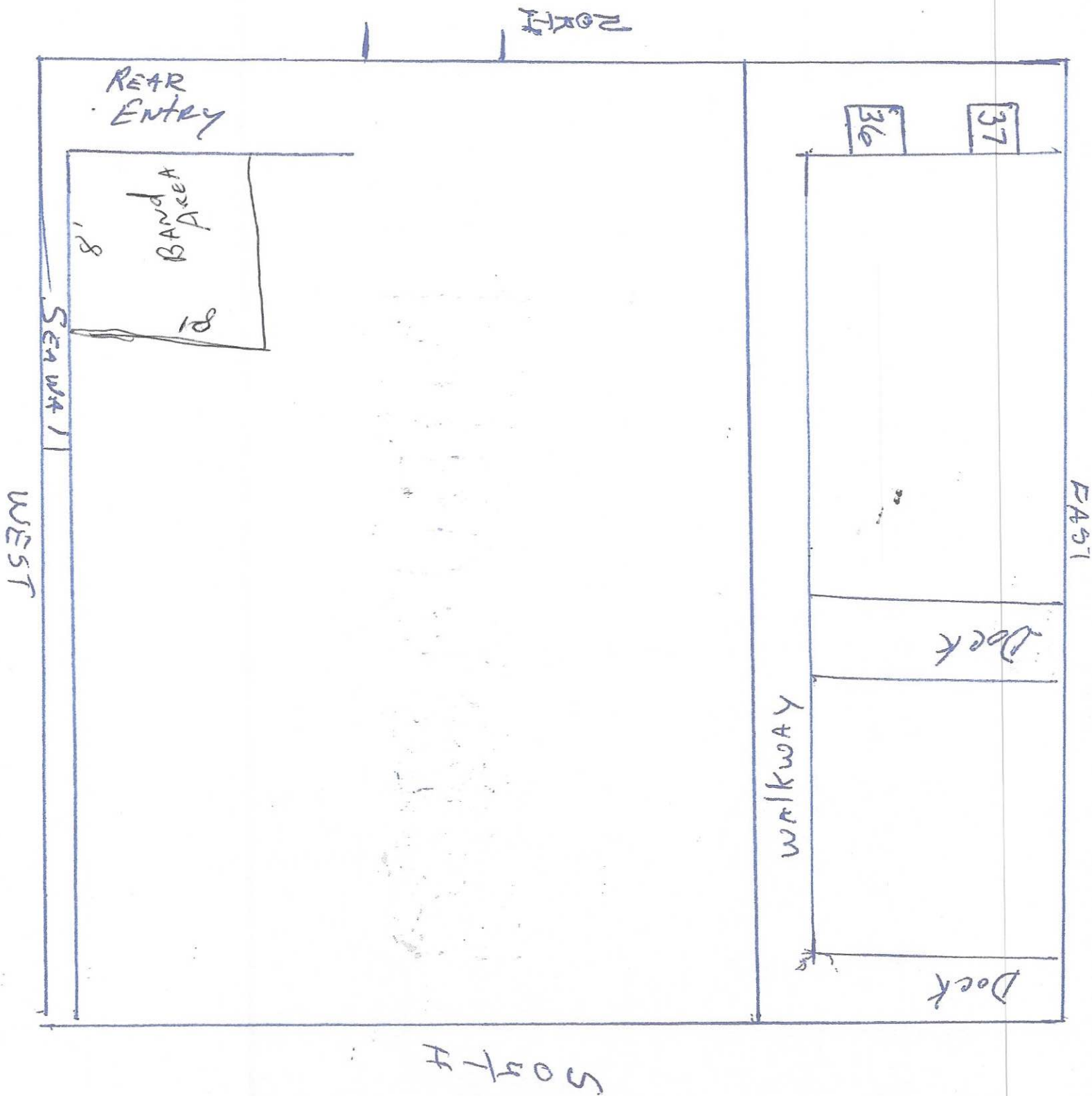
7. The proposed use complies with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other applicable requirements of the regulations of the City of St. Pete Beach.

THE PROPOSAL WILL COMPLY WITH ANY OTHER STANDARDS, GUIDELINES OR REGULATIONS REQUIRED TO HOLD SUCH EVENTS.

Sec. 4.12 of the Land Development Code additionally requires conditional use applications within the community redevelopment district to be evaluated upon the extent to which the applicant can demonstrate that the following issues are addressed in a manner consistent with the policies established in the community redevelopment plan for the district and that no unreasonable or disproportionately negative impacts are imposed upon adjacent or nearby properties:

1. Utility infrastructure, including sanitary sewer, reclaimed water, potable water, electric and natural gas services, and data transmission and telecommunication services.
2. Transportation infrastructure, including ingress and egress from public right-of-way, traffic control devices and signalization, internal vehicle circulation of the site, design and function of parking areas, loading and unloading areas, pedestrian transit infrastructure and amenities, and public sidewalks and roadways.
3. Hydrological features and storm water management infrastructure.
4. Aesthetic and architectural features of the development, including site layout, physical dimensions of structures such as height and massing, design and appearance of building facades, exterior building materials, advertising and directional signage and the provision and maintenance of Gulf and Bay views and vistas.
5. Site landscaping, open space provision and impervious surface limitations.

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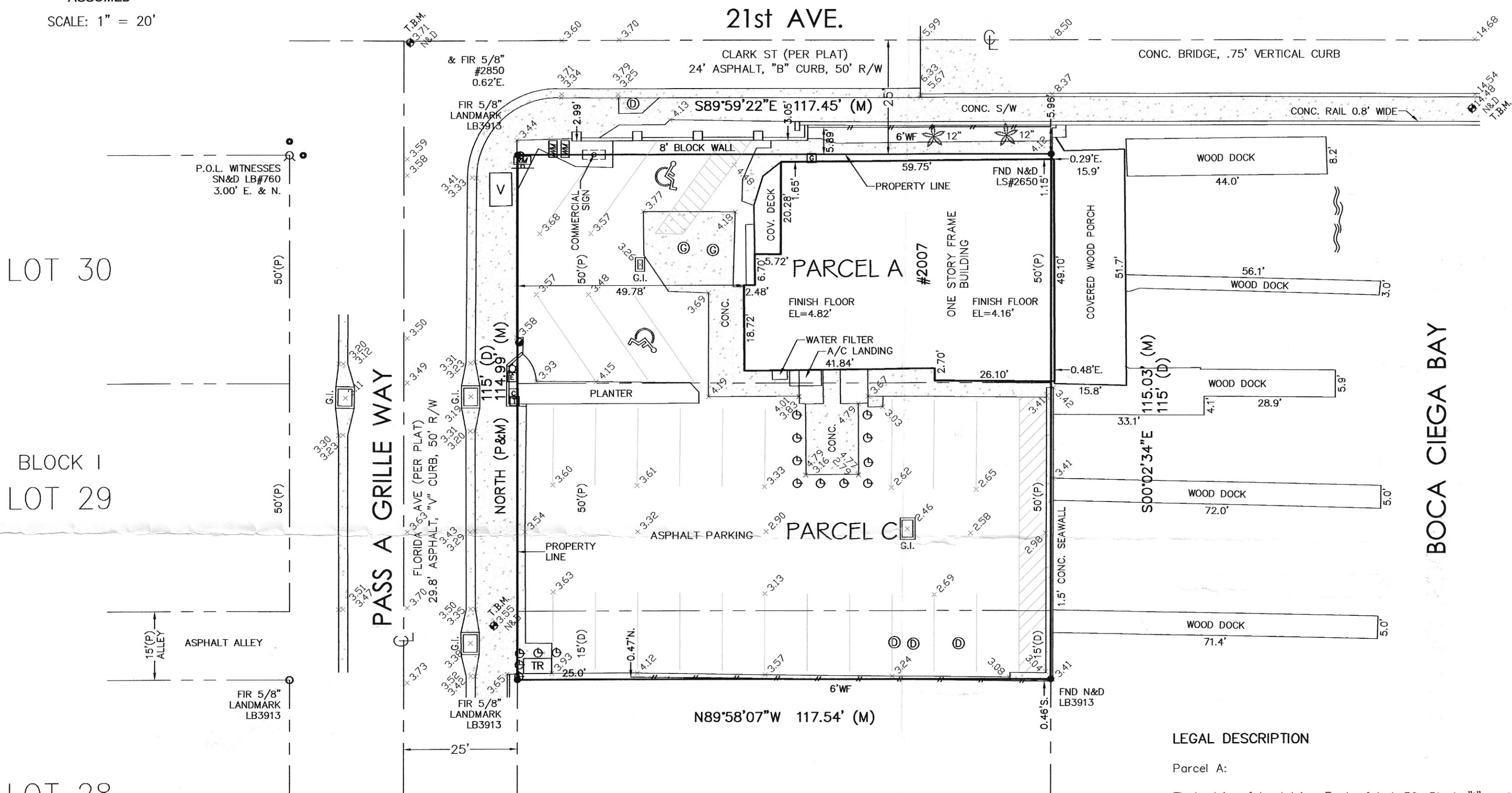


SECTION 18, TOWNSHIP 32S, RANGE 16E



NORTH BASIS:
ASSUMED
SCALE: 1" = 20'

CERTIFIED TO: COLLOM PROPERTIES LLC



- LEGEND:
- FND = FOUND
 - N&D = NAIL & DISK
 - FIR = FOUND IRON ROD
 - SIR = SET IRON ROD
 - OHW = OVERHEAD WIRE
 - (C) = CALCULATED
 - (D) = DEED
 - (M) = FIELD MEASUREMENT
 - (P) = PLAT
 - CONC = CONCRETE
 - R/W = RIGHT OF WAY
 - P.O.L. = POINT ON LINE
 - SN&D = SET NAIL AND DISK
 - S/W = SIDEWALK
 - T.B.M. = TEMPORARY BENCHMARK
 - C/C = COVERED CONCRETE
 - G.I. = GRATE INLET
 - WF = WOOD FENCE
 - WM = WATER METER
 - LB = BACK FLOW PREVENTER AND WATER METER
 - CLEANOUT = CLEANOUT
 - CABLE T.V. = CABLE T.V.
 - POWER METER = POWER METER
 - TELEPHONE BOX = TELEPHONE BOX
 - TRANSFORMER = TRANSFORMER
 - POWER RISER = POWER RISER
 - GAS METER = GAS METER
 - VAULT = VAULT
 - BOLLARD = BOLLARD
 - LAMP = LAMP
 - FIRE HYDRANT = FIRE HYDRANT
 - TRAFFIC SIGN = TRAFFIC SIGN
 - POWER POLE = POWER POLE
 - S = SANITARY MANHOLE
 - D = STORM MANHOLE
 - G = GREASE MANHOLE
 - DIA = CABBAGE PALM TREE
 - + 0.00 = SPOT ELEVATION

LEGAL DESCRIPTION

Parcel A:

That strip of land lying East of Lot 30, Block "I" and lying between the North and South lines of said Lot 30, as extended East to the water and lying between the East line of Florida Avenue and the water, all as shown on the REVISED MAP OF PHILLIPS DIVISION OF PASS-A-GRILLE CITY, according to the Map or Plat thereof, as recorded in Plat Book 3, Page 38, being the same property shown on the Map of Phillips Division of Pass-a-Grille City, according to the Plat thereof, as recorded in Plat Book 4, Page 26, Public Records of Pinellas County, Florida.

Parcel C:

That certain unnumbered parcel or tract of land, designated Water Lot, lying between Pass-a-Grille Way and the waters of Boca Ciega Bay, and across Pass-a-Grille Way, opposite Lot 29 of Block "I", and opposite all the alley abutting said Lot 29, in Plat Book 4, Page 26, Pinellas County, Florida Public Records: said parcel being 65 feet, more or less, in width and lying between the bayward extensions of the North lines of Lot 28, Block "I" and the North line of Lot 29, Block "I", if said lines were extended Eastward.

Flood Zone
AE (EL. 10')
COMMUNITY PANEL #125149 12103C0278 H,
EFFECTIVE 8/24/21
Basis of Bearings:
WEST BOUNDARY OF WATER LOTS
ASSUMED NORTH
Benchmarks:
COUNTY #288 Y 135 P.C.
EL. = 4.053' N.G.V.D., ADJUSTED TO
EL. = 3.32' N.A.V.D. M.S.L. = 0.00'

NOTE: This survey is made for the exclusive use of the current owners of the property and also those who purchase, mortgage or guarantee the title thereto within one (1) year from date hereof.

NOTE: This survey was prepared without the benefit of a title search and is subject to all easements, rights-of-way and other matters of record. Survey not valid without the signature and the original raised seal of a Florida Licensed Surveyor and Mapper.

CERTIFICATION

I hereby certify that the survey represented hereon meets the requirements of Chapter 5J-17, Florida Administrative Code.

JOHN O. BRENDLA
Florida Surveyor's Registration No. 4601
Certificate of Authorization No. 760

JOHN C. BRENDLA AND ASSOCIATES, INC.
Professional Land Surveyors and Mappers

JCB

4015 82nd Avenue North
Pinellas Park, Florida 33781
Telephone (727) 576-7546
Facsimile (727) 577-9932

LB 760

2209-21.CRD

BOUNDARY SURVEY
WITH TOPOGRAPHY AND
IMPROVEMENTS

REVISIONS

No.	DESCRIPTION	DATE

FB: 976 PG: 64,65,69

Job Number: 2209-21

Survey date: 10/5/22

DWN: JM

CHK: JOB

PASS A GRILLE WAY

RWB
Charts 0110m

21ST AVE.

CLARK ST (PER PLAT)
24' ASPHALT, "B" CURB, 50' R/W

& FIR 5/8"
#2850
0.62'E.

FIR 5/8"
LANDMARK
LB3913

S89°59'22"E 117.45' (M)

CONC. S/W

CONC.

8' BLOCK WALL

COMMERCIAL
SIGN

PROPERTY LINE

FND N&D
LS#2650

PARCEL A #2007

ONE STORY FRAME
BUILDING

FINISH FLOOR
EL=4.82'

FINISH FLOOR
EL=4.16'

WATER FILTER
A/C LANDING
41.84'

EMPTY CONDENSER
INSTALLED ON
WALL BRACKETS
(HURRICANE RATED)

PLANTER

11'8" X 15'6"
CONCRETE SLAB

ASPHALT PARKING

PARCEL C

9'8" X 13'6" X 8'2"
OUTDOOR WALK-IN
COOLER
INSTALLED ON
11'8" X 15'6" CONCRETE
SLAB

1.5' CONC. SEAWALL

COVERED DECK

Band

Entry

NORTH

REAR
Entry

Old
Deck

SEA WALL

WEST

New
Deck

SOUTH

EAST

36

37

Deck

WALKWAY

Deck

TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Agenda Report

Action Request:

Strategic Objective:

Date: May 17, 2023

Prepared By: Brandon Berry, Planner II

Through: Jennifer McMahon, Chief Operating Officer

Summary of Issue: Applicant requests three lodging units from the Upham Beach Village density pool to permit an increase from eight to 11 lodging units at the subject property. The building is currently undergoing significant renovations and no further structural additions are proposed to accommodate the request. The request will allow the applicant to install doors between existing suite units.

Funding:

Attachments:

1. Letter - Request to increase units
2. Request explanation and sketch
3. Interior Reno Plans & Elevations

City of St Pete Beach

April 21, 2023

Zoning Department

This letter is to request to increase the current number of units at 601 71st Ave from 8 to 11 units

The current building has an unfinished upstairs that is being permitted into living space. When the construction is completed it will add an additional 4 motel units. During this same time three of the current downstairs units are being converted into a larger 3 bedroom unit (Unit 102 see attached site plan). Additionally under the new site plans unit 101 and unit 103 both have new interior openings that combines the two adjoining room that previously were individual motel rooms. This request would be to allow the open areas between units 101, 102 and 103 to be closed off with interiors door and locked off to allow the units to be rented individually

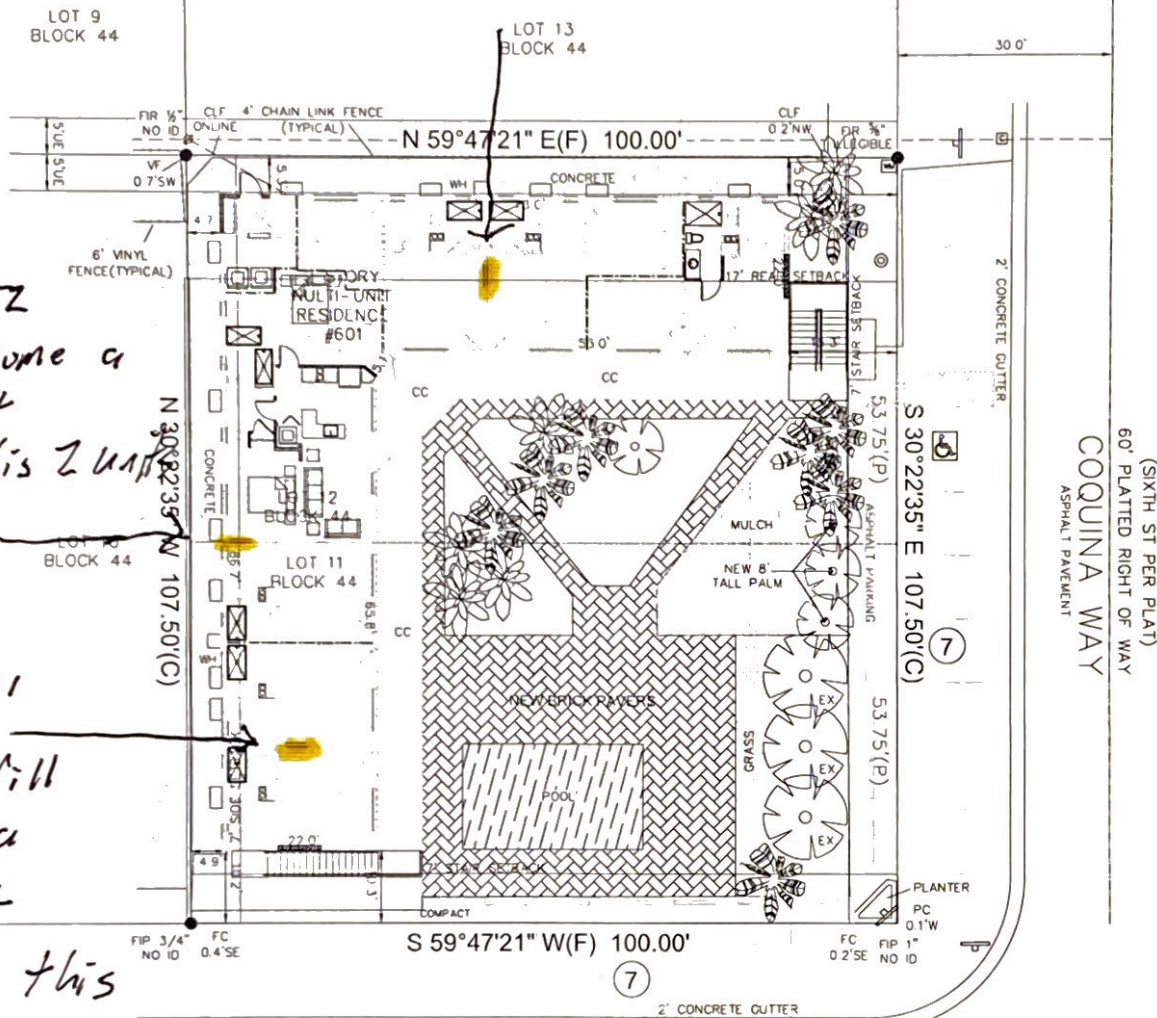
Thank you in advance for your consideration and let me know if I can answer any question you may have

Dave Wonsick

Unit 103 will become
a lock out making this 2 units

Unit 102
will become a
lock out
making this 2 units

Unit 101
Opening will
become a
lock out
making this
2 units



ASPHALT PAVEMENT
71ST AVENUE
RIGHT OF WAY WIDTH NOT VERIFIED

1 ARCHITECTURAL SITE PLAN
SCALE: 1/8\" = 1'-0"



ENTIRE SHEET

DATE	REVISION
02/03/23	1
02/03/23	2
02/03/23	3
02/03/23	4
02/03/23	5
02/03/23	6
02/03/23	7
02/03/23	8
02/03/23	9
02/03/23	10

PROJECT NO. 2214100
AIA

CONSTRUCTION DOCUMENTS FOR
THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FL 33706



FRAZE design architecture
commercial
residential
architecture
1111 1st Avenue
St. Pete Beach, FL 33706
772-444-4444
www.frazedesign.com

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1. THE DRAWING DESIGN IS VALID FOR 3 MONTHS FROM DATE
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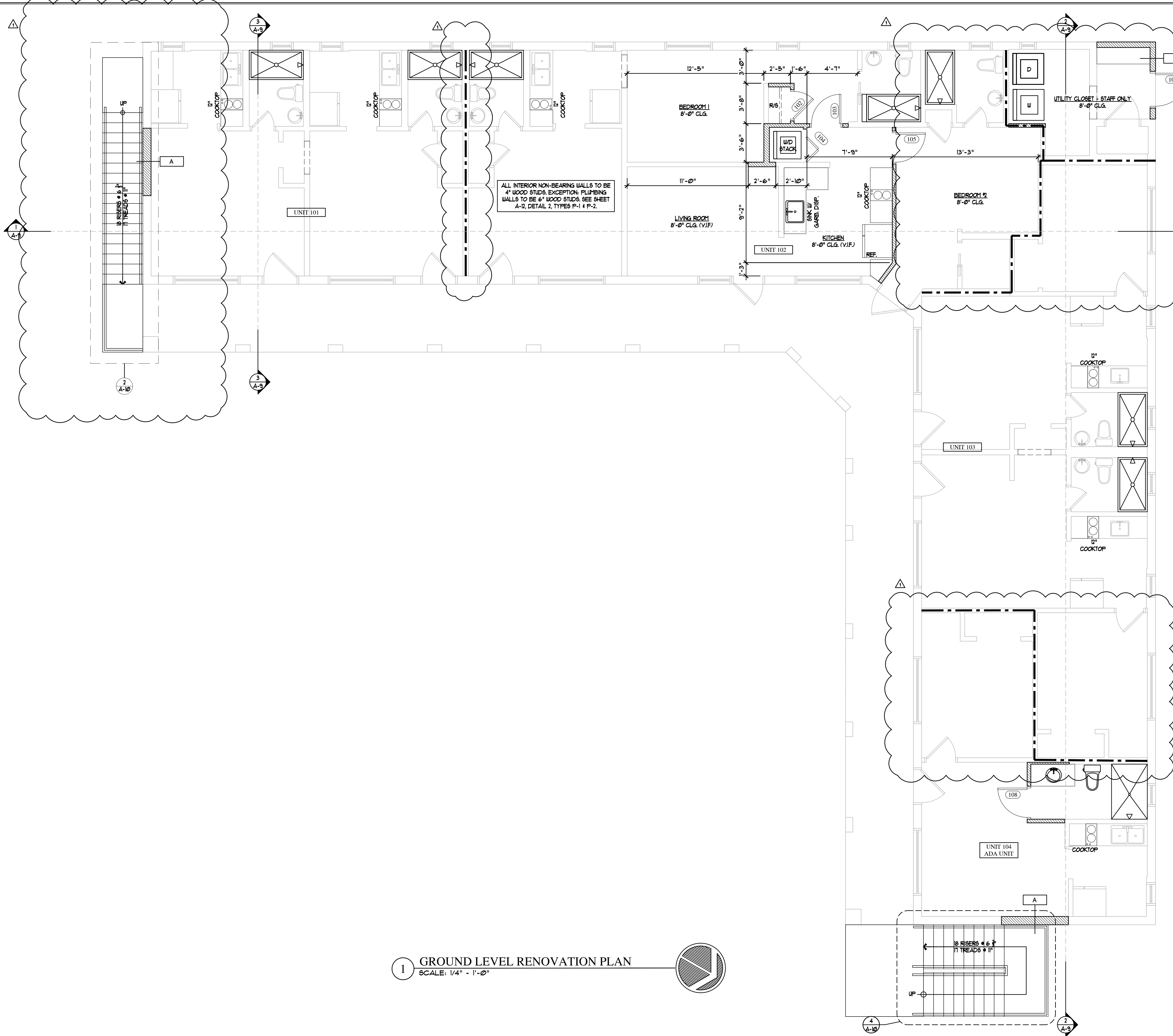
TO THE BEST OF THE ARCHITECT OR ENGINEER'S KNOWLEDGE AND
BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE
LATEST EDITIONS OF ALL APPLICABLE BUILDING CODES IN ADDITION TO ANY OTHER
APPLICABLE BUILDING CODES AND PROPERTY SAFETY
REQUIREMENTS.

ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE
CONTRACTOR, AND ALL DISCREPANCIES SHALL BE REPORTED
TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

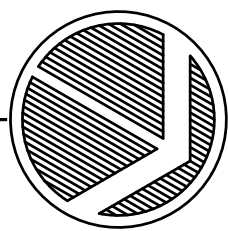
SHEET TITLE
SITE PLAN

SHEET NUMBER

A-2



1 GROUND LEVEL RENOVATION PLAN
SCALE: 1/4" = 1'-0"



RENOVATION NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST STANDARD BUILDING CODE & ALL LOCAL BUILDING CODES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE & DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OF INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE & THE ROUTING OF WHICH COULD NOT BE PRE-DETERMINED UNTIL DEMOLITION PROCESS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, CHANGE DIRECTION, ETC. OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT / OWNER BEFORE REMOVAL FOR FINAL DISPOSITION.
- REMOVE ALL CONSTRUCTION DESIGNATED TO BE REMOVED & CLEAR TO RECEIVE NEW WORK AS HERE-IN INDICATED.
- REMOVE PORTIONS OF EXISTING CONSTRUCTION AS DRAIN & PATCH TO MATCH ADJACENT CONSTRUCTION TO ACHIEVE UNIFORM NEW APPEARANCE.
- THE OWNER WILL NOT BE HELD LIABLE FOR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIALS.
- THE CONTRACTOR GUARANTEES ALL WORK AGAINST FAULTY OR IMPERFECT MATERIALS OR WORKMANSHIP. ALL WORK SHALL BE ENTIRELY WATERPROOFED & LEAKPROOF. ALL MATERIALS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE ARCHITECT OF ANY MATERIALS, EQUIPMENT OR DESIGN FEATURES WHICH HE BELIEVES INADEQUATE OR UNSUITABLE IN VIOLATION OF LAWS, ORDINANCES, OR RULES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK; & OF ANY NECESSARY ITEMS OR WORK OMITTED FROM THE DRAWINGS OR SPECIFICATIONS.
- PLANS WERE DEVELOPED FROM INFORMATION SUPPLIED BY THE OWNER & EXISTING CONDITIONS OBSERVED. ANY DISCREPANCIES BETWEEN DRAWINGS & EXISTING CONDITIONS ARE TO BE REPORTED TO ARCHITECT PRIOR TO STARTING WORK ON A GIVEN ITEM & BEFORE INCURRING ANY ADDITIONAL COSTS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED. FABRICATION SHALL BE BASED ON THE ACTUAL FIELD DIMENSIONS ONLY.
- ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION AS TO THE PRESENCE OF ASBESTOS OR ANY OTHER HAZARDOUS SUBSTANCE & ASSUMES NO RESPONSIBILITY WITH RESPECT TO SAME.
- DESIGN DRAWINGS INDICATE SCHEMATIC STRUCTURAL MEMBER LAYOUT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING ACTUAL LAYOUT OF ALL STRUCTURAL MEMBERS FOR APPROVAL PRIOR TO INSTALLATION, ALONG WITH REGISTERED STRUCTURAL ENGINEER'S CALCULATIONS. ALL MEMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS INCLUDING BRACING, SPACING, ETC.
- CONTRACTOR PRIOR TO INSTALLATION SHALL FIELD VERIFY ALL EXISTING CONDITIONS & BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES.
- CONTRACTOR IS REQUESTED TO VISIT THE SITE, COMPARE THE DRAWINGS & SPECIFICATIONS WITH VISIBLE EXISTING CONDITIONS & INFORM ARCHITECT AS TO ANY DISCREPANCIES PRIOR TO BID SUBMISSION SO AN ADDENDUM CAN BE ISSUED. FAILURE TO VISIT THE SITE WILL IN NO WAY RELIEVE THE CONTRACTOR FROM NECESSITY OF FURNISHING ANY MATERIALS OR PERFORMING ANY WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS & SPECIFICATIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT & METHODS USED IN THE ERECTION OF HIS WORK COVERED BY THE CONTRACT, BUT THE ARCHITECT RESERVES THE RIGHT TO APPROVE SUCH EQUIPMENT & METHODS.
- THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR ANY & ALL DEVIATIONS FROM THE CONSTRUCTION DRAWINGS INSTALLED WITHOUT APPROVAL OF ARCHITECT & LOCAL JURISDICTION. THIS INCLUDES REPAIR COSTS NECESSARY TO CORRECT UNAPPROVED WORK INSTALLED.

WALL LEGEND:

- WOOD FRAME WALL, REFERENCE DETAIL 1 ON SHEET A-12
- NEW HALF HOUR FIRE RATED WOOD FRAME WALL, UL DETAIL U401.
- EXISTING HALF HOUR FIRE RATED WOOD FRAME WALL, UL DETAIL U401.
- EXISTING 8" CMU WALL
- NEW 8" CMU WALL

FIRE BARRIER NOTE:

- NFPA 101: 28.12 IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM, EACH HOTEL GUEST ROOM, INCLUDING GUEST SUITES, AND DORMITORY ROOM SHALL BE SEPARATED FROM OTHER GUEST ROOMS OR DORMITORY ROOMS BY WALLS AND FLOORS CONSTRUCTED AS FIRE BARRIERS HAVING A MINIMUM 12-HOUR FIRE RESISTANCE RATING.
- UL DETAIL U401 - HALF HOUR RATED WALL
- UL DETAIL L54 - ONE HOUR RATED WOOD FRAME FLOOR-CEILING SYSTEM

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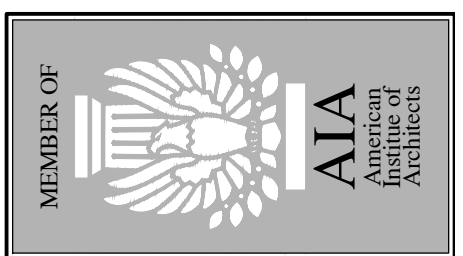
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* THE DRAWINGS & DESIGN ARE VALID FOR 12 MONTHS FROM DATE OF BEING SEALED.

TO THE BEST OF THE ARCHITECT OR ENGINEER'S KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE 11TH EDITION 2010 FLORIDA BUILDING CODE. IN ADDITION TO ANY OTHER APPLICABLE BUILDING CODES AND MINIMUM FIRE SAFETY STANDARDS.

ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ISSUE	DATE	BY:
REVIEW	02/10/23	MK/TF
PERMIT	02/10/23	MK/TF
REV. A	04/10/23	MK
REV.		
REV.		
REV.		
REV.		
REV.		



Construction Documents for:

FDI# 22141.00

THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FLORIDA



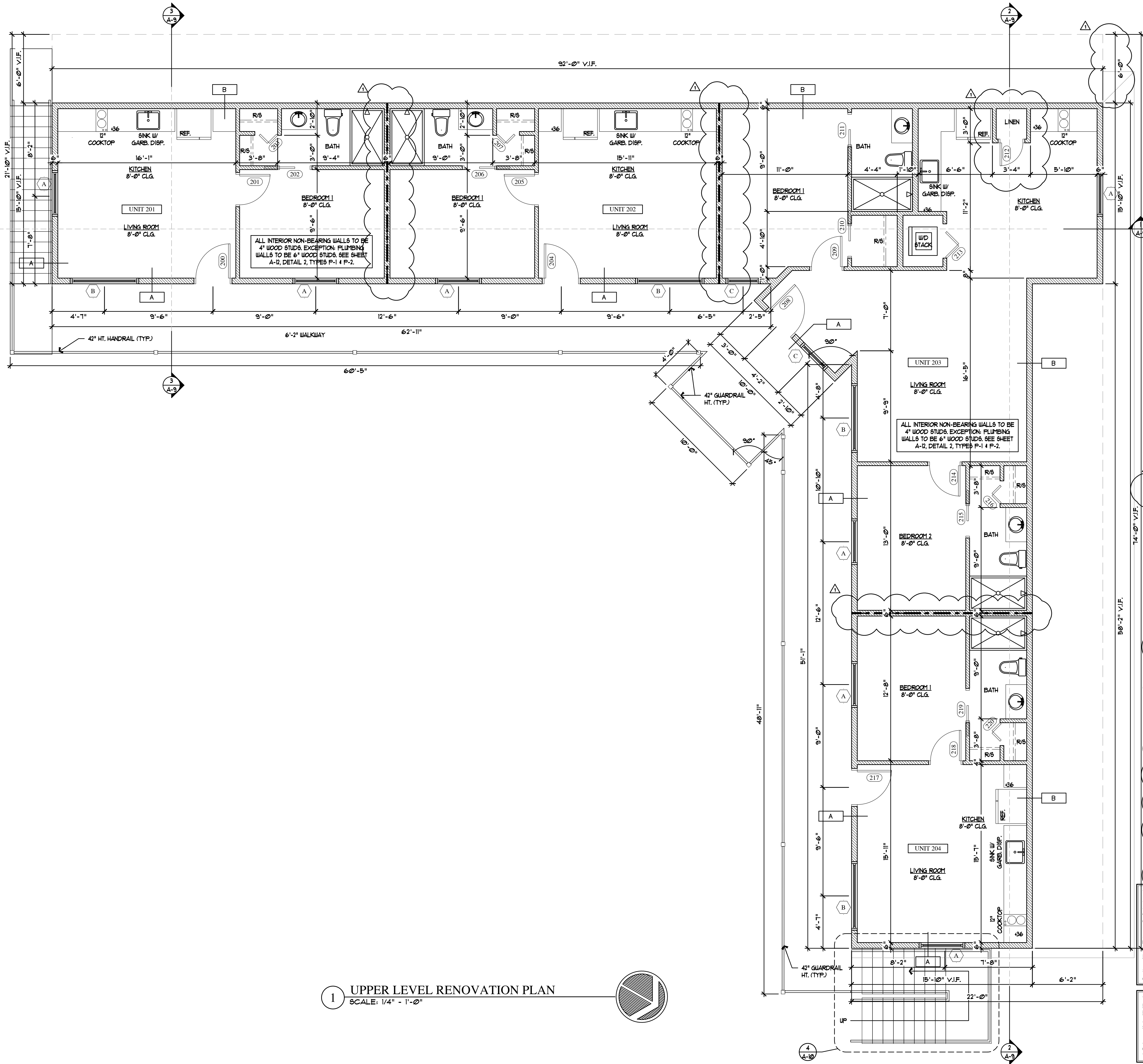
commercial
residential
architecture

FRAZE design

FL LIC. NO. AA26000585
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/328-3608
STUDIO: 727/328-3607
FAX: 727/328-3609

SHEET TITLE
GROUND LEVEL
RENOVATION PLAN

SHEET NUMBER
A-4



1 UPPER LEVEL RENOVATION PLAN
SCALE: 1/4" = 1'-0"

RENOVATION NOTES:

- ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST STANDARD BUILDING CODE & ALL LOCAL BUILDING CODES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE & DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE & THE ROUTING OF WHICH COULD NOT BE PRE-DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, CHANGE DIRECTION, ETC., OR ARE UNIDENTIFIED SHALL BE REPORTED TO THE ARCHITECT / OWNER BEFORE REMOVAL FOR FINAL DISPOSITION.
- REMOVE ALL CONSTRUCTION DESIGNATED TO BE REMOVED & CLEAR TO RECEIVE NEW WORK AS HERE-IN INDICATED.
- REMOVE PORTIONS OF EXISTING CONSTRUCTION AS DRAIN & PATCH TO MATCH ADJACENT CONSTRUCTION TO ACHIEVE UNIFORM NEW APPEARANCE.
- THE OWNER WILL NOT BE HELD LIABLE FOR FIELD CHANGES THAT ARISE FROM CONTRACTOR ERROR OR OMISSION OF MATERIALS.
- THE CONTRACTOR GUARANTEES ALL WORK AGAINST FAULTY OR IMPERFECT MATERIALS OR WORKMANSHIP ALL WORK SHALL BE ENTIRELY WATERTIGHT & LEAKPROOF. ALL MATERIALS ARE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- THE CONTRACTOR SHALL GIVE WRITTEN NOTICE TO THE ARCHITECT OF ANY MATERIALS, EQUIPMENT OR DESIGN FEATURES WHICH HE BELIEVES INADEQUATE OR UNSUITABLE IN VIOLATION OF LAWS, ORDINANCES, OR RULES & REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER THE WORK & OF ANY NECESSARY ITEMS OR WORK OMITTED FROM THE DRAWINGS OR SPECIFICATIONS.
- PLANS WERE DEVELOPED FROM INFORMATION SUPPLIED BY THE OWNER & EXISTING CONDITIONS OBSERVED. ANY DISCREPANCIES BETWEEN DRAWINGS & EXISTING CONDITIONS ARE TO BE REPORTED TO ARCHITECT PRIOR TO STARTING WORK ON A GIVEN ITEM & BEFORE INCURRING ANY ADDITIONAL COSTS.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED. FABRICATION SHALL BE BASED ON THE ACTUAL FIELD DIMENSIONS ONLY.
- ARCHITECT HAS NOT CONDUCTED ANY INVESTIGATION AS TO THE PRESENCE OF ASBESTOS OR ANY OTHER HAZARDOUS SUBSTANCE & ASSUMES NO RESPONSIBILITY WITH RESPECT TO SAME.
- DESIGN DRAWINGS INDICATE SCHEMATIC STRUCTURAL MEMBER LAYOUT. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING ACTUAL LAYOUT OF ALL STRUCTURAL MEMBERS FOR APPROVAL PRIOR TO INSTALLATION, ALONG WITH REGISTERED STRUCTURAL ENGINEER'S CALCULATIONS. ALL MEMBERS SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS INCLUDING BRACING, SPACING, ETC.
- CONTRACTOR PRIOR TO INSTALLATION SHALL FIELD VERIFY ALL EXISTING CONDITIONS & BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES.
- CONTRACTOR IS REQUESTED TO VISIT THE SITE, COMPARE THE DRAWINGS & SPECIFICATIONS WITH VISIBLE EXISTING CONDITIONS & INFORM ARCHITECT AS TO ANY DISCREPANCIES PRIOR TO BID SUBMISSION SO AN ADDENDUM CAN BE ISSUED. FAILURE TO VISIT THE SITE WILL IN NO WAY RELIEVE THE CONTRACTOR FROM NECESSITY OF FURNISHING ANY MATERIALS OR PERFORMING ANY WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS & SPECIFICATIONS WITHOUT ADDITIONAL COSTS TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EQUIPMENT & METHODS USED IN THE ERECTION OF HIS WORK COVERED BY THE CONTRACT, BUT THE ARCHITECT RESERVES THE RIGHT TO APPROVE SUCH EQUIPMENT & METHODS.
- THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR ANY & ALL DEVIATIONS FROM THE CONSTRUCTION DRAWINGS INSTALLED WITHOUT APPROVAL OF ARCHITECT & LOCAL JURISDICTION THIS INCLUDES REPAIR COSTS NECESSARY TO CORRECT UNAPPROVED WORK INSTALLED.

WALL LEGEND:

- WOOD FRAME WALL, REFERENCE DETAIL 1 ON SHEET A-12
- NEW HALF HOUR FIRE RATED WOOD FRAME WALL, UL DETAIL U401
- EXISTING HALF HOUR FIRE RATED WOOD FRAME WALL, UL DETAIL U401
- EXISTING 8" CMU WALL
- NEW 8" CMU WALL

FIRE BARRIER NOTE:

- NFPA 101 283.12 IN BUILDINGS PROTECTED THROUGHOUT BY AN APPROVED, SUPERVISED AUTOMATIC SPRINKLER SYSTEM, EACH HOTEL, GUEST ROOM, INCLUDING GUEST SUITES, AND DORMITORY ROOM SHALL BE SEPARATED FROM OTHER GUEST ROOMS OR DORMITORY ROOMS BY WALLS AND FLOORS CONSTRUCTED AS FIRE BARRIERS HAVING A MINIMUM 12-HOUR FIRE RESISTANCE RATING.
- UL DETAIL U401 - HALF HOUR RATED WALL
- UL DETAIL L304 - ONE HOUR RATED WOOD FRAME FLOOR-CEILING SYSTEM

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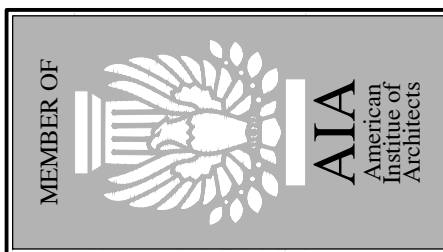
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ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR, ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ISSUE	DATE	BY:
REVIEW	02/10/23	MK/TF
PERMIT	02/10/23	MK/TF
REV. A	04/18/23	TK
REV.		
REV.		
REV.		
REV.		
REV.		



CONSTRUCTION DOCUMENTS FOR:
THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FLORIDA



commercial
residential
architecture

FRAZE design

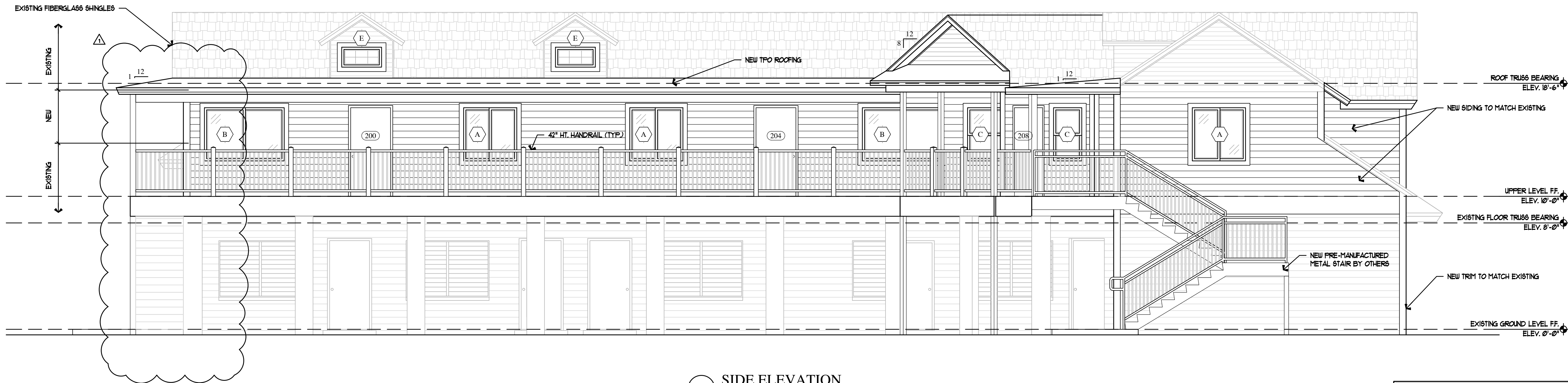
FL LIC. NO. AA2600685
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/328-3608
FAX: 727/328-3609

SHEET TITLE
UPPER LEVEL
RENOVATION PLAN

SHEET NUMBER
A-5



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

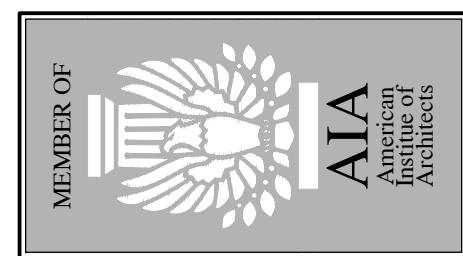


2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

FIRE ALARM NOTES:

- ADDRESS, MIN 6" IN HEIGHT, SHALL BE PROVIDED ON 71ST AVE SIDE OF BUILDING. (NFPA, 2018: 10.12.1).
- SUPRA KEY ACCESS BOX SHALL BE PROVIDED ON BUILDING VISIBLE UPON APPROACH. (NFPA 118.2.2) THE AHJ SHALL HAVE THE AUTHORITY TO REQUIRE AN ACCESS BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION WHERE ACCESS TO OR WITHIN A STRUCTURE OR AREA IS DIFFICULT BECAUSE OF SECURITY.)
- A LIGHT FRAME WOOD TRUSS SIGN WILL BE POSTED PER FL609.021 AND FAC 61A 60.006)

ISSUE	DATE	BY:
REVIEW	02/10/23	MK/TF
PERMIT	02/10/23	MK/TF
REV. Δ	04/18/23	MK
REV.		
REV.		
REV.		
REV.		
REV.		



FDI# 22141.00

Construction Documents for:

THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FLORIDA



commercial
residential
architecture

FRAZEE
design

E-MAIL: info@frazeedesign.com
1750 CENTRAL AVENUE
PHONE: 727/328-3608

FL LIC NO. AA26000885
ST. PETERSBURG, FLORIDA 33712
STUDIO: 727/328-3607
FAX: 727/328-3609

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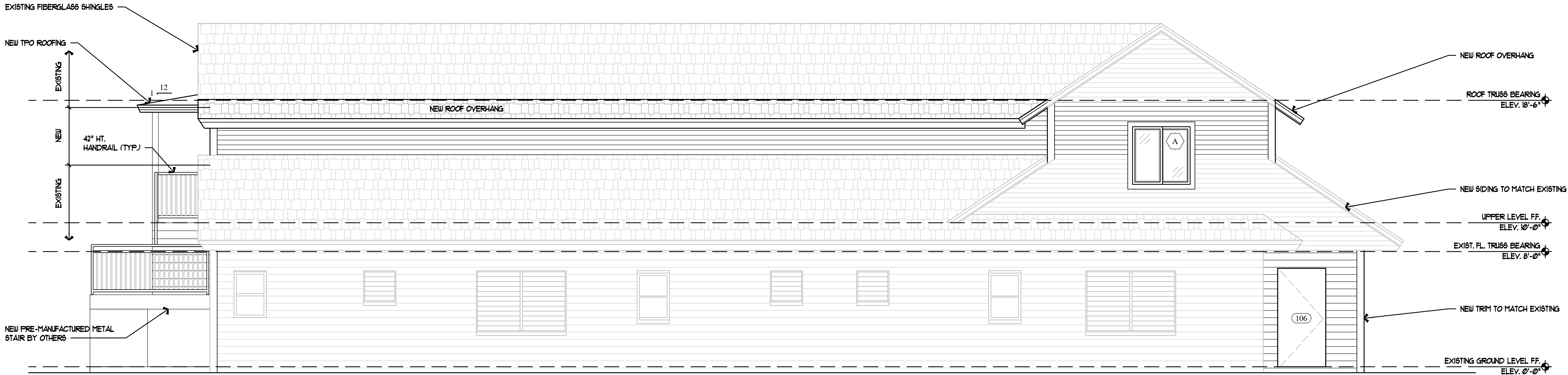
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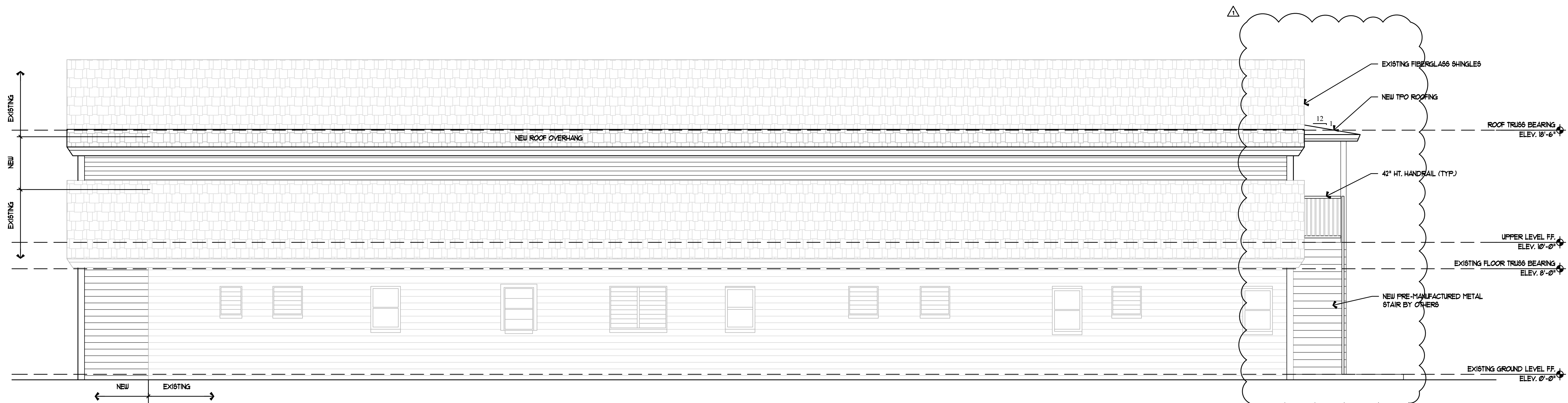
ALL DIMENSIONS AND JOB CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

SHEET TITLE
FRONT AND SIDE
ELEVATIONS

SHEET NUMBER
A-6



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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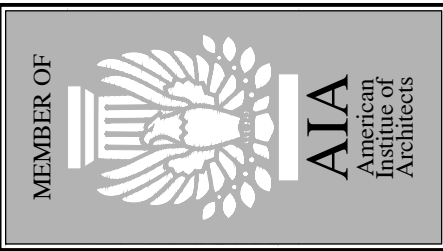
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ISSUE	DATE	BY:
REVIEW	02/10/23	TK/TF
PERMIT	02/10/23	TK/TF
REV. A	04/10/23	TK
REV.		
REV.		
REV.		
REV.		
REV.		



Construction Documents for:

FD# 22141.00

THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FLORIDA



commercial
residential
architecture

FRAZE design

FL LIC. NO. AA2000685
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/328-3608
FAX: 727/328-3609
STUDIO: 727/328-3607

E-MAIL: ftd@frazedesign.com

SHEET TITLE
REAR AND SIDE
ELEVATIONS

SHEET NUMBER
A-7

TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Agenda Report

Action Request:

Strategic Objective:

Date: May 17, 2023

Prepared By: Kristin Coman, Senior Planner

Through: Jennifer McMahon, Chief Operating Officer

Summary of Issue: Applicant requests hardship variances to permit the encroachment of elevated mini-split units into the required rear and side yards, construct a staircase that encroaches into the required front yard, and provide three additional lodging units at the property without providing additional required on-premise parking (LDC Sec. 36.8 & 23.5).

Funding:

Attachments:

1. Variance Application
2. Amended description of requests
3. Site plan
4. Survey
5. AC bracket
6. AC specs
7. 601 71st Ave - Existing Equipment Setbacks

CASE #: _____

PARCEL #: 36311577994044 0110

SUBMITTAL DATE: _____ AMOUNT DUE: _____ PAYMENT DATE: _____

UNNECESSARY AND UNDUE HARDSHIP VARIANCE APPLICATION

The following Items are to be submitted, along with this application, at least 30 days prior to the public hearing:

- Two (2) copies of the property survey, completed in the last ten years, which contains the legal description, land area, and existing improvements on the site that has been signed and sealed by a surveyor licensed in the State of Florida;
- Seven (7) copies of a site plan showing the request, drawn to scale, of size between 11x17" and 36x48";
- Emailed copy of the survey and site plan to planning@stpetebeach.org.
- The Application Fee, payable to the City of St. Pete Beach (non-refundable)

OWNER/AGENT INFORMATION:

Identification	Name	Address	Phone #
Owner	ST Pete Beach Investments Dave Wonsick	1500 County Club Rd ST Pete FL 33710	727-686-6229
Applicant/ Agent			
Owner Email Address:		Applicant/Agent Email Address:	
D Wonsick@yahoo.com			

PROPERTY FOR PROPOSED VARIANCE:

Zoning Designation	Future Land Use Designation	Lot Area
UBV	UBV	10,751 SF
Legal Description: ST PETERSBURG BEACH REPLAT BLK 44 LOT 6 AND SW 1/4 20 FT LOT 4		
Address: 601 71 st Ave ST Pete Beach		
Explanation of Request: See Attachment		

Findings Necessary for Granting Request: In order for an application for a unnecessary and undue hardship variance to be approved or approved with conditions, the Board of Adjustment must make a positive finding with regard to each of the provisions below, which are also located in Division 3 of the Land Development Code. The applicant has the burden of proof demonstrating that the application for the variance complies with each of these requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;

This building was constructed in 1959 and all of the current AC Wall units and hot water heaters are located in the set back areas. To update the systems it will be required to put the new equipment back in this area. The three new parking spaces are already being used as parking spaces under it's current use.

2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;

Building was constructed in 1959 with no changes in set back areas from the current and prior owner. Parking area has remained the same.

3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;

Neighbor directly to the west of the property 633 71st Ave has AC units in the set back area. The stairs will have landscape area to make them less visible. Neighbor at 633 71st Ave also uses City Right of Way for their parking.

4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Comprehensive Plan or the Land Development Code, nor will it permit an increase in development density;

There is no change in the use of the structure only looking to update the AC systems and add new stairs. It would reduce the current park spaces.

5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;

Requesting only to modernize the property with new AC Systems and Stairs. Current parking spaces of 6 would be reduced to 3

6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;

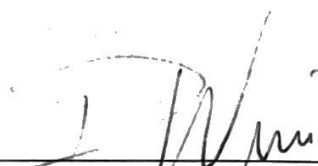
Property at 633 71st Currently has AC wall units in their set back area. Property at 633 71st uses the Same City Right of Way for parking

7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

Attempted with my architect to locate the stairs in front of the units within the set back area. Made the stairs as small as possible to reduce the encroachment to 6 inches. AC units will be hung on a bracket right against the wall to minimize the encroachment

8. The requested variance is in harmony with the general intent and purpose of the Comprehensive Plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Stairs and AC mini splits are both compatible with the neighborhood. Parking and asphalt area would be reduced with more landscaping

 5/1/23
Signature of Applicant Date Signature of Authorized Agent Date

VARIANCE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

DW I understand that the City will not accept or process an incomplete application.

DW I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a variance. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a variance.

DW On all variances except for administrative (de-minimis) variances, a majority vote is required. Action on this application by the BOA/City Commission may be continued to a later meeting.

DW I understand that if a variance is approved by the BOA, City Commission or City Manager, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval becomes voided.

DW I understand that if any application filed under the provisions of this Code is denied, no subsequent application seeking substantially the same or similar approval shall be filed within six months of the final decision on the original application.

DW I understand that any person aggrieved by the final decision of the Board of Adjustment or City Commission has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Appeals of decisions made by the City Manager for administrative variances are to a hearing officer designated by the City Commission and must be made within 30 days from the date of the final administrative decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

DW I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application if applicable.

After acknowledgement of these conditions, complete the application form on the following pages.

DWini
Signature of Applicant

5/1/13
Date

Owner's Authorization for Agent
Community Development Department
City of St. Pete Beach, Florida

I/WE

David Wonsick
(print name of property owner)

hereby authorize

(print name of agent)

to represent me/us in an application for

Variance
(type of application; variance, conditional use, zoning, etc.)

[Signature]
Signature of Owner

David Wonsick
Print Name of Owner

Signature of Owner

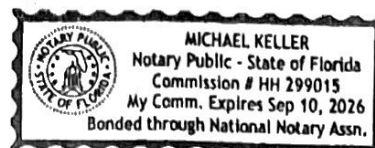
Print Name of Owner

The forgoing instrument was acknowledged before me this 19 day of
APRIL 2023 by DAVE WONSICK or who is
personally known _____ produced
_____ as identification.

[Signature]
(Notary Signature)

4/19/23
(Date)

My Commission Expires 10/10/24



Two feet from the existing building for a total 4 "3" encroachment on the seven foot side set back to install six AC mini splits. Two feet from the existing building for a total of 15 foot encroachment on the 20 foot rear set back to install 5 AC mini splits

New 15"7" by 3 "8" staircase on the front of the property that will encroach the seven foot front set back by "6" inches

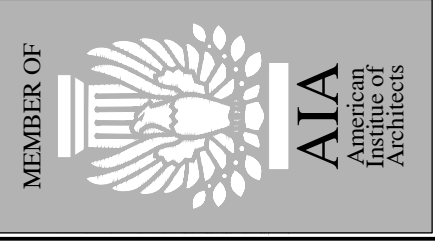
Turn existing 6 parking spaces in the city right of way on 71st Ave N into 3 parking spaces one being ADA. Remove existing asphalt on each corner per site plan and add new landscaping.

PLANT LEGEND						
SYMBOL	BOTANIC NAME	COMMON NAME	MIN. SIZE	SPACING	QUANTITY	NATIVE
MG	MAGNOLIA GRANDIFLORA "BRACKEN'S BROWN BEAUTY"	BRACKEN'S BROWN BEAUTY MAGNOLIA	8'-10' HT. 2" DBH MIN	PER PLAN	10	YES
NOTE:						

TRANSPORTATION NOTE:

- A RIGHT-OF-WAY UTILIZATION PERMIT IS REQUIRED FOR THE PARKING SPACE IMPROVEMENTS REFLECTED IN THE RIGHT-OF-WAY. THESE ARE NOT PRIVATE PARKING SPACES OR LOCATED ON PRIVATE PROPERTY, AND NO "TOW AWAY" OR OTHER SIGNS LIMITING ACCESS ARE PERMITTED.

ISSUE	DATE	BY:
REVIEW	02/10/23	TK/TF
PERMIT	02/10/23	TK/TF
REV. A	04/18/23	TK
REV. A	05/10/23	TK
REV.		
REV.		
REV.		
REV.		



Construction Documents for:

THE LOFTS @ ST. PETE BEACH
601 71ST AVENUE
ST. PETE BEACH, FLORIDA



commercial
residential
architecture

FRAZE design

FL LIC NO. AA26006585
ST. PETERSBURG, FLORIDA 33712
1750 CENTRAL AVENUE
PHONE: 727/528-3608
FAX: 727/528-3609
STUDIO: 727/528-3607

SHEET TITLE
SITE PLAN

SHEET NUMBER

A-2

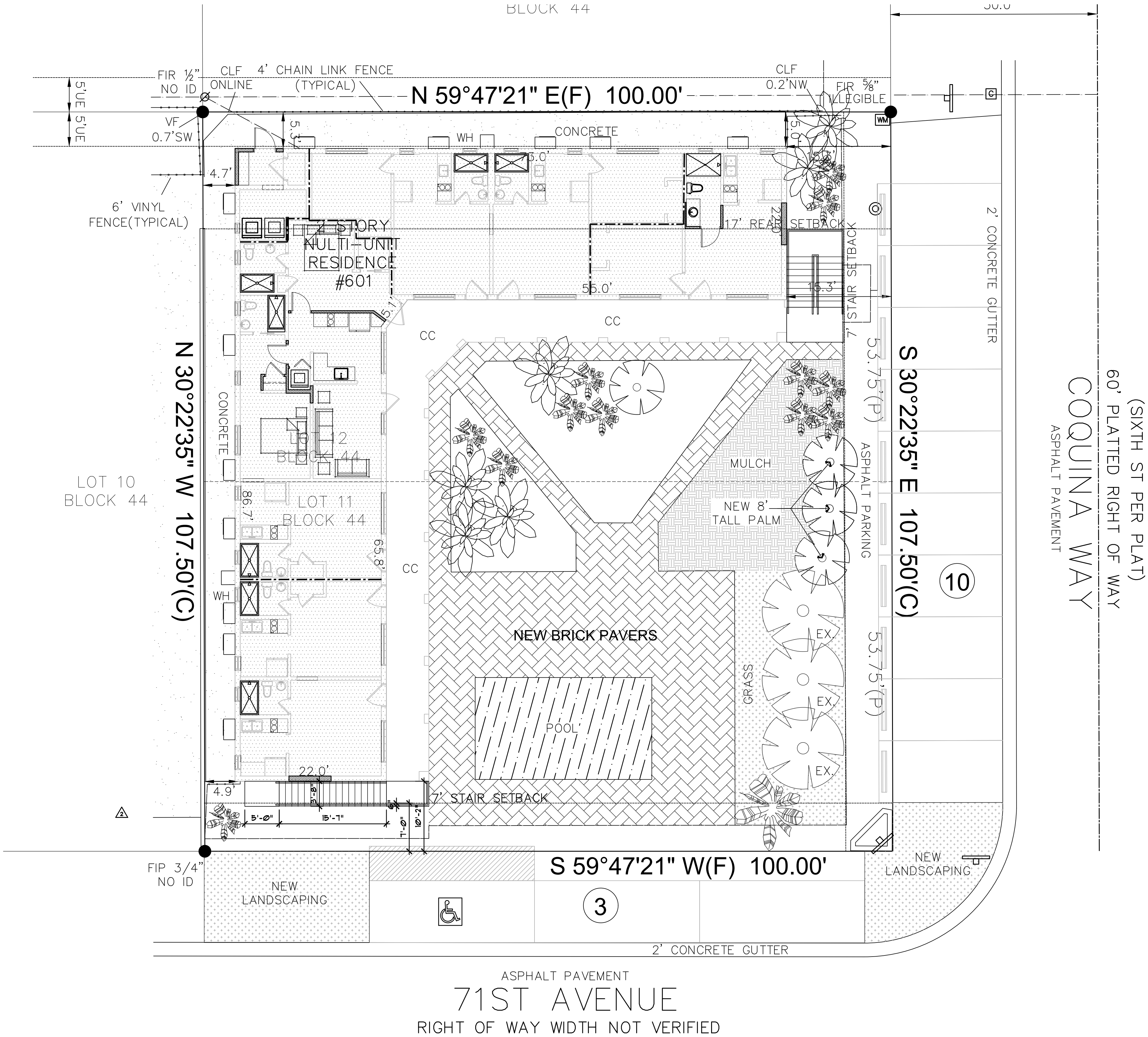
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1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"



ADDRESS
601 71st Avenue
St. Pete Beach, FL 33706



EASEMENT NOTE:
SUBJECT TO EASEMENT AS
NOTED ON RECORD PLAT.

LEGEND

- CC = Covered Concrete
- ID = Identification
- LB = Licensed Business
- FP = Found Iron Pipe
- FR = Found Iron Rod
- C/S = Concrete Slab
- D = Central Angle
- L = Arc Length
- R = Radius
- (P) = Plat Dimension
- (C) = Calculated Dimension
- (D) = Deed Dimension
- (F) = Field Dimension
- OR Book = Official Record Book
- SIR = Set $\frac{1}{2}$ " Iron Rod & Cap LB#7788
- CBP = Covered Brick Pavers
- FCM = Found Concrete Monument
- SECC = Screen Enclosed Covered Concrete
- FN&D = Found Nail & Disk
- SN&D = Set Nail & Disk LB#7788
- BP = Brick Pavers
- CWD = Covered Wood Deck
- NCF = No Corner Set or Found
- VF = Vinyl Fence
- FC = Fence Corner
- PC = Planter Corner
- CLF = Chain Link Fence
- WH = Water Heater
- $\triangle$ = Mail Box
- $\odot$ = Propane Tank
- $\perp$ = Sign
- Pg = Page
- E = Electric Outlet
- WM = Water Meter
- X = Light Pole
- TR = Transformer
- P/E = Pool Equipment
- ONS = Onsite
- OFFS = Offsite
- $\odot$ = Power Pole
- chu = Overhead Utilities
- $\oplus$ = Well
- $\odot$ = Sanitary Manhole

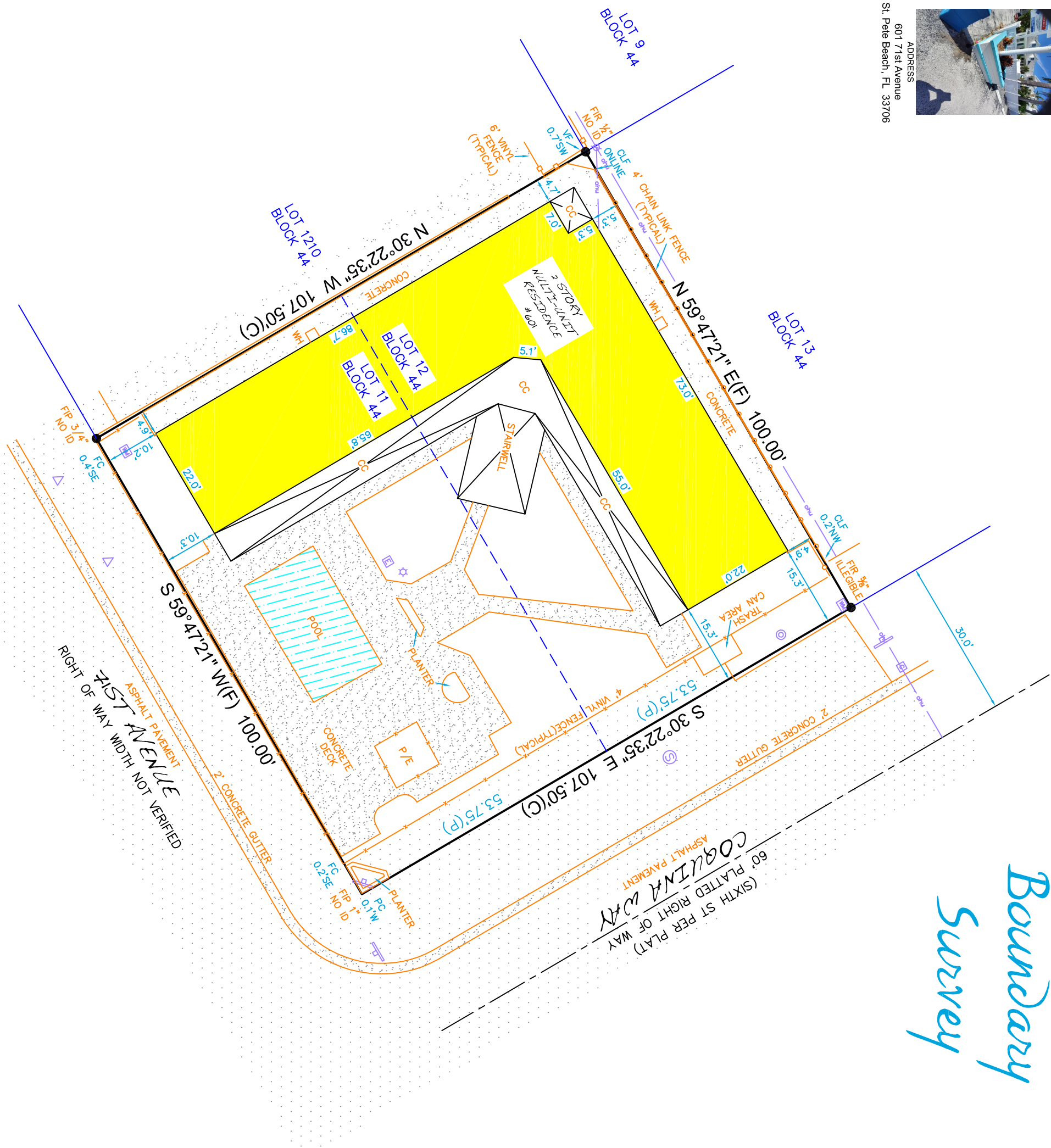


JOB #:	VLSR23-64014		
CLIENT #:	SPB-2022-2044		
FIELD DATE:	10/4/22	CREW:	3620
DRAFTER:	DF		
APPROVED:	EMD		
SCALE:	1" = 20'		

X
Borrower's Acknowledgment and Acceptance

X
Borrower's Acknowledgment and Acceptance

Boundary Survey



CERTIFIED TO: (AS FURNISHED)

ST. PETE BEACH INVESTMENTS, LLC
COASTLINE TITLE OF PINELLAS, LLC
FIDELITY NATIONAL TITLE INSURANCE COMPANY

FLOOD ZONE
SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN FLOOD ZONE "AE". AREAS DETERMINED TO BE INSIDE THE 100-YEAR FLOODPLAIN, PER F.I.R.M. PANEL NUMBER 1210302057H, LAST REVISION DATE 8/24/21, (PER MAPWISE WEBSITE). THIS SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE ABOVE INFORMATION. THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION.

LIST OF POSSIBLE ENCROACHMENTS:
SOME UTILITIES LIE WITHIN SUBJECT PROPERTY. ASPHALT, CONCRETE & FENCES CROSS PROPERTY LINE. OWNERSHIP OF ASPHALT, CONCRETE & FENCES HAS NOT BEEN DETERMINED.

BASIS OF BEARING
BEARINGS ARE BASED ON THE SOUTHWEST RIGHT-OF-WAY OF COQUINA WAY WHICH HAS AN ASSUMED BEARING OF S 30° 22' 35" E.

Legal Description
(per OR Book 11745, Page 410)
Lots 11 and 12, Block 44, RE-PLAT ST. PETERSBURG BEACH SUB-DIVISION, according to the plat thereof, recorded in Plat Book 5, Page 28, Public Records of Pinellas County, Florida.

- NOTES**
- Underground utility installations, underground improvements, foundations and/or other underground structures were not located by this survey.
 - The purpose of this survey is for use in obtaining title insurance and financing and should not be used for construction purposes.
 - Additions or deletions to this survey by anyone other than the signing party or parties is prohibited without the written consent of the signing party or parties.
 - The property shown hereon is subject to all easements, restrictions and reservations which may be shown or noted on the record plat and within the public records of the county the subject property is located. This survey only depicts survey related information such as easements and setbacks that are shown on a record plat or have been furnished to the Surveyor.
 - Building ties and dimensions for improvements should not be used to reconstruct boundary lines.

THIS SURVEY IS PREPARED FOR THE EXCLUSIVE USE AND BENEFIT OF THE PARTIES LISTED HEREON. LIABILITY TO THIRD PARTIES MAY NOT BE TRANSFERRED OR ASSIGNED.

LB 7788



941 S Pennsylvania Ave, Winter Park, FL 32789 | (888) 399-8474

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION.

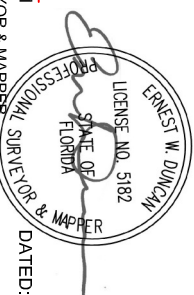
Ernest W. Duncan, PSM

PROFESSIONAL SURVEYOR & MAPPER

FLORIDA REGISTRATION #LS 5182

NOT VALID WITHOUT THE ELECTRONIC SIGNATURE AND/OR ORIGINAL RAISED SEAL OF THE LISTED FLORIDA LICENSED SURVEYOR AND MAPPER

DATE: REVISION: DATE: REVISION:





A CSW Industrials Company

Universal Bracket

WBB300 Wall Bracket
Product Code **87733**

Project Information:

Job Name: _____

Location: _____

Engineer: _____

Submitted to: _____

For: ☐ Reference ☐ Approval ☐ Construction

Submitted by: _____

Reference: _____

Submittal Information:

Approval: _____

Date: _____

Construction: _____

Unit #: _____

Drawing #: _____

(Sec. I) Ordering Information:

Product Code 87733
Model WBB300
Carton Qty 1
Carton Weight 13 lbs

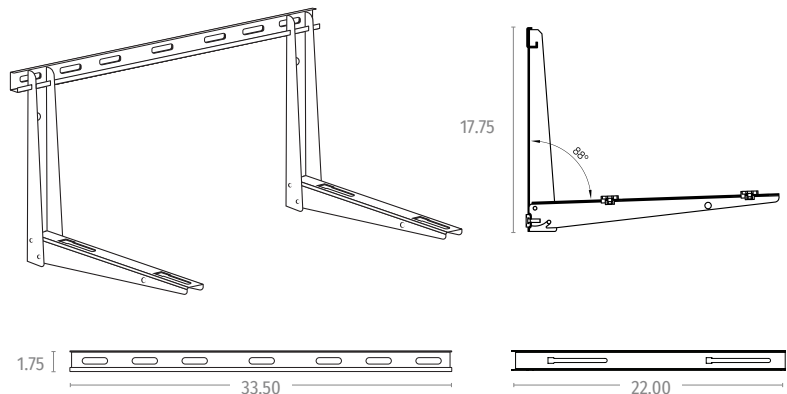
(Sec. II) Product Specifications:

Sheet Gauge:	14 gauge
Class of Galvanized Sheet:	GALVALUME
Type of Stainless Steel:	N/A
Load Rated Safety Factor:	3
Testing Load Rating to a Specific	
Testing Method:	Yes
Seismic Approval:	No
Hurricane Approval:	No
Type of Rubber Used for Isolator:	TPE rubber
UV Resistant:	Yes
Powder Coating:	Yes
Color of Powder Coating:	Beige
Overall Length:	33.50"
Overall Height:	17.75"
Overall Depth:	22.25"
Min/Max Mounting Depth:	10.5" to 16"
Min/Max Mounting Width:	4.5" to 31"
Max Load Capacity:	300 lbs

(Sec. III) Carton Contents:

2 x Bracket Arm
1 x Crossbar
6 x Hex Lag Screw
6 x 8 mm Concrete Anchor
4 x 1" Bolt and Clip Nut
1 x Liquid Level
2 x M6*16 Philip Head Screw
1 x Installation Instruction

(Fig. I) Product Image:



RectorSeal® • 2601 Spenwick Drive • Houston, TX 77055 • 800-231-3345 • rectorseal.com

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HEATING AND COOLING YOU CAN COUNT ON

115V & 230V MODELS



QUIET, EFFICIENT AND OH-SO-SOPHISTICATED.

Slim, stylish and elegant, the latest Livo GEN3 units are designed to be energy efficient at an affordable price. These 16-19 SEER heat pump systems are built around GREE's variable speed compressor technology, using eco-friendly R410A refrigerant.

- HIGH EFFICIENCY, UP TO 19 SEER / 10 HSPF
- SLEEK LOOK TO BLEND WITH YOUR DECOR
- PRECISE AIRFLOW CONTROL
- WIFI INCLUDED

- G10 inverter technology
- I-Feel function
- Multiple fan speeds
- Sleep function
- Acrylic resin coil coating
- Dehumidification
- Intelligent preheating
- Automatic voltage adaption
- Low voltage start-up
- Self-diagnosis
- Swing louver control
- LED display settings
- Privacy lock mode
- Cooling range: -4°F - 115°F
- Heating range: -13°F - 75°F
- Advanced filter options



MODEL		LIVV09HP115V1A	LIVV12HP115V1A	LIVV09HP230V1A	LIVV12HP230V1A	LIVV18HP230V1A	LIVV24HP230V1A	LIVV30HP230V1A	LIVV36HP230V1A
System Type		HEAT PUMP							
SYSTEM PERFORMANCE									
Cooling Capacity (Min-Max)	Btu/h	9000 (2764 - 9724)	12000 (3753 - 12500)	9100 (2457 - 9600)	12000 (1024 - 12624)	17400 (4094 - 20000)	22000 (5900 - 25200)	30000 (4100 - 33100)	33600 (5951 - 36000)
Heating Capacity (Min-Max)	Btu/h	9500 (2081 - 12283)	13000 (3412 - 15013)	9500 (2457 - 11500)	13000 (2388 - 13648)	18000 (4100 - 21000)	24000 (4500 - 25900)	30000 (7848 - 36000)	34600 (8530 - 37020)
SEER / EER		18 / 10	18 / 10	17 / 10.25	17 / 9.25	16 / 8.5	19 / 10.95	18 / 10.55	18 / 9.21
HSPF / COP		9 / 3.2	9 / 3.05	9 / 3.6	9 / 3.25	9 / 3	10 / 3.4	9 / 3.3	9 / 2.8
Energy Star®		NO							
Cooling Temperature Range	*F	0 - 115	0 - 115	0 - 115	0 - 115	0 - 115	0 - 115	-4 - 115	-4 - 115
Heating Temperature Range	*F	-4 - 75	-4 - 75	-4 - 75	-4 - 75	-4 - 75	-4 - 75	-13 - 75	-13 - 75
INDOOR UNIT		LIVV09HP115V1AH	LIVV12HP115V1AH	LIVV09HP230V1AH	LIVV12HP230V1AH	LIVV18HP230V1AH	LIVV24HP230V1AH	LIVV30HP230V1AH	LIVV36HP230V1AH
Air flow (Min-Max)	CFM	171 - 318	194 - 400	182 - 294	182 - 294	335 - 471	412 - 677	441 - 824	441 - 824
Sound Pressure Level (Cooling / Heating)	dB(A)	28 / 43	28 / 43	26 - 39 / 29 - 41	28 - 42 / 30 - 43	35 - 47 / 35 - 46	37 - 49 / 36 - 47	37 - 55 / 41 - 55	37 - 55 / 41 - 55
Dehumidification	pt/hr	1.69	2.96	1.69	2.96	3.8	4.23	6.34	7.4
Condensate Drain Size (OD)	in	5/8	5/8	5/8	5/8	5/8	5/8	5/8	5/8
Unit Dimension (WxHxD)	in	32 1/8x10 5/16x7 7/8	33 1/4x11 3/8x8 1/4	31 1/8x10 3/4x7 7/8	33 1/4x11 1/4x8 3/8	38 1/8x11 3/4x8 3/4	42 1/4x12 3/4x9 5/8	53 1/8x12 3/4x10	53 1/8x12 3/4x10
Package Dimension (WxHxD)	in	33 1/2 x 13 1/3 x 10 1/3	36 1/8 x 14 1/3 x 11	34 x 14 x 11	36 x 14 x 11	41 x 15 x 12	45 x 16 x 13	57 x 17 x 14	57 x 17 x 14
Weight (Net / Gross)	lbs	19.8 / 24.3	23.2 / 27.6	19.8 / 24.3	22 / 26.5	28.6 / 36.4	36.4 / 45.2	43 / 52.9	44.1 / 54
OUTDOOR UNIT		LIVV09HP115V1AO	LIVV12HP115V1AO	LIVV09HP230V1AO	LIVV12HP230V1AO	LIVV18HP230V1AO	LIVV24HP230V1AO	LIVV30HP230V1AO	LIVV36HP230V1AO
Compressor Type		GREE G-10 / 2 - STAGE INVERTER							
Sound Pressure Level (Cooling / Heating)	dB(A)	52	53	50	50	56	59	60	61
Unit Dimension (WxHxD)	in	33 3/8x21 1/4x12 5/8	33 3/8x21 1/4x12 5/8	30 5/8x21 1/4x10 1/8	30 5/8x21 1/4x10 1/8	35 3/4x25 5/8x12 1/4	35 3/4x25 5/8x12 1/4	39 3/8x31 1/8x14 9/16	39 3/8x31 1/8x14 9/16
Package Dimension (WxHxD)	in	34 5/8 x 14 3/16 x 22 7/8	34 5/8 x 14 3/16 x 22 7/8	33 x 23 x 14	33 x 23 x 14	38 x 27 x 16	38 x 27 x 16	43 x 33 x 19	43 x 33 x 19
Weight (Net / Gross)	lbs	62.8 / 68.4	67.3 / 72.8	58.4 / 63.9	62.8 / 68.4	95 / 105	97 / 103.6	138.9 / 149.9	140 / 151
Refrigerant Charge - R410A	oz	24.7	31.8	24	28.2	42.3	52.9	77.6	88.2
Coil Type		Aluminum Fin-Copper Tube / Acrylic Resin Protection							
REFRIGERANT PIPING									
Line Set Size (Liquid - Gas)	in	1/4 - 3/8	1/4 - 3/8	1/4 - 3/8	1/4 - 3/8	1/4 - 1/2	1/4 - 5/8	1/4 - 5/8	1/4 - 5/8
Pre-Charge Length	ft	25							
Max. Line Run	ft	10 / 49	10 / 66	49	66	82	82	82	82
Max. Elevation	ft	33	49	33	33	33	33	33	33
ELECTRICAL									
Power Supply		115V / 1PH / 60 HZ				208-230V / 1Ph / 60Hz			
Rated Current Cooling	amps	12.7	13.5	6.3	6.5	10	11	15	18
Rated Current Heating	amps	10.7	13.8	6.2	6.3	10.5	10	16.5	19
MCA	amps	17	20	10	9	15	19	24	24
MOCP	amps	25	30	15	15	20	30	35	35
Main Power Wire Size	AWG	Per Local Code							
Interconnecting Wire Size	AWG	14 / 4							
LIMITED WARRANTY		5 Years Parts and Compressor - Residential							





TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Agenda Report

Action Request:

Strategic Objective:

Date: May 17, 2023

Prepared By: Brandon Berry, Planner II

Through: Jennifer McMahon, Chief Operating Officer

Summary of Issue: The city requests a conditional use permit to construct a pier at Fisherman's Park, located at the western Corey Ave street-end (LDC Sec. 16.4(g)).

Funding:

Attachments:

1. 23035 Application
2. Fire line exhibit
3. Site plan



CONDITIONAL USE APPLICATION

Case Number: 23035

PROPERTY OWNER: _____

APPLICANT/AGENT (Attach agent authorization form)

Name: City of St. Pete Beach

Name: _____

Address: 155 Corey Ave

Address: _____

City: St. Pete Beach State: FL

City: _____ State: _____

Zip: 33706 Telephone: 727-367-2735

Zip: _____ Telephone: _____

Email: _____

Email: _____

SUBJECT PROPERTY:

Address: Fisherman's Park at Corey Ave street-end

Current Name of Business: _____

Parcel ID: Corey Ave street-end, west of Sunset Way

Name of Project: Fisherman's Park Pier

DETAILS OF THE REQUEST, INCLUDING APPLICABLE CODE SECTIONS AND ANY ASSOCIATED CASES (Add additional sheets if necessary):

The City requests a conditional use permit for a "Class C" municipal dock pursuant to LDC Sec. 16.4(g) to permit the construction of a public pier at Fisherman's Park.

Signature of Applicant/Agent

Date

CITY OF ST. PETE BEACH, Community Development Department
155 Corey Avenue, St. Pete. Beach, Florida 33706, 727-367-2735 www.stpetebeach.org

CONDITIONAL USE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

- X I understand that the City will not accept or process an incomplete application.
- X I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a conditional use. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a conditional use.
- X On all conditional uses, a majority vote is required. Action on this application by the City Commission may be continued to a later meeting.
- X I understand that if a conditional use is approved by the City Commission, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval from the City Commission becomes voided.
- X I understand that any person aggrieved by the final decision has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.
- X I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application.

After acknowledgement of these conditions, complete the application form on the following pages

Jennifer McLean, COO 5/5/23
Signature of Applicant Date

*CITY OF ST. PETE BEACH, Community Development Department
155 Corey Avenue, St. Pete. Beach, Florida 33706, 727-367-2735 www.stpetebeach.org*

In order for an application for a conditional use to be approved or approved with conditions, the City Commission must make a positive finding with regard to each of the provisions below, pursuant to Division 4 of the City's Land Development (LDC). The applicant has the burden of proof demonstrating that the application for the conditional use complies with each of the requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. LDC Sec 4.4(a)(1) Whether the conditional use is consistent with the goals, objectives, and policies of the Comprehensive Plan and any adopted special area plan.

The conditional use request is consistent with the Comprehensive Plan in the following ways:

Future Land Use Element, FLUE Policies - Green Practices, Residential Character and Introduction to Land Use Categories

GOAL 2: The City shall ensure that the residential character of the City of St. Pete Beach is maintained and protected while:

• Maximizing the potential for economic benefit resulting from the tourist trade and the enjoyment of natural and man-made resources by residents and visitors alike.

[...]

• Maintaining the community's recreation, open space and beaches.

Objective 2.11: Consistent with this comprehensive plan, the City shall continue to maintain the community's open space and promote greater connectivity through alternative mobility options.

Policy 2.11.4: The regulation of recreational uses of waterways and water access areas shall be consistent with sound waterway management.

Recreational and Open Space Element

GOAL 1: The City shall ensure the provision, protection, and maintenance of a coordinated, efficient and accessible system of public and private recreational parks and facilities which shall meet the needs of the city's current and future residents, visitors, and tourists.

Policy 1.1.3: Park and recreation lands will be planned for multiple uses and located in areas most suitable to satisfy the needs of the permanent and seasonal population, visitors, and tourists.

Policy 1.1.7: The City shall encourage a variety of recreational activities, including the utilization of unique natural features and scenic areas.

Policy 1.1.8: The City shall maintain adequate public access points to all recreation sites including beaches, waterways, and shores.

2. LDC Sec 4.4(a)(2)a-d Whether the proposed use will be compatible with the character of the existing area, including existing structures and structures under construction, existing public facilities and public facilities under construction, and residential commercial and/or service facilities available within the existing area. More specifically:

- a. Whether the overall appearance and function of the area will be significantly affected. consideration shall be given to the existence of other uses in the area, based on the number, size, and location of the uses and the intensity and scale of the proposed and existing uses in the area;

The overall appearance and function of the area will not be significantly affected. The upland Fisherman's Park street-end has been utilized as a public park for decades and has been consistently designed to be orient guests toward the park's water views. Commercial and multi-family docks have been developed just north of the subject street-end, and the proposed pier will not increase vessel traffic along the channel due to the lack of access from the water. The dock will improve the use and function of the existing park facilities by providing guests water access.

- b. Whether the application will preserve any city, state, or federally designated historic, scenic, archaeological, or cultural resources (check with Community Development to determine historic resource status);

The application will preserve the scenic resources of the City by providing an additional public amenity at a historically-recognized "Mini Park" of the city which expands the water viewshed for the public. While no known archaeological or cultural resources exist at the site, and the street-end will not be substantially developed under this proposal, the City shall report any resources discovered during construction.

- c. Whether the application will be compatible with adjacent development, if any, based on characteristics such as size, building style and scale, or whether such incompatibilities are mitigated through such means as screening, landscaping, setbacks, and other design features;

The pier will be longer than the commercial dock to the north of the street-end, but has no tie poles or other capacity to result in a greater obstruction of the channel. The request shall comply with the 25% maximum channel encroachment permitted by the Land Development Code.

- d. Whether the application will have significant adverse impacts on the livability and usability of nearby land due to noise, dust, fumes, smoke, glare from lights, late-night operations, odors, vehicular traffic, truck and other delivery trips, the amount, location, and nature of any outside activities, potential for increased litter, or privacy and safety issues;

No lighting is proposed for the facility, and the pier will close at sunset as is the case for all public parks in St. Pete Beach. No long-term adverse impacts are expected from the utilization of the pier.

3. Whether the transportation system is capable of adequately supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, access to arterials, transit availability, on-street parking impacts, if any, site access requirements, neighborhood impacts, and pedestrian safety (a traffic study may be required);

While some additional pedestrian traffic is anticipated to be generated by the development, the city has adequate parking at Sunset Park to the immediate south to support guests to the facility. The pier is in the vicinity of restaurants and bars with their own off-premise parking facilities that can support additional patrons to the pier.

4. Whether the minimum off-street parking area required and the amount of space needed for the loading and unloading of trucks, if applicable, will be provided and will function properly and safely (please provide current and proposed number of parking and loading spaces);

No need for off-street loading beyond the initial construction phase is anticipated.

CITY OF ST. PETE BEACH, Community Development Department
155 Corey Avenue, St. Pete. Beach, Florida 33706, 727-367-2735 www.stpetebeach.org

5. Whether generally, the public health, safety and welfare will be preserved, and any reasonable conditions necessary for such preservation have been made;

The pier is consistent with the surrounding zoning and will complement existing public and private facilities in the area. All uses in the immediate vicinity are commercial and abutting properties are not zoned for residential or other low-intensity uses that may be susceptible to impacts from a pier. No waiver from any modern safety requirement is being requested.

6. Whether the applicant has demonstrated the financial and technical capacity to complete any improvements and mitigation necessitated by the development as proposed and has made adequate legal provision to guarantee the provision of such improvements and mitigation; and,

Funding has been allocated for the pier's construction.

7. The proposed use complies with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other applicable requirements of the regulations of the City of St. Pete Beach.

The pier shall be constructed to any requirements imposed by the City Commission.

Sec. 4.12 of the Land Development Code additionally requires conditional use applications within the community redevelopment district to be evaluated upon the extent to which the applicant can demonstrate that the following issues are addressed in a manner consistent with the policies established in the community redevelopment plan for the district and that no unreasonable or disproportionately negative impacts are imposed upon adjacent or nearby properties:

1. Utility infrastructure, including sanitary sewer, reclaimed water, potable water, electric and natural gas services, and data transmission and telecommunication services.
2. Transportation infrastructure, including ingress and egress from public right-of-way, traffic control devices and signalization, internal vehicle circulation of the site, design and function of parking areas, loading and unloading areas, pedestrian transit infrastructure and amenities, and public sidewalks and roadways.
3. Hydrological features and storm water management infrastructure.
4. Aesthetic and architectural features of the development, including site layout, physical dimensions of structures such as height and massing, design and appearance of building facades, exterior building materials, advertising and directional signage and the provision and maintenance of Gulf and Bay views and vistas.
5. Site landscaping, open space provision and impervious surface limitations.

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6. Operational and functional requirements of facilities, including hours of operation, provision of required services or amenities, lighting requirements, noise abatement requirements, residency limitations and facilities maintenance.
7. Fire suppression and facility security.
8. Emergency management and hurricane evacuation provisions.
9. For temporary lodging uses taller than 50 feet in height or a density greater than 30 units per acre, the following additional issues shall be considered:
 - a. The amount of separation provided between the proposed temporary lodging use and any existing buildings on adjoining properties and resulting impact on sunlight and views; and
 - b. The proximity of any adjacent residential building to the Florida Coastal Construction Control Line and the degree to which the proposed temporary lodging use and/or any accessory use or structure maintains an open view of the waterfront from neighboring properties.



**FIRE LINE EXHIBIT
SUNSET WAY PIER
ST. PETE BEACH**

FLORIDA

Mar 22, 2023 - 8:53am I:\CAD Projects\Projects_SEPI X Drive\1990\1990-112 Sloppy Pelican\Survey\Acad\1990-112-Exhibit Fire Line.dwg Page 41 of 42

[illegible]

10-72 DIRECTION OF FLOW

EXISTING ELEVATION
ELEVATIONS ARE BASED ON 1000-XX

PROPOSED ELEVATION

ELEVATION AT TOP OF FEATURE
ELEVATION AT BOTTOM OF FEATURE

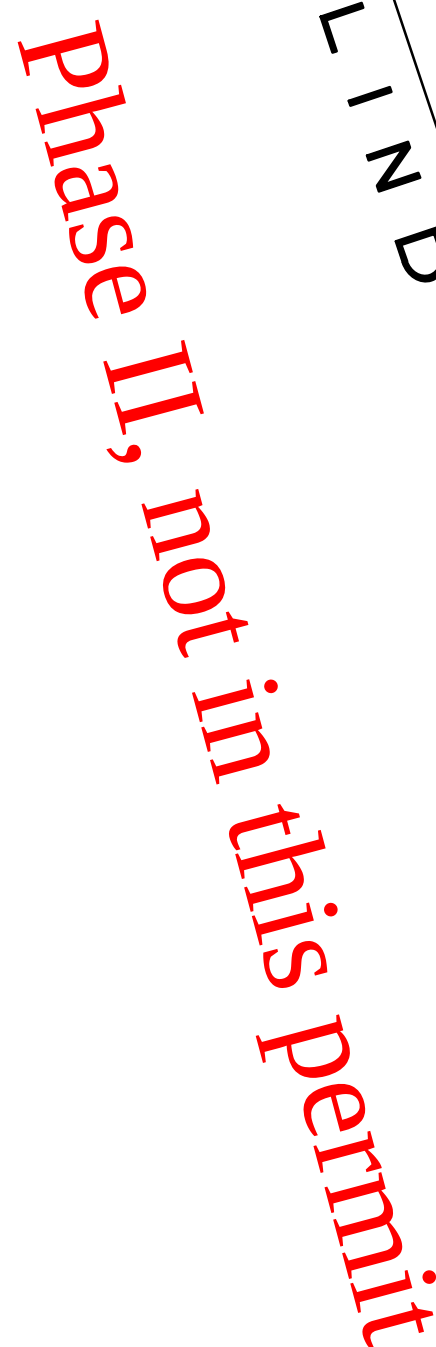
GRADING SUFFIXES:
BN = BOTTOM OF WALL
EP = EDGE OF PAVEMENT
G = GROUND
HP = HIGH POINT
M = MATCH EXISTING GRADE
(ESTIMATED INTERPOLATED VALUE)
MP = MATCH EXISTING EP
TC = TOP OF CURB
TS = TOP OF SIDEWALK
TW = TOP OF WALL

6' CHAIN LINK FENCE

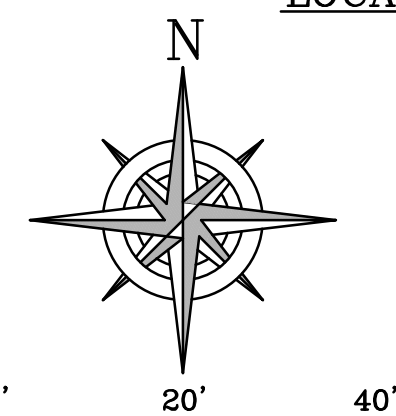
SILT FENCE

NUMBER OF PROPOSED PARKING SPACES

REMOVE EXISTING TREE



LOCATION MAP
N.T.S.



SCALE: 1" = 20'

SITE DATA TABLE:

SITE LOCATION: SUNSET WAY BETWEEN
74TH AVENUE & 75TH AVENUE
ST. PETE BEACH, FL 33706

PROPERTY OWNER:
TOASTED LAND LLC
678 75TH AVENUE
ST. PETE BEACH, FL 33706

CIVIL ENGINEER & SURVEYOR:
DEUEL & ASSOCIATES
565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
(727) 822-4151-TEL

EXISTING CONDITIONS, AS DEPICTED, WERE TAKEN FROM A
BOUNDARY SURVEY PREPARED BY DEUEL AND ASSOCIATES,
LB # 107, DATE OF FIELD SURVEY: 1/20/2021, AND A
TOPOGRAPHIC SURVEY PREPARED BY HYATT SURVEY
SERVICES, INC., LB # 7203, DATE OF FIELD SURVEY:
11/2020.

				DESIGN:	APC
				DRAWN:	TBM
REV.#	DATE	REVISION	BY	CHECKED:	BAB



DEUEL & ASSOCIATES
CONSULTING ENGINEERS LAND SURVEYORS LAND PLANNERS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.DEUELENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NUMBER
LICENSED BUSINESS NUMBER 107

*CONCEPTUAL SIDEWALK
IMPROVEMENT PLAN*

CITY OF ST. PETE BEACH

FLORIDA

I, ALBERT CARRIER, HEREBY CERTIFY AS A LICENSED PROFESSIONAL ENGINEER, REGISTERED IN ACCORDANCE WITH FLORIDA STATUTE 471 (481) THAT THE ABOVE PROJECT'S SITE AND/OR CONSTRUCTION PLANS, TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, WILL MEET APPLICABLE DESIGN CRITERIA SPECIFIED BY CITY MUNICIPAL ORDINANCE, STATE AND FEDERAL ESTABLISHED STANDARDS. I UNDERSTAND THAT IT IS MY RESPONSIBILITY AS THE PROJECT'S PROFESSIONAL ENGINEER TO PERFORM A QUALITY ASSURANCE REVIEW OF THESE SUBMITTED PLANS.

ALBERT P. CARRIER, P.E. 53990

WORK ORDER NO.	1990-112
DATE:	FEBRUARY 23, 2021
SCALE:	1" = 20'
SHEET NO.	1 OF 1