



**TECHNICAL REVIEW COMMITTEE MEETING
CITY OF ST. PETE BEACH**

**Notice of Public Meeting
Technical Review Committee**

Community Development Department TRC Room
155 Corey Avenue, City Hall, St. Pete Beach, FL 33706

Wednesday, November 1, 2023
10:00 AM

Regular Meeting Agenda

This is an informal meeting between City staff and the applicant(s). The public is invited to attend, however no public comment shall be permitted.

Discussion Items

1. Amended Conditional Use Permit #23053: 5300, 5350, 5380, 5390 Gulf Blvd (Sirata Beach Resort)

Discussing the amended request made after the preceding review at the July 19, 2023 Technical Review Committee meeting, specifically:

"Permit a rooftop pool amenity above the parking garage (well below the height of the tower) over the southwest portion of Hotel 1 that includes dining, drinking, and/or outdoor music in accordance with 35.3(d)(3)."

Note that, per staff, this request is being made pursuant to LDC Sec. 35.4.(b) due to the use being accessory to the resort rather than secondary bonus floor area.

Next Meeting: November 15, 2023

TECHNICAL REVIEW COMMITTEE MEETING CITY OF ST. PETE BEACH

Agenda Report

Action Request:

Strategic Objective:

Date: November 1, 2023

Prepared By: Brandon Berry, Planner II

Through: Jennifer McMahon, Chief Operating Officer

Summary of Issue: Discussing the amended request made after the prior Technical Review Committee meeting, specifically:

"Permit a rooftop pool amenity above the parking garage (well below the height of the tower) over the southwest portion of Hotel 1 that includes dining, drinking, and/or outdoor music in accordance with 35.3(d)(3)."

Note that, per staff, this request is being made pursuant to LDC Sec. 35.4.(b) due to the use being accessory to the resort rather than secondary bonus floor area.

Funding:

Attachments:

1. CUP #23053 - Updated Narrative
2. CUP #23053 - Updated Civil Plans
3. CUP #23053 - Updated Architectural Plans and Elevations

EXHIBIT “A”

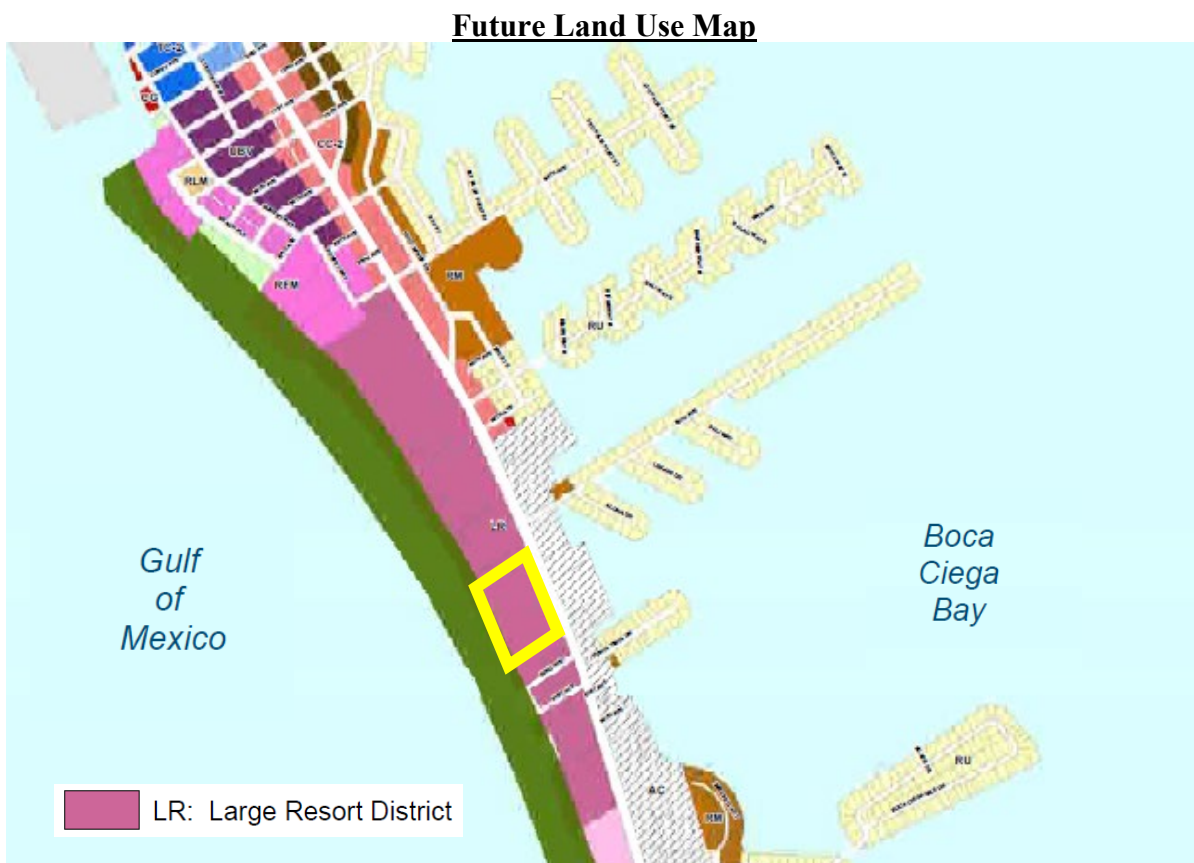
Conditional Use Application Narrative

Property Information

This CUP Application (“**CUP**”) proposes redevelopment of parcel number 06-32-16-80172-000-0010 (the “**Property**”) within the City of St. Pete Beach (the “**City**”). The Property includes +/- 15.45 total acres with +/- 8.62 buildable acres located landward of the Coastal Construction Control Line (the “**CCCL**”). The zoning of the Property is Large Resort, and the Future Land Use category of the Property is Large Resort.

Aerial Image



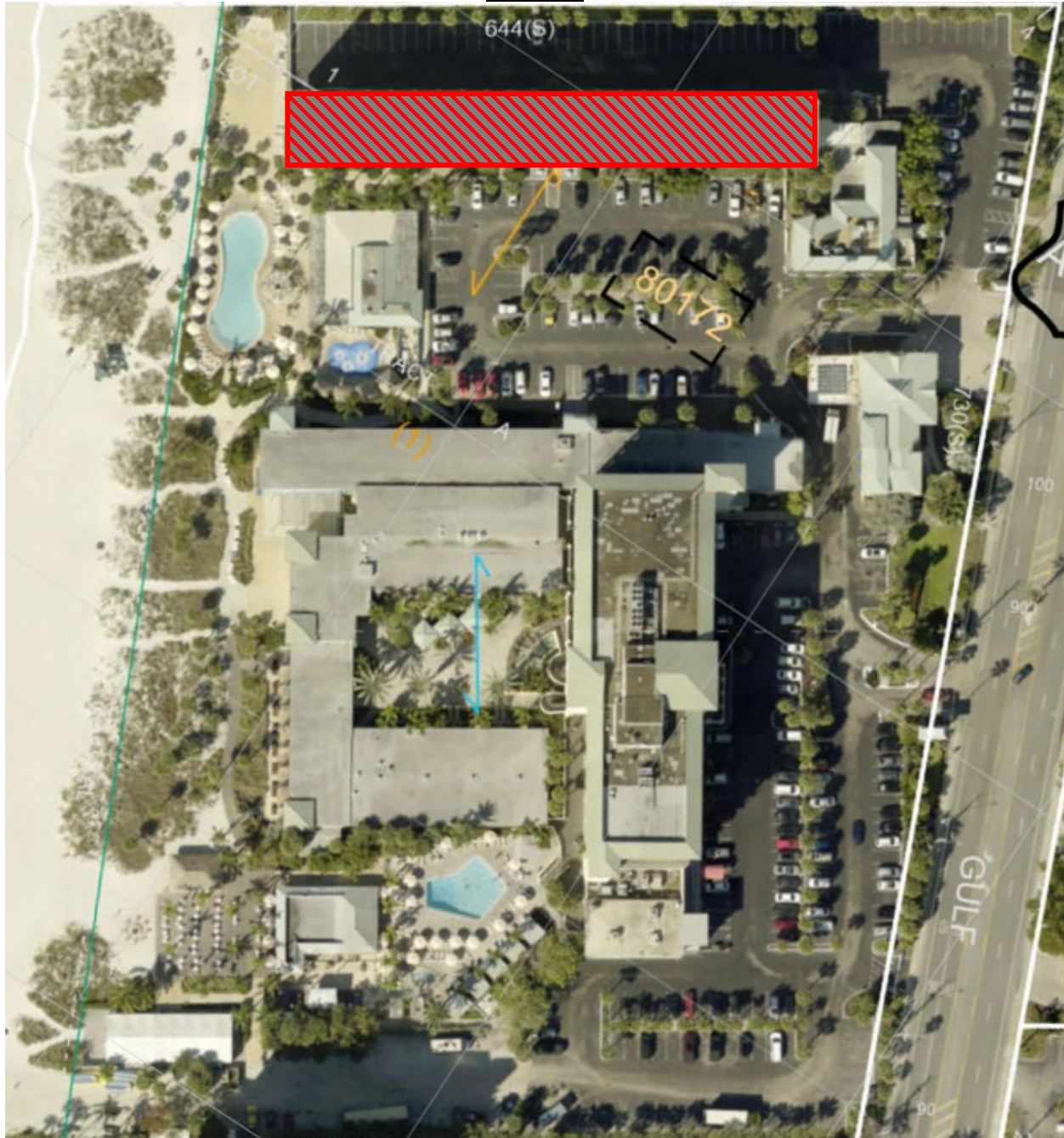


Overview

The CUP proposes redevelopment of the existing Sirata Resort, to include demolition and redevelopment over portions of the Property, and renovation of certain improvements to remain. Today, the Sirata Resort includes two main buildings, ancillary support structures, surface parking, and 382 transient accommodation units. The proposed redevelopment would:

1. Remove the red hatched building depicted in Figure 1, which would eliminate 98 transient accommodation units;

Figure 1



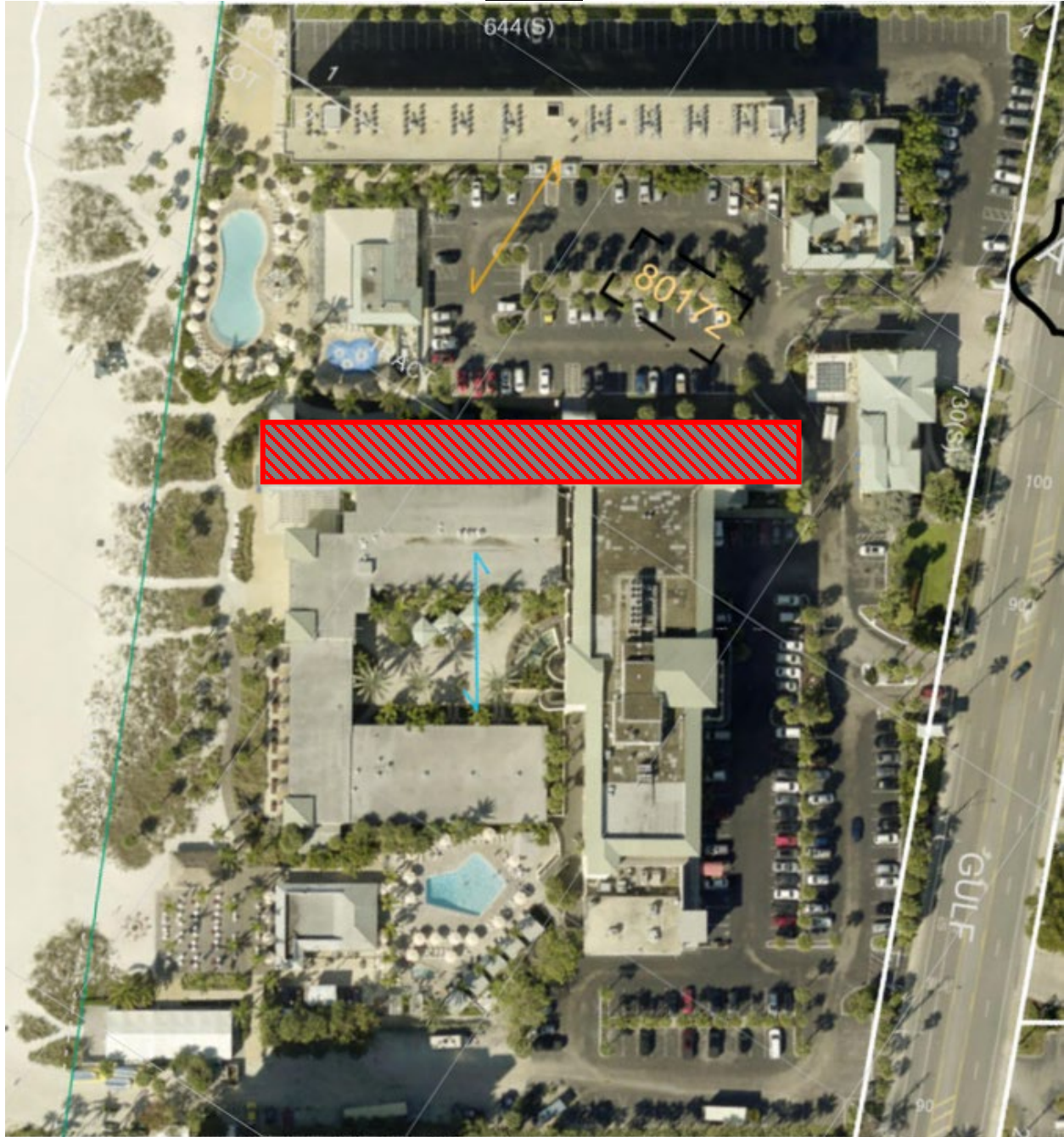
2. Remove several ancillary buildings as depicted in Figure 2;

Figure 2



3. Remove a portion of the building depicted in Figure 3 which would eliminate 57 transient accommodation units; and

Figure 3



4. Add two new hotel buildings on either side of the remaining Sirata Resort, as roughly depicted in Figure 4, below, and precisely shown in the separate CUP site plan documents.

Figure 4



The proposed project as depicted in Figure 4 would include:

- I. A new luxury hotel (depicted in blue) with 290 transient accommodation units operated under a luxury name brand with resort amenities ("**Hotel 1**"), likely a JW Marriott;
- II. A renovated Sirata Resort (depicted in orange) with 226 transient accommodation units, which will continue to operate as the Sirata Resort ("**Remaining Sirata**"); and
- III. A new Select Service hotel (depicted in green) with 130 transient accommodation units operated under a national brand name with kitchenette amenities ("**Hotel 3**"), likely a Hampton Inn.

The total number of transient accommodation units proposed is 646 (a net increase of 264 units), and related accessory uses (the “**Project**”). Accessory uses include amenities, office, restaurants, meeting space, and retail. These accessory uses will include a rooftop pool amenity with eating and/or drinking with outdoor outdoor music, which requires conditional use approval, as well as outdoor dining and/or drinking areas that include outdoor music meeting the requirements of Section 35.4(b), which do not require conditional use approval. In addition, certain amenity areas would also be redeveloped. Resort amenities for Hotel 1 and Hotel 3 would be included within each respective hotel. Total office space would increase from 3,000 square feet to 6,500 square feet distributed throughout the Project. Meeting space will be reduced from 33,404 square feet today to 30,370 square feet. Restaurant space will increase from 8,380 square feet to 10,890 square feet (this includes a new restaurant and renovation and relocation of existing restaurant). Finally, retail space will increase from 567 square feet to 1,629 square feet.

Conditional Use Request

The City of St. Pete Beach Land Development Code (the “**LDC**”) and Comprehensive Plan (the “**Comp Plan**”) permit the proposed uses at the densities and intensities requested. The height, density, and rooftop pool amenity requested require a conditional use. Specifically the CUP would:

1. Permit development of 646 transient accommodation units on 8.62 acres of the Property located landward of the CCCL in accordance with Section 35.3(b)(1);
2. Permit development of the Property at a maximum building height 115.8 feet above the base flood elevation in accordance with Sec. 35.3(b)(1), with allowances for decorative features and rooftop amenities in accordance with Sec. 35.8(a)(3); and
3. Permit a rooftop pool amenity above the parking garage (well below the height of the tower) over the southwest portion of Hotel 1 that includes dining, drinking, and/or outdoor music in accordance with 35.3(d)(3).

Conditional Use Criteria

The CUP process requires the following:

In order for an application for a conditional use to be approved or approved with conditions, the City Commission must make a positive finding with regard to each of the provisions below, pursuant to Division 4 of the City’s Land Development. The applicant has the burden of proof demonstrating that the application for the conditional use complies with each of the requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. *LDC Sec 4.4(a)(1) Whether the conditional use is consistent with the goals, objectives, and policies of the Comprehensive Plan and any adopted special area plan.*

The Project is consistent with numerous goals, objectives, and policies of the Comprehensive Plan. Within the Future Land Use Element, the proposal supports Goals 1, 2, 3, and 4; Objectives 1.2, 1.3, 2.1, 2.2, 2.3, 2.4, 2.7, 2.8, 2.9, 2.11, 2.13, 3.2, and 4.1; and Policies 1.1.4, 1.2.3, 1.2.4, 1.2.6, 1.2.9, 1.3.1, 1.3.2, 1.3.3, 2.1.1, 2.1.12, 2.2.1, 2.3.3, 2.3.4, 2.3.5, 2.3.7, 2.4.1, 2.7.1, 2.7.2, 2.7.7, 2.7.14, 2.8.1, 2.8.2, 2.8.3, 2.8.4, 2.8.5, 2.8.6, 2.9.1, 2.9.2, 2.9.3, 2.9.6, 2.11.1, 2.11.2, 2.11.3, 2.13.2, 2.13.3, 3.2.1, 3.2.3, and 4.1.5.

The Project is located within the Community Redevelopment District, which has various sub-districts and designations. The Project supports Goal 1 of the Community Redevelopment District through Objective 1.1, and Policies, 1.1.4, 1.1.5, 1.1.9, 1.1.10, 1.1.12 and 1.1.13; Goal 2 through Objectives 2.1-2.2, and Policies 2.1.1 and 2.2.4; Goal 3 through Objective 3.1, and Policies 3.1.1 and 3.1.3. Within the Gulf Boulevard Redevelopment District sub-district, the Project supports Goals 1-3; Objectives 1.1, 1.2, 1.4, 1.5, 1.6, 1.7, 1.8, 2.2, 2.4, 2.5, 2.6, 3.2, 3.3; and Policies 1, 2, 3, 4, 5, 6, 9, 10, 11, 13, and 15. Finally, within the Large Resort District, the Project supports Policies 1, 2, 4, 5, 6, 8, and 9.

In addition to the significant support within the Future Land Use Element, the Project supports various other elements and policies. Transportation Element Goal 1 is supported by the Project through Objective 1.1, and Policies 1.1.1, 1.1.2, and 1.1.3; Objective 1.2 and Policy 1.2.1; Objective 1.3, and Policies 1.3.1, 1.3.2, and 1.3.4; Objective 1.4 with Policies 1.4.3 and 1.4.4; and Objective 1.5 with Policies 1.5.2 and 1.5.3. The Project supports Infrastructure Plan Element Goals 1 and 2; Objectives 1.1, 1.2, 2.1, and 2.2; and Policies 1.1.4, 1.1.5, 1.2.1, 2.1.1, 2.1.6, 2.2.2. Goals 1-2 of the Coastal and Conservation element are supported through Objectives 1.2, 1.4, 1.8, 1.9, 2.2, and 2.4; and Policies 1.2.1, 1.4.2, 1.4.7, 1.8.2, 1.8.5, 1.9.1, 1.9.3, 1.9.6, 2.2.2, and 2.4.4. Policy 1.4.3 and associated Objection 1.4 and Goal 1 are supported within the Recreation and Open Space element. Finally, the Project supports Goal 1 of the Capital Improvement element through Objectives 1.3 and 1.5; and Policies 1.3.1, 1.3.2, 1.3.3, 1.3.4, 1.5.1, 1.5.2, 1.5.3, 1.5.5, and 1.5.7.

2. *LDC Sec 4.4(a)(2)a-d Whether the proposed use will be compatible with the character of the existing area, including existing structures and structures under construction, existing public facilities and public facilities under construction, and residential commercial and/or service facilities available within the existing area. More specifically:*
 - a. *Whether the overall appearance and function of the area will be significantly affected. consideration shall be given to the existence of other uses in the area, based on the number, size, and location of the uses and the intensity and scale of the proposed and existing uses in the area;*

The Comp Plan establishes the character of the Large Resort Character District (the “**District**”) as the preferred location for Large Resort development and redevelopment setting the expectations for overall scale, intensity and character in the District. The Project design will enhance the overall appearance and function of the area while significantly furthering the District’s Goals, Objectives and Policies and the purpose of the Community Redevelopment Area. The Project is bordered on the north by high rise residential, high

rise resort to the south, and mid-rise residential/resort condominiums and retail to the east. Development to the east is across Gulf Boulevard within the Activity Center District.

More specifically, the Project is bordered on the north by the Seamark Condominium (“**Seamark**”), a legal nonconforming residential development at a density greater than 60 DU/A and a height of 11 stories, and on the south by the Bellwether Beach Resort (the “**Bellwether**”), a legal nonconforming hotel at a density greater than 75 TAU/acre and a height of 12 stories. The new building heights within the Project range from eight to ten stories at a conforming density just under 75 TAU/acre, which is compatible with the adjacent development with respect to uses, densities and scale of development.

The architectural style is modern Florida Resort Hotel architectural style, which features an all-white exterior with light gray accents and balconies on all guestrooms; a style seen throughout Florida and the Gulf Coast. The goal is to also create a lush and vibrant landscape design that becomes part of the buildings architecture through the use of planters/green walls and waterfalls. The proposed style and scale is compatible with and will complement the surrounding area.

The Project’s site design takes into consideration abutting properties views of the Gulf/beach utilizing buffering, setbacks and building placement. The height/scale of the proposed Project is consistent with the abutting residential and hotel uses to the north and south. Because the Property is over 15 acres in size, the Project is able to incorporate design elements that enhance both beach front and street front elements improving the character of the District. These elements include new beach connections, improved pedestrian connectivity, improved pedestrian/vehicular circulation and public realm along Gulf Boulevard.

The Project’s site and building design also specifically take into consideration abutting and nearby neighbors with respect to the placement of the outdoor rooftop amenity deck for Hotel 1, which is proposed to have rooftop dining and/or drinking with music. This amenity is placed on the southwest portion of the property on top of the parking garage, as shown below. The amenity faces the Gulf, wrapped on the north and east by the guest room tower of Hotel 1, which buffers adjacent residential uses and isolates the pool from adjacent property.



The purpose of the District and the Community Redevelopment Area was to encourage this type of redevelopment.

- b. *Whether the application will preserve any city, state, or federally designated historic, scenic, archaeological, or cultural resources (check with Community Development to determine historic resource status);*

There are no City, state or federally designated historic, scenic, archaeological, or cultural resources at or on the Property.

- c. *Whether the application will be compatible with adjacent development, if any, based on characteristics such as size, building style and scale, or whether such incompatibilities are mitigated through such means as screening, landscaping, setbacks, and other design features;*

The Comprehensive Plan identifies the District as the location for Large Resort development and redevelopment setting the expectations for overall scale, intensity and character in the District. The proposed redevelopment as designed will enhance the overall appearance and function of the area while significantly furthering the District's Goals, Objectives and Policies and the purpose of the Community Redevelopment Area.

The Project's design takes into consideration abutting properties views of the Gulf/beach utilizing buffering, setbacks and building placement. The height/scale of the proposed redevelopment is consistent with the abutting residential and hotel uses to the north and south. Due to the redevelopment's larger site, the Sirata Resort is able to incorporate design elements that enhance both beachfront and street front elements improving the character of the District. These elements include beach connections, improved connectivity, improved pedestrian/vehicular circulation and public realm along Gulf Boulevard.

- d. *Whether the application will have significant adverse impacts on the livability and usability of nearby land due to noise, dust, fumes, smoke, glare from lights, late-night operations, odors, vehicular traffic, truck and other delivery trips, the amount, location, and nature of any outside activities, potential for increased litter, or privacy and safety issues;*

The Project will not have any significant adverse impacts. The Project is designed to include features that mitigate perceived impacts such as:

- i. Locating hallways internal to the Project;
- ii. Locating the rooftop pool amenity of Hotel 1 over the southwest side of the guest tower away from Seamark and buffered from residents east of Gulf Boulevard; and
- iii. Locating loading berths and service areas within Hotel 1 and Hotel 3.

In addition, the developer has incorporated specific site design modifications to address the concerns by the residents of Seamark including enclosing two levels of the parking

structure of Hotel 1 to screen headlights from Seamark and providing additional building setbacks from the CCCL to protect views.

3. *Whether the transportation system is capable of adequately supporting the proposed use in addition to the existing uses in the area. Evaluation factors include street capacity and level of service, access to arterials, transit availability, on-street parking impacts, if any, site access requirements, neighborhood impacts, and pedestrian safety (a traffic study may be required);*

Preliminary traffic analyses indicate the existing roadway network and nearby intersections have adequate capacity to support (i) existing traffic volumes, (ii) proposed Project traffic, (iii) recently approved projects such as Corey Landings, and (iv) the proposed Tradewinds Resort redevelopment. A traffic impact analysis is underway to confirm the preliminary analysis and provide a detailed analysis of street capacity, street level of service, and an operational analysis of any impacted roadways, intersections, and/or site connections. The Project's primary access points are from Gulf Boulevard, a Florida Department of Transportation ("FDOT") controlled arterial roadway. The applicant met with FDOT to coordinate access locations to minimize the impact to Gulf Boulevard and to maximize safety.

In addition, the Project is designed to add additional queuing on-site so that queueing does not back up onto Gulf Boulevard. Public transit is already available adjacent to the Property. Employees are, and will continue to be, offered subsidies to use public transportation to travel to and from work via bus to reduce the impact to the local roadway network. The Project will meet or exceed all City parking requirements, and when the Project is complete employee and guest parking will all be provided on-site. The current leased overflow parking located across Gulf Boulevard will be eliminated once the Project is complete and employees will no longer need to use leased parking facilities across Gulf Boulevard.

The Project includes multiple sidewalk improvements internal to the Project and along Gulf Boulevard. These improvements will enhance pedestrian connectivity to the beach, within the development and to adjacent developments. These improvements will mitigate neighborhood impacts related to transportation and allow for increased pedestrian safety.

4. *Whether the minimum off-street parking area required and the amount of space needed for the loading and unloading of trucks, if applicable, will be provided and will function properly and safely (please provide current and proposed number of parking and loading spaces);*

Currently, there are 379 on-site parking spaces, 102 off-site leased spaces, and no dedicated loading spaces. The Project will include 747 parking spaces, exceeding the requirements of the LDC. The Project provides two screened loading spaces within the new hotels. The parking and loading is an improvement over the current development, which uses off-site parking to fully meet parking demand.

5. *Whether generally, the public health, safety and welfare will be preserved, and any reasonable conditions necessary for such preservation have been made;*

The Project meets or exceeds all of the LDC provisions required to preserve the public health, safety and welfare. In implementing the current LDC requirements, conditions related to stormwater control, access, vehicle queueing, pedestrian access, beach access, and on-site deliveries are improved and generally preserve the public health safety and welfare. In addition, the two new hotels will be built to modern hurricane resistant standards further preserving the public safety.

6. *Whether the applicant has demonstrated the financial and technical capacity to complete any improvements and mitigation necessitated by the development as proposed and has made adequate legal provision to guarantee the provision of such improvements and mitigation; and,*

Columbia Sussex Corporation is a family owned company of over fifty years. It is the largest full service owner and operator for Marriott, and owns/operates 41 hotels, with nearly 14,000 hotel rooms, in 17 states. The development history and portfolio, alone, demonstrate the financial and technical capacity to complete the Project.

7. *The proposed use complies with all additional standards imposed on it by the particular provision of these regulations authorizing such use and by all other applicable requirements of the regulations of the City of St. Pete Beach.*

The Project complies with the provisions of the Comp Plan and the LDC. The applicant's design specifically addresses those requirements particular to the proposed use related to height and density, as well as the rooftop pool amenity with dining and/or drinking area with music.

Sec. 4.12 of the Land Development Code additionally requires conditional use applications within the community redevelopment district to be evaluated upon the extent to which the applicant can demonstrate that the following issues are addressed in a manner consistent with the policies established in the community redevelopment plan for the district and that no unreasonable or disproportionately negative impacts are imposed upon adjacent or nearby properties:

1. *Utility infrastructure, including sanitary sewer, reclaimed water, potable water, electric and natural gas services, and data transmission and telecommunication services.*

When the Comp Plan was adopted (as a result of litigation), infrastructure studies were conducted to ensure that adequate infrastructure was available for a maximum build out scenario for all land use categories. Other than sewer (which has been addressed by the City's sewer improvement investment), adequate capacity was shown to exist. Sufficient services are available. Additionally, all of the new development for the Project will undergo a final concurrency analysis at the time of construction plan approval.

2. *Transportation infrastructure, including ingress and egress from public right-of-way, traffic control devices and signalization, internal vehicle circulation of the site, design and function of parking areas, loading and unloading areas, pedestrian transit infrastructure and amenities, and public sidewalks and roadways.*

The FDOT preliminarily reviewed and commented on the Project's design to ensure proper ingress and egress. The Project proposes an internal vehicle circulation network that substantially improves on-site queueing, connects the three hotels, and provides sufficient parking for each of the uses, including patrons and employees. Loading areas are designed into the internal circulation of the site so that deliveries are completed on-site and screened from the public. Finally, pedestrian transit is improved through an inter-connected site, with a ten-foot sidewalk added along Gulf Boulevard, and two beach accesses.

3. *Hydrological features and stormwater management infrastructure.*

The impervious surface ratio will remain relatively unchanged at the Project's completion. The stormwater management on site will be greatly improved. The current site design pre-dates any significant stormwater regulations and currently the stormwater sheet flows off the Property. As proposed, the Project requires the development to control stormwater flow off-site at a rate that is equal to or less than if the site were completely vacant. More importantly, the Project is designed to retain and treat stormwater in underground vaults located on the Property, which will significantly reduce any sheet flow from the Project. As a result of compliance with the modern stormwater regulations, the Project will greatly improve the hydrological features and stormwater management of the Property which will also help with current flooding in the area.

4. *Aesthetic and architectural features of the development, including site layout, physical dimensions of structures such as height and massing, design and appearance of building facades, exterior building materials, advertising and directional signage and the provision and maintenance of Gulf and Bay views and vistas.*

The Project incorporates comments and recommendations from the FDOT to locate access points to maximize the efficiency of Gulf Boulevard. Hotel 1 and Hotel 3 are consistent and comparable with the height, massing, design and appearances of the Seamark and Bellwether. Hotel 1 and 3 are located 19.6 and 43.4 feet from the CCCL to preserve existing Gulf views of adjacent properties. In addition, Hotel 1 is setback 59.9 feet from Seamark's property boundary (53.9 feet to guestroom balconies), which is essentially twice what is required by the LDC. Vistas from Gulf Boulevard are protected by significant building setbacks from Gulf Boulevard, tiered building massing, lush landscaping along Gulf Boulevard and a decorative screen wall that will enhance the pedestrian street level experience.

5. *Site landscaping, open space provision and impervious surface limitations.*

The Project meets or exceeds the open space, landscaping requirements and impervious surface requirements set forth in the LDC, as more particularly depicted and described in the landscape plans prepared by Perry Becker. The existing development includes a great deal of surface parking, that the impervious surface ratio is, essentially, unchanged by the proposed. The impervious surface ratio proposed is 0.8, which is lower than what is permitted by the LDC. The Project's proposed floor area ratio is +/-1.53, well below the permitted maximum of 2.6.

6. *Operational and functional requirements of facilities, including hours of operation, provision of required services or amenities, lighting requirements, noise abatement requirements, residency limitations and facilities maintenance.*

The Bellwether will not be negatively impacted by the Project, as it is also a resort hotel use. The primary concern for operational and functional impacts relate to the residents of Seamar. The applicant met with representatives of the Seamar association and implemented several changes to the Project to ensure no unreasonable or disproportionately negative impacts on Seamar. Regarding views and sunlight, Hotel 1 is setback 59.9 feet from Seamar's property boundary (53.9 feet to guestroom balconies), which is essentially twice what is required by the LDC preserving views of the residents of Seamar. The criteria set forth in paragraph six above are met in the following ways:

- i. The entrance to and the north wall of the parking garage will be screened to ensure no light pollution from car headlights will shine into Seamar;
- i. Screening is proposed along the north property line;
- ii. Solid waste and loading/deliveries for Hotel 1 will be internal to the parking structure and screened from Gulf Boulevard mitigating perceived noise, light and odor impacts;
- iii. The Hotel 1 rooftop pool amenity, with the dining, drinking, and/or music is designed to isolate that amenity on the opposite side of the Hotel 1 guest room tower to reduce any potential noise and light impacts on Seamar and residents east of Gulf Boulevard;
- iv. Hotel 1 is proposed to be a luxury brand hotel and, as such, maintenance of the facility will be at a high standard;
- v. Improved queuing on-site will reduce stacking and improve the functionality of Gulf Boulevard benefitting neighboring properties;
- vi. Stormwater system improvements will reduce existing flooding along Gulf Boulevard in front of the Project;
- vii. A ten foot sidewalk will be constructed along Gulf Boulevard; and
- viii. Beach access enhancements will be provided through a 15' pathway and 7' pathway, an easement in favor of the City for the construction of the proposed boardwalk, and a public access easement 10' landward of the mean high water line.

7. *Fire suppression and facility security.*

Buildings design conforms with the current Florida Building Code requirements for High Rise Buildings. Additionally, the building design conforms with *Marriott* Hotel Standards for Life Safety that exceed those in typical model codes used in jurisdictions like St. Pete Beach. The additional building setbacks mentioned above also promote fire suppression and security by making it much less likely that life safety events will impact neighboring structures.

8. *Emergency management and hurricane evacuation provisions.*

The Comp Plan points out that transient accommodation uses reduce the number of residents needing to evacuate in a storm event. Additionally, tourists tend to cancel plans and evacuate earlier than residents who need to prepare for the storm. Thus, the Project is not expected to have an appreciable impact on evacuation provisions. Additionally, the Project will redevelop

property with modern construction and hurricane resilient buildings, which will exceed many of the existing developments of similar scale within the City.

9. *For temporary lodging uses taller than 50 feet in height or a density greater than 30 units per acre, the following additional issues shall be considered:*
 - a. *The amount of separation provided between the proposed temporary lodging use and any existing buildings on adjoining properties and resulting impact on sunlight and views; and*
 - b. *The proximity of any adjacent residential building to the Florida Coastal Construction Control Line and the degree to which the proposed temporary lodging use and/or any accessory use or structure maintains an open view of the waterfront from neighboring properties.*

The layout and design of the Project includes consideration of both building separation and proximity to the CCCL to preserve the view of neighboring properties while also developing a reasonable and workable hotel on the Property.

To the south, the Bellwether is also a resort hotel use and (i) is taller than the proposed development, (ii) is constructed closer to the CCCL than the Project, and (iii) provides essentially no setback to the north along the Project boundary. Hotel 3 is proposed with a side yard setback of 30 feet and a CCCL setback of 43.4 feet, which given the location protects Bellwether's views and access to sunlight.

Seamark's views and access to sunlight are protected by Hotel 1 providing a 59.9 feet setback from the northern Property boundary (53.9 feet to guestroom balconies) and 19.6 setback from the CCCL. When you combine the proposed setbacks with the current location of the Seamark and its amenities, (Seamark is located ON the CCCL and its amenities are seaward of the CCCL), view and access to sunlight are preserved.

EXHIBIT “B”

Overflow Parking Plan

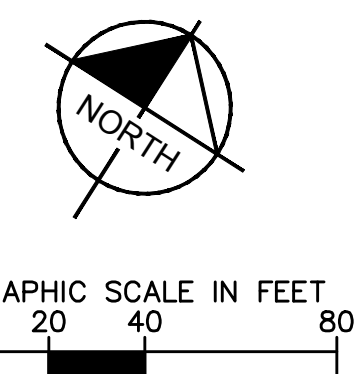
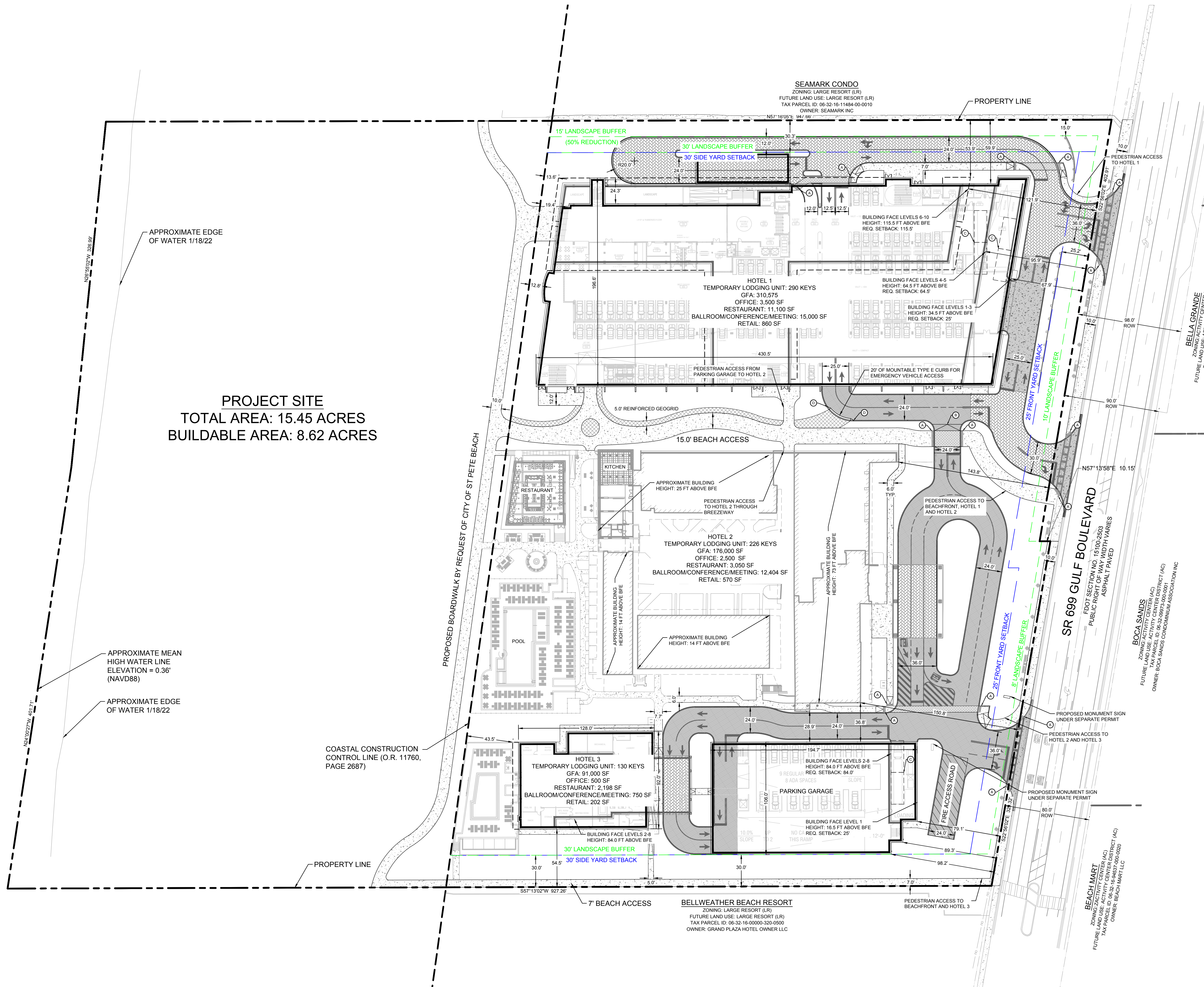
Section 23.5(g) of the Land Development Code requires Transient Accommodations that include Ballrooms, Conference Rooms or Meeting Rooms to provide an overflow parking plan “for large events and/or events during high season times (March - August).” This Project incorporates overflow parking into the parking garages located on the Property, which avoids the need to additional coordination and trips off-site to accommodate overflow parking.

The project is required to provide 659 spaces, inclusive of the Land Development Code walkability reduction. To ensure all considerations related to parking are conservative, the Project ignores the Land Development Code provided 10% “walkability” reduction. Thus, under the conservative approach, 732 spaces are required. The Project provides 827 spaces in the parking garages, which exceeds the conservative parking requirement by 95 spaces. The Ballroom, Conference Room, Meeting Room parking requirement for the Project is 47 spaces (which is included in the conservative 732 space requirement).

If you triple the required parking for the Ballroom, Conference Room, Meeting Room minimum parking criteria, the required parking would be 826 spaces, which is still less than the 827 spaces provided. Additionally, to ensure the Project can meet periods of high demand, the Project exceeds the Land Development Code parking requirements without the code provided walkability reduction. As such, there is a more than a 10% cushion in available parking during periods of high demand. Thus, the Overflow Parking Plan is to use the proposed excess garage parking on site, without any need for offsite leasing, bussing, or valet.

In total, the 827 provided spaces exceed the code requirement by 168 spaces, nearly 25%, which is more than enough to accommodate large events and high demand periods. This excess parking supports the strategy of using excess onsite parking for overflow purposes. This strategy also reduces the roadway impact during peak times by not requiring off-site trips to place and retrieve cars from offsite, overflow parking.

Plotted By: Brenda, Claudia, Sheet Set: Kha, Layout: C200 - MASTER SITE PLAN, August 22, 2023, 06:06:58pm, K:\TAW_Civil\145423 - Columbia Sussex\000 - Sirata Beach Resort\CADD\Work\PlanSheets\CUP Plans\CUP-01 - CUP SITE PLAN.dwg
This document, together with the concepts and designs presented herein, is an instrument of service, and is intended only for the specific purpose and client for which it was prepared. Reuse of any portion of this document without written authorization and approval by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- LEGEND**
- PROPERTY LINE
 - PINELLAS COUNTY PARCEL LINE
 - COASTAL CONSTRUCTION CONTROL LINE
 - EXISTING BUILDING TO REMAIN
 - PROPOSED BUILDING GROUND LEVEL
 - PROPOSED BUILDING UPPER LEVELS
 - PROPOSED BALCONY & OVERHANG
 - FULL DEPTH ASPHALT PAVEMENT
 - PROPOSED HEAVY DUTY CONCRETE
 - PROPOSED CONCRETE SIDEWALK / HARDSCAPE
 - PROPOSED STONE PAVERS
 - PROPOSED REINFORCED GEOGRID
- KEY NOTE LEGEND**
- A PROPOSED ADA CURB RAMP WITH TACTILE PADS
 - B PROPOSED SPEED TABLE
 - C 12X30 LOADING SPACE PER CITY OF ST. PETE BEACH CODE SEC 23.12
 - D TRANSITION FROM TYPE D CURB TO MOUNTABLE TYPE E CURB

SITE DATA PLAN		
PROPERTY DATA		
SITE NAME	SIRATA BEACH RESORT	
PROJECT DESCRIPTION	PROPOSED RESORT REDEVELOPMENT	
JURISDICTION	CITY OF ST. PETE BEACH	
PARCEL NUMBER	06-32-16-80172-000-0010	
SITE AREA	TOTAL ACREAGE: 15.45 AC ACREAGE INLAND OF CCCL: 8.62 AC	
CURRENT ZONING	LR: LARGE RESORT	
CURRENT USE	HOTELS AND MOTELS (50 UNITS OR MORE)	
FUTURE LAND USE	LR: LARGE RESORT	
EXISTING USE	TEMPORARY LODGING UNITS: 382 UNITS OFFICE SPACE: 1,465 SF RESTAURANT SPACE: 8,380 SF BALLROOM/CONFERENCE/MEETING SPACE (TRANSIENT ACCOMMODATIONS): 12,404 SF RETAIL SPACE: 567 SF	
	TEMPORARY LODGING UNITS: 646 UNITS OFFICE SPACE: 6,500 SF RESTAURANT SPACE: 16,348 SF BALLROOM/CONFERENCE/MEETING SPACE (TRANSIENT ACCOMMODATIONS): 28,154 SF RETAIL: 1,632 SF	
TOTAL PROPOSED USE (SEE PLAN FOR USES PER BUILDING)		
PARKING		
	REQUIRED SPACES	
TEMPORARY LODGING UNITS	0.9/UNIT	581 SPACES
OFFICE	1/300 SF	22 SPACES
RESTAURANT	1/200 SF	82 SPACES
BALLROOM/CONFERENCE/MEETING (TRANSIENT ACCOMMODATIONS)	1/600 SF	47 SPACES
RETAIL	0	0 SPACES
TOTAL REQUIRED PARKING	732 SPACES (15 ADA)	
TOTAL PROPOSED PARKING	827 SPACES (17 ADA) (179 COMPACT 21.6% PROVIDED)	
ZONING DATA		
	ALLOWABLE	PROPOSED
IMPERVIOUS SURFACE RATIO (ONSITE)	0.85	0.80
GROSS FLOOR AREA	574,575 SF	
DEVELOPABLE SITE AREA	375,491 SF	
FLOOR AREA RATIO	2.6	1.53
DENSITY (UNITS/ACRE)	75	75
VEGETATION DATA		
	REQUIRED	PROPOSED
PERMEABLE AREA RATIO	0.15	0.20
	ALLOWABLE	PROPOSED
NON-VEGETATIVE GREENSPACE RATIO (PER SEC. 35.13)	0.04 (MAX. 20% OF PROPOSED VEGETATIVE GREENSPACE)	0.003



ALERT TO CONTRACTOR:

1. THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE. WHEN PERFORMING GROUND OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE DRAINAGE, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.

2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

SIRATA BEACH
RESORT
REDEVELOPMENT

5300 GULF BOULEVARD

FOR
COLUMBIA SUSSEX CORPORATION
740 CENTRE VIEW BLVD, CRESTVIEW HILLS, KENTUCKY 41017
PHONE: (859) 578-1120

CITY OF ST. PETE BEACHFLORIDA

ARCHITECT

LANDSCAPE ARCHITECT

MEP

STRUCTURAL

COASTAL ENGINEER

CIVIL ENGINEER

Kimley»Horn

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201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1480
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SCALEAS SHOWN

DESIGNED BYSMH

DRAWN BYAAE

CHECKED BYSWG

SCOTTT W. GILNER, P.E.

FLORIDA LICENSE NUMBER
6.3945

DATE:

SET DISTRIBUTIONS

DATEDESCRIPTION

REVISIONS

DATEDESCRIPTION

DATE
04/06/2023
PROJECT NO.
145423000
SHEET TITLE

CUP SITE PLAN

SHEET NUMBER

CUP-01

Plotted By: Brenda Claudio, Sheet Set: Kimgo, Layout: CUP-02, Master Utility Plan, August 22, 2023, 03:41:19pm, K:\TAW_Civil\45423 - Columbia Sussex\000 - Sirata Beach Resort\CADD\Work\PlanSheets\CUP Plans\CUP-02 - CUP UTILITY PLAN.dwg

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PROJECT SITE
TOTAL AREA: 15.45 ACRES
BUILDABLE AREA: 8.62 ACRES

COASTAL CONSTRUCTION CONTROL LINE (O.R. 11760, PAGE 2687)

UTILITIES NOTES

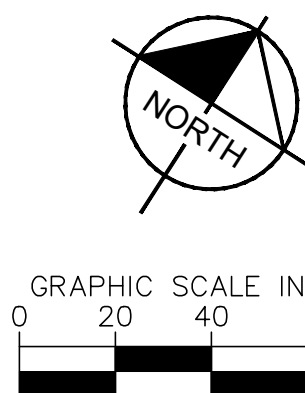
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - PVC 300/36 PER ASTM D 3034, GREEN PIPE
 - DUCTILE IRON PIPE PER AWWA C150, WITH PROTECTO 401 LINING OR EQUAL
- WATER LINES SHALL BE AS FOLLOWS:
 - 4" AND LARGER: PVC, AWWA C900, BLUE PIPE
 - DR 14, UNDER COUNTY OR STATE ROADS
 - DR 16, ON SITE
 - 3" AND LARGER: DIP, AWWA C150 AND C151
 - MIN CLASS 200, UNDER COUNTY OR STATE ROADS
 - MIN CLASS 150, ON SITE
 - 3" AND SMALLER: COPPER TUBE, TYPE "L" (SOFT) PER ANSI B16.22 OR PVC PER ASTM D1784 AND ASTM D2241, SDR 21, ON SITE
- FIRE LINES SHALL BE AS FOLLOWS:
 - PVC, AWWA C900, BLUE PIPE, DR14 MIN.
 - DIP, AWWA C150 AND C151, CLASS 200 MIN.
- MINIMUM TRENCH WIDTH SHALL BE 2 FEET.
- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT IN SPECIFICATIONS.
- ALL UTILITIES SHOULD BE KEPT TEN (10) APART (PARALLEL), OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4'-0" COVER ON ALL WATER LINES.
- IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATER LINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING. THE WATER LINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING AS REQUIRED TO PROVIDE A MINIMUM OF 18" CLEARANCE, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI Z11.1 (AWWA C151) (CLASS 90).
- LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

UTILITIES NOTES CONT.

- REFER TO INTERIOR PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE LOCAL AUTHORITIES (PINELLAS COUNTY AND CITY OF ST. PETE BEACH) WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER AND SEWER LINES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO STORE POSSESSION.
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- PINELLAS COUNTY OWNED INFRASTRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH:
 - PINELLAS COUNTY STANDARD TECHNICAL SPECIFICATIONS DATED JUNE 2018
 - HTTP://WWW.PINELLASCOUNTY.ORG/TECHNICAL/PDF/STDS/DETAILS.PDF
 - PINELLAS COUNTY MATERIAL SPECIFICATION MANUAL
 - HTTP://WWW.PINELLASCOUNTY.ORG/TECHNICAL/PDF/MATERIAL-SPEC-MANUAL.PDF
 - PINELLAS COUNTY STANDARD DETAILS DATED JULY 2018
 - HTTP://WWW.PINELLASCOUNTY.ORG/TECHNICAL/PDF/STDS/DETAILS.PDF
- THE PIPELINE CONTRACTOR IS REQUIRED TO CONTACT CONSTRUCTION MANAGEMENT, PINELLAS COUNTY PUBLIC WORKS PROJECT COORDINATOR, AT (727) 464-8801 24 HOURS PRIOR TO COMMENCING UTILITY CONSTRUCTION FOR INSPECTION.
- ALL WET TAPS ARE TO BE PERFORMED BY PINELLAS COUNTY UTILITIES.
- FIRE SPRINKLER CONTRACTOR TO SUBMIT FDC PIPE MATERIAL SHOP DRAWINGS FOR THE SOUTHERN STRUCTURE TO THE CITY FOR REVIEW PRIOR TO INSTALLATION.
- FDCS SHALL BE 2.5 SIEMSE CONNECTION, 30 TO 36 INCHES ABOVE GRADE, AND DETACHED FROM BUILDING.

LEGEND

	PROPERTY LINE		PROPOSED 4" WATER LINE
	COASTAL CONSTRUCTION CONTROL LINE		PROPOSED 4" FIRE LINE
	EXISTING 4" WATER LINE		PROPOSED 6" FIRE LINE
	EXISTING 8" WATER LINE		PROPOSED 8" FIRE LINE
	EXISTING 16" WATER LINE		PROPOSED 6" SANITARY SEWER LINE
	EXISTING 4" SANITARY SEWER LINE		PROPOSED 8" SANITARY SEWER LINE
	EXISTING 8" SANITARY SEWER LINE		PROPOSED SANITARY SEWER MANHOLE
	PROPOSED 0.5" WATER LINE		PROPOSED DOUBLE DETECTOR CHECK VALVE ASSEMBLY
	PROPOSED 1" WATER LINE		PROPOSED REDUCED PRESSURE ZONE
			PROPOSED GATE VALVE (USE TO MATCH THE PROPOSED PIPE SIZE)



GRAPHIC SCALE IN FEET
0 20 40 80

IN ACCORDANCE WITH RESOLUTION 2022-03 AND LDC SECTION 38.9 THE PROPOSED DEVELOPMENT WILL COMPLY WITH TWO ENERGY AND/OR ENVIRONMENTAL DESIGN STANDARDS. THE MIXED-USE STRUCTURE WILL BE DESIGNED TO NATIONAL GREEN BUILDING STANDARD (NGBS) CERTIFICATION FOR HIGH-RISE RESIDENTIAL WHILE THE WATERFRONT RESTAURANT BUILDING WILL BE DESIGNED TO NATIONAL GREEN BUILDING STANDARD (NGBS) CERTIFICATION FOR COMMERCIAL PROJECTS.



ALERT TO CONTRACTOR:

- THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTORS BID SHALL INCLUDE CONSIDERATION FOR THIS ISSUE, WHEN PERFORMING GROUND OPERATIONS DURING PERIODS OF WET WEATHER, PROVIDE ADEQUATE Dewatering, DRAINAGE AND GROUND WATER MANAGEMENT TO CONTROL MOISTURE OF SOILS. REFER TO MASTER SITE SPECIFICATIONS.
- ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

SIRATA BEACH RESORT REDEVELOPMENT

5300 GULF BOULEVARD

FOR
COLUMBIA SUSSEX CORPORATION
740 CENTRE VIEW BLVD, CRESTVIEW HILLS, KENTUCKY 41017
PHONE: (859) 578-1120

CITY OF ST. PETE BEACH FLORIDA

ARCHITECT

LANDSCAPE ARCHITECT

MEP

STRUCTURAL

COASTAL ENGINEER

CIVIL ENGINEER

Kimley»Horn

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PHONE: 813-620-1480
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SCALE AS SHOWN CIVIL DESIGN ENGINEER:

DESIGNED BY SMH SCOTT W. GILNER, P.E.

DRAWN BY AAE FLORIDA LICENSE NUMBER

CHECKED BY SWG 63945

DATE:

SET DISTRIBUTIONS
DATE DESCRIPTION

REVISIONS
DATE DESCRIPTION

DATE

04/06/2023

PROJECT NO.

145423000

SHEET TITLE

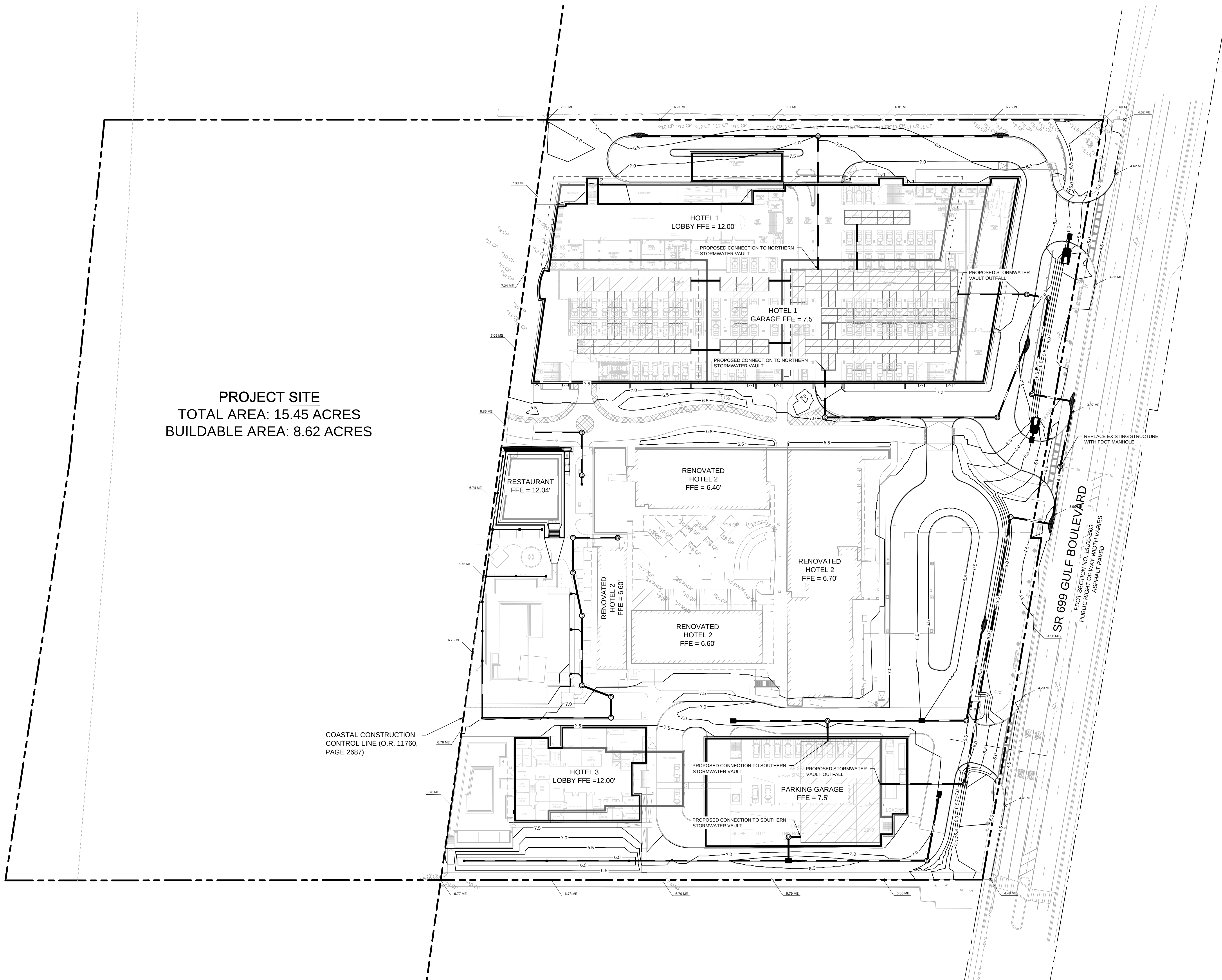
CUP UTILITY PLAN

SHEET NUMBER

CUP-02

Plotted By: itamey, Shone Sheet Set: kha Layout: C310 GRADING PLAN August 22, 2023 03:32:36pm \\kimley-horn.com\FL-TAM-TAM-Civil\145423 - Columbia Sussex Resort\CADD\Work\PlanSheets\CUP Plans\CUP-03 - CUP GRADING PLAN.dwg

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PROJECT SITE
TOTAL AREA: 15.45 ACRES
BUILDABLE AREA: 8.62 ACRES

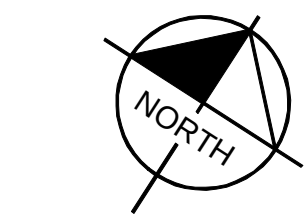
COASTAL CONSTRUCTION
CONTROL LINE (O.R. 11760,
PAGE 2687)

GRADING NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. STORM PIPES SHALL BE AS FOLLOWS:
 - ANY DEPTH: RCP PER ASTM C76 AND C443
 - INVERT OF 4 FEET OR SHALLOWER FROM FINAL GRADE: PVC SDR35 PER ASTM D3034, GRAY OR WHITE
 - INVERT DEEPER THAN 6 FEET: PVC SDR26 PER ASTM D3034, GRAY OR WHITE
3. ALL CUT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
6. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUDED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
7. ALL STORM MANHOLES SHALL HAVE TRAFFIC BEARING RING & COVERS.
8. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
9. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
10. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
11. TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
12. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE COVERING CODES AND BE CONSTRUCTED TO SAME.
13. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
14. PROVIDE 10 MIN. SEPARATION FROM EXISTING TREES TO PROPOSED UTILITY LINES.

LEGEND

- PROPERTY LINE
- COASTAL CONSTRUCTION CONTROL LINE
- PROPOSED STORM SEWER PIPE
- PROPOSED SURFACE CONTOUR
- EXISTING SURFACE CONTOUR
- EXTENT OF PROPOSED GRADING MATCH EXISTING GRADE



GRAPHIC SCALE IN FEET
0 20 40 80

IN ACCORDANCE WITH RESOLUTION 2022-03 AND LDC SECTION 39.9 THE PROPOSED DEVELOPMENT WILL COMPLY WITH TWO ENERGY AND/OR ENVIRONMENTAL DESIGN STANDARDS. THE MIXED-USE STRUCTURE WILL BE DESIGNED TO NATIONAL GREEN BUILDING STANDARD (NGBS) CERTIFICATION FOR HIGH-RISE RESIDENTIAL WHILE THE WATERFRONT RESTAURANT WILL BE DESIGNED TO NATIONAL GREEN BUILDING STANDARD (NGBS) CERTIFICATION FOR COMMERCIAL PROJECTS.



ALERT TO CONTRACTOR:

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2. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS.

SIRATA BEACH RESORT REDEVELOPMENT

5300 GULF BOULEVARD

FOR
COLUMBIA SUSSEX CORPORATION
740 CENTRE VIEW BLVD, CRESTVIEW HILLS, KENTUCKY 41017
PHONE: (859) 578-1120

CITY OF ST. PETE BEACH FLORIDA

ARCHITECT

LANDSCAPE ARCHITECT

MEP

STRUCTURAL

COASTAL ENGINEER

CIVIL ENGINEER

Kimley»Horn

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201 NORTH FRANKLIN STREET, SUITE 1400, TAMPA, FL 33602
PHONE: 813-620-1400
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

SCALE	AS SHOWN	CIVIL DESIGN ENGINEER:
DESIGNED BY	SMH	SCOTT W. GILNER, P.E.
DRAWN BY	AAE	FLORIDA LICENSE NUMBER
CHECKED BY	SWG	63945
		DATE:

SET DISTRIBUTIONS	
DATE	DESCRIPTION

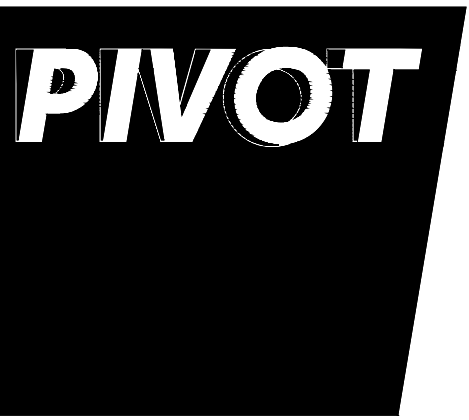
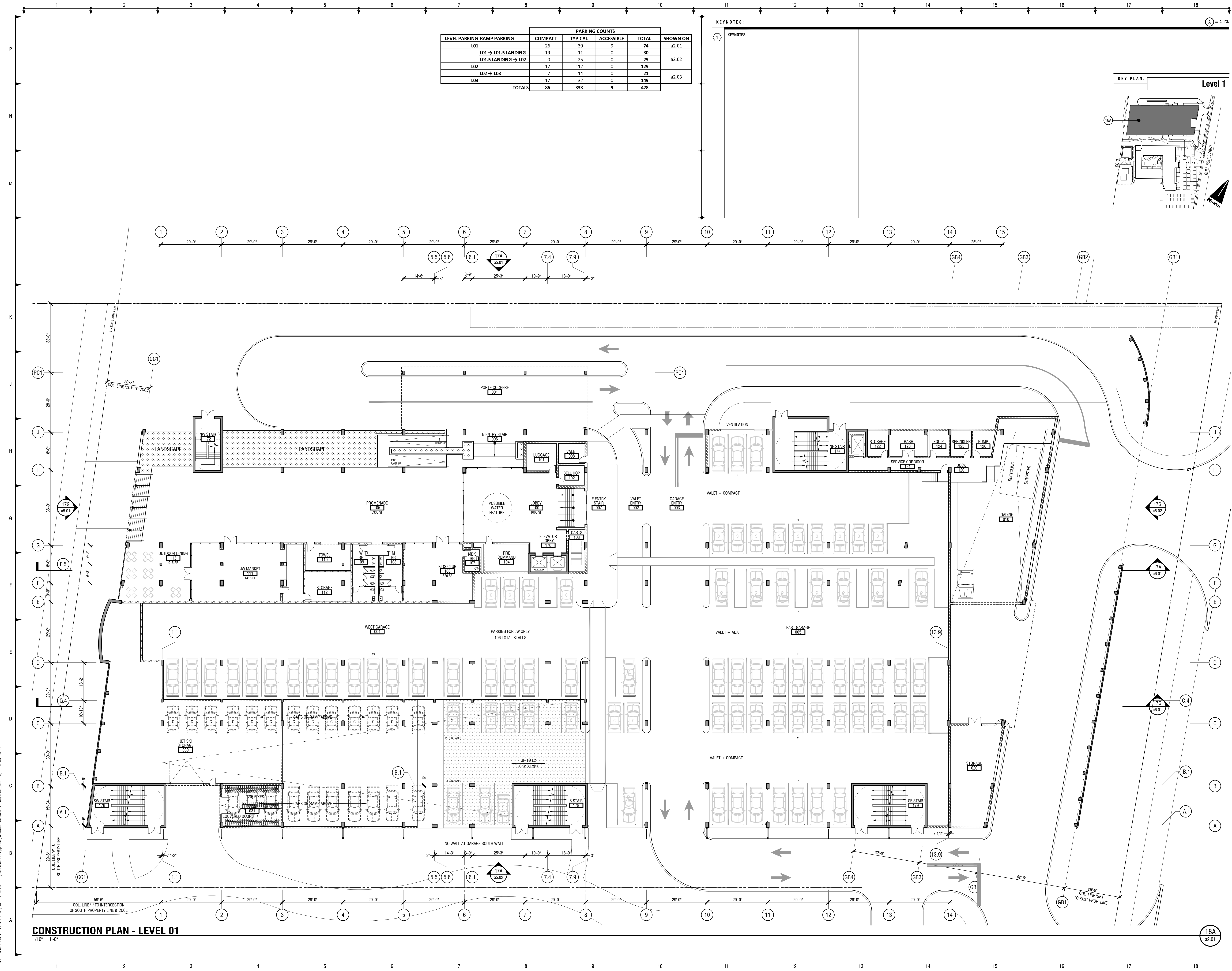
REVISIONS	
DATE	DESCRIPTION

DATE	04/06/2023
PROJECT NO.	145423000
SHEET TITLE	

CUP GRADING PLAN

SHEET NUMBER

CUP-03



Owner: 859.578.1100
OF ST. PETE, LLC
740 Centre View Boulevard
Crestview Hills, KY 41017
Nest Korte

Architect: 513.325.3523
Pivotstudio
544 W. Liberty Street, Suite 20
Cincinnati, OH 45214
Jim Stapleton

Interior Design: 859.578.1100
Columbia Sussex Corporation
740 Centre View Boulevard
Crestview Hills, KY 41017
Tanya Wick

Structural: 513.579.8200
Thornton Baker + Associates
2005 Reading Road, Suite 450
Cincinnati, OH 45202
Nick Steinhilber

MEP: 859.261.0585
Engineered Building Systems
515 Monmouth Street, Suite 201
Newport, KY 41071
AJ Meyer

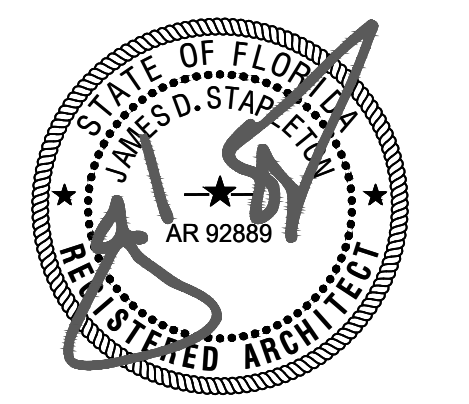
Civil: 613.635.5547
Kinley Horn and Associates
201 North Franklin Street, Suite 1400
Tampa, FL 33602
Scott Gilmer

Landscape: 407.960.4850
Perry Becker Design
8657 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Serna

ISSUED: 29 July 2023

REVISIONS:

PIVOTstudio LLC



PROJECT INFORMATION

Sirata Beach Resort
Redevelopment

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

SHEET INFORMATION

Construction Plan:
Level 01

DRAWN BY: P. Graman, B. Ramer, G. Inglis

REVIEWED BY: J. Stapleton

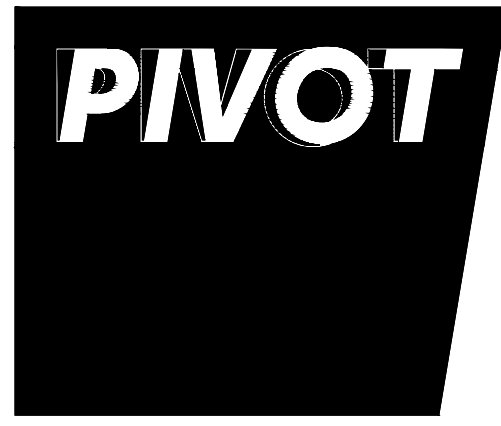
SCALE: As Noted

APPROVED FOR: CUP REVIEW

a2.01

KEYNOTES:

	KEYNOTES
1	



Columbia Sussex
CORPORATION

Owner 859.578.1100
CP St. Pete, LLC
740 Centre View Boulevard
Crestview Hills, KY 41017
Neal Kreke

Architect **513.325.3523**
PIVOTstudio
544 W Liberty Street, Suite 2.0
Cincinnati, OH 45214
Jim Stapleton

Interior Design 859.578.1100
Columbia Sussex Corporation
740 Centre View Boulevard
Crestview Hills, KY 41017
Tanja Wick

Structural 513.579.8200
Thorson Baker + Associates
2055 Reading Road, Suite 450
Cincinnati, OH 45202
Nick Steinert

MEP 859.261.0585
Engineered Building Systems
515 Monmouth Street, Suite 201
Newport, KY 41071
AJ Meyer

Civil **813.635.5547**
Kimley-Horn and Associates
201 North Franklin Street, Suite 1400
Tampa, FL 33602
Scott Gilner

Landscape 407.960.4850
Perry Becker Design
3657 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Serna

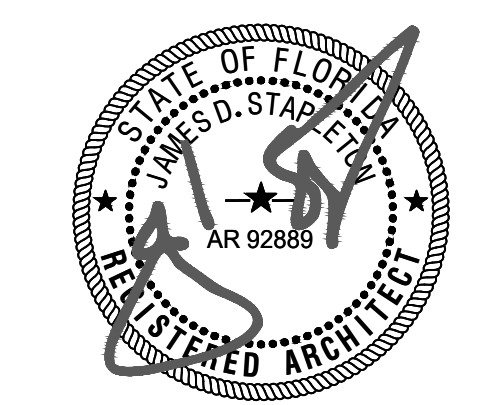
ISSUEDinformation

ISSUED:
29 July 2023

REVISIONS: _____

[illegible]

PIVOTstudio LLC



07-29-23

PROJECT information

Sirata Beach Resort Redevelopment

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

SHEET information

Construction Plan: Level 02

1000 2000 3000 4000 5000 6000 7000 8000 9000 10000

DRAWN BY: P. Granham, B. Hamer,
G. Inglis

REVIEWED BY: J.Stapleton

SCALE: As Noted

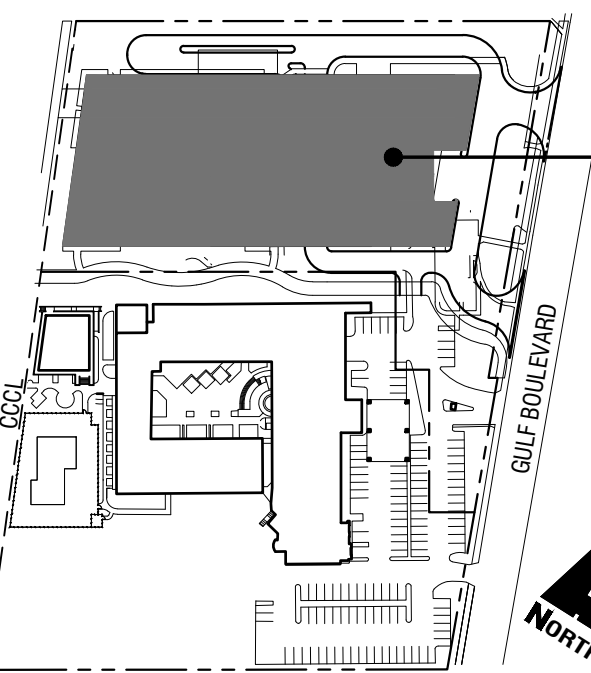
APPROVED For: CUP REVIEW

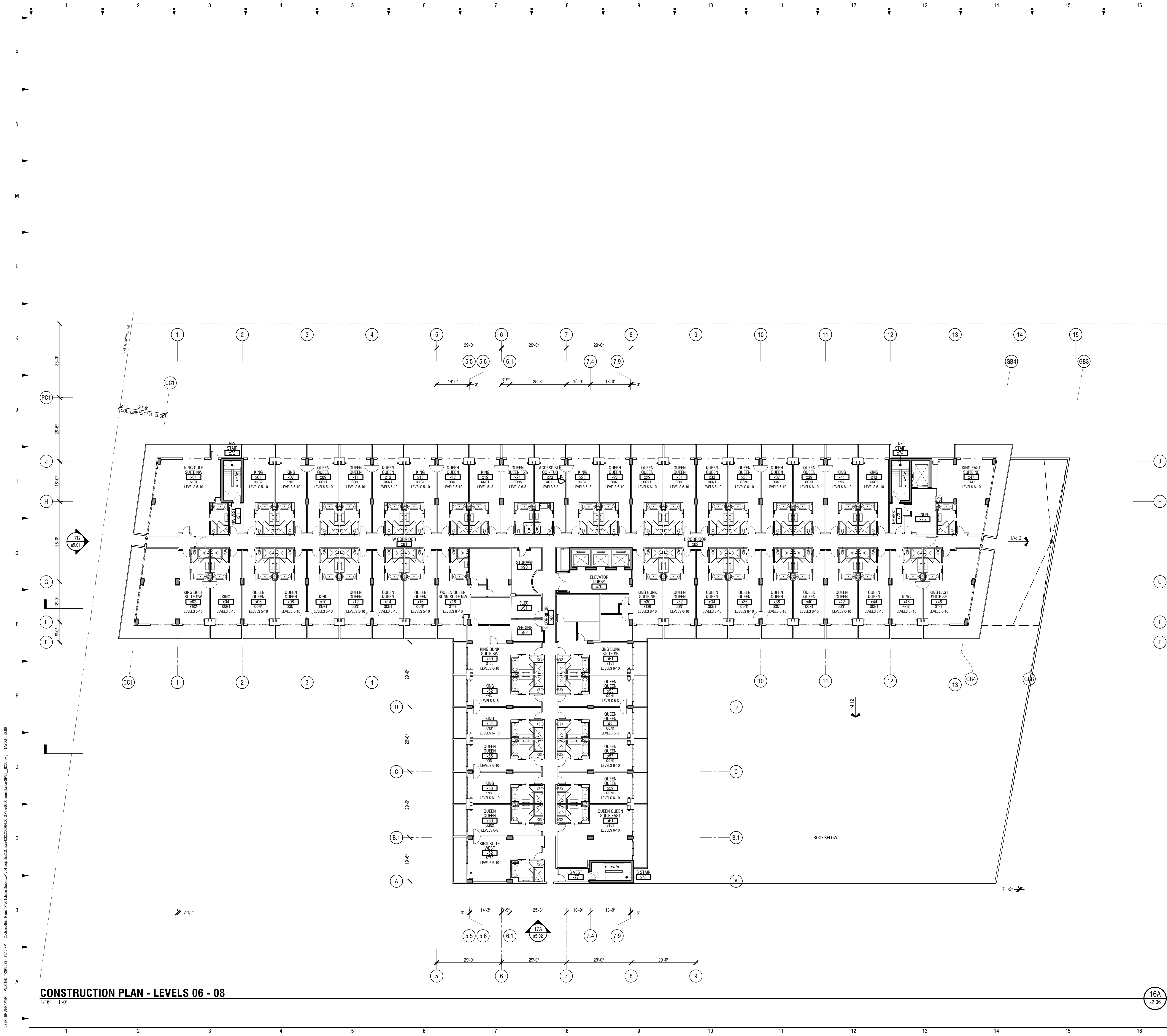
a2 02

42.02

Page 23

Age = 0


$$1/16'' = 1'-0''$$



KEYNOTES:

KEYNOTES...

ROOM LISTING

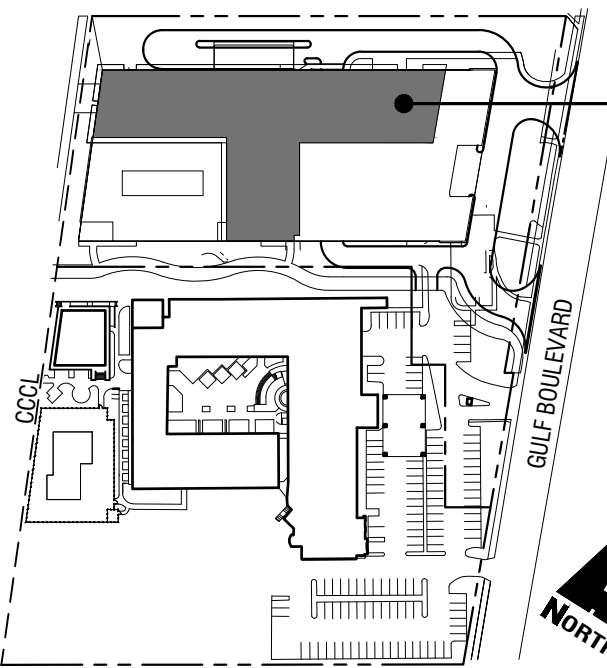
ENLARGED GUESTROOM & SUITE PLANS ARE LOCATED AT:

TAG	DESCRIPTION	DRAWING
KMG1	KING GSTRM -- TYP.	16A / a4.01
KMG2	KING GSTRM -- DND CONDITION	12A / a4.01
KMG3	KING GSTRM -- DBL COLUMN	8A / a4.01
KMG4	KING GSTRM -- CORR. DOOR @ HEAD	4A / a4.01
KMG5	KING GSTRM -- FLORIDA 5%	10H / a4.01
QOQ1	QUEEN QUEEN GSTRM -- TYP.	16A / a4.02
QOQ2	QUEEN QUEEN GSTRM -- x00	12A / a4.02
QOQ5	QUEEN QUEEN GSTRM -- FLORIDA 5%	8A / a4.02
ST01	KING GULF SUITE NW	8A / a4.05
ST02	KING GULF SUITE SW	8A / a4.05
ST30	KING BUNK SUITE NE	16A / a4.05
ST47	KING EAST SUITE NE	16A / a4.05
ST48	KING EAST SUITE SE	16A / a4.05
ST50	KING BUNK SUITE SW	8A / a4.06
ST51	KING BUNK SUITE SE	16A / a4.06
ST62	KING SUITE WEST	16A / a4.07
ST18	QUEEN QUEEN BUNK SUITE NW	8A / a4.06
ST61	QUEEN QUEEN SUITE EAST	11A / a4.07
AKS1	ACCESSIBLE KING W/ ROLL-IN SHOWER 12A / a4.11	
AKT1	ACCESSIBLE KING W/ BATHTUB	16A / a4.11
AGS1	ACCESSIBLE QN QN W/ ROLL-IN SHOWER 4A / a4.11	
AGT1	ACCESSIBLE QN QN W/ BATHTUB	8A / a4.11
AGQ7	ACCESSIBLE QN QN SUITE W/ BATHTUB 16H / a4.11	

REFER TO a2.06

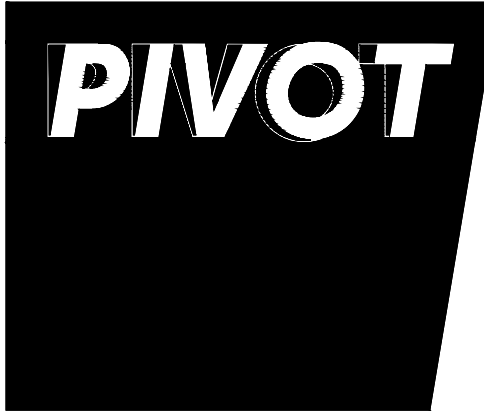
INFORMATION WITHIN HATCHED AREA IS THE SAME AS FOR TYPICAL GUESTROOM FLOOR -- LEVEL 06, REFER a2.06

KEY PLAN: Levels 6 - 8



CONSTRUCTION PLAN - LEVELS 06 - 08

1/16" = 1'-0"



Owner
OF ST. PETE, LLC
740 Centre View Boulevard
Crestview Hills, KY 41017
Nest Kites

Architect
Pivotstudio
544 W Liberty Street, Suite 2.0
Cincinnati, OH 45214
Jim Stapleton

Interior Design
Columbia Sussex Corporation
740 Centre View Boulevard
Crestview Hills, KY 41017
Tanya Wick

Structural
Thorson Baker + Associates
2005 Reading Road, Suite 450
Cincinnati, OH 45202
Nick Steinhart

MEP
Engineered Building Systems
515 Monmouth Street, Suite 201
Newport, KY 41071
AJ Meyer

Civil
Kinley Horn and Associates
201 North Franklin Street, Suite 1400
Tampa, FL 33602
Scott Gilmer

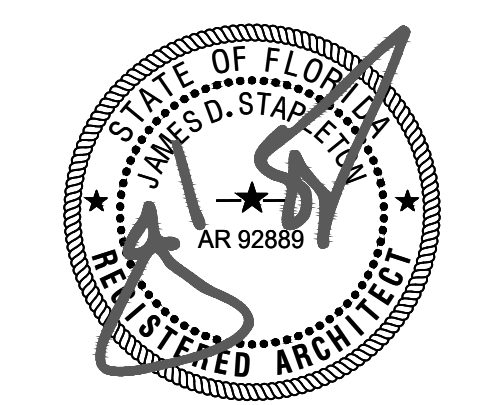
Landscape
Perry Becker Design
3651 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Serna

ISSUED Information

ISSUED:
29 July 2023

REVISIONS:

PIVOTstudio LLC



07-29-23

PROJECT Information

**Sirata Beach Resort
Redevelopment**

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

SHEET Information

**Construction Plan:
Levels 06 - 08**

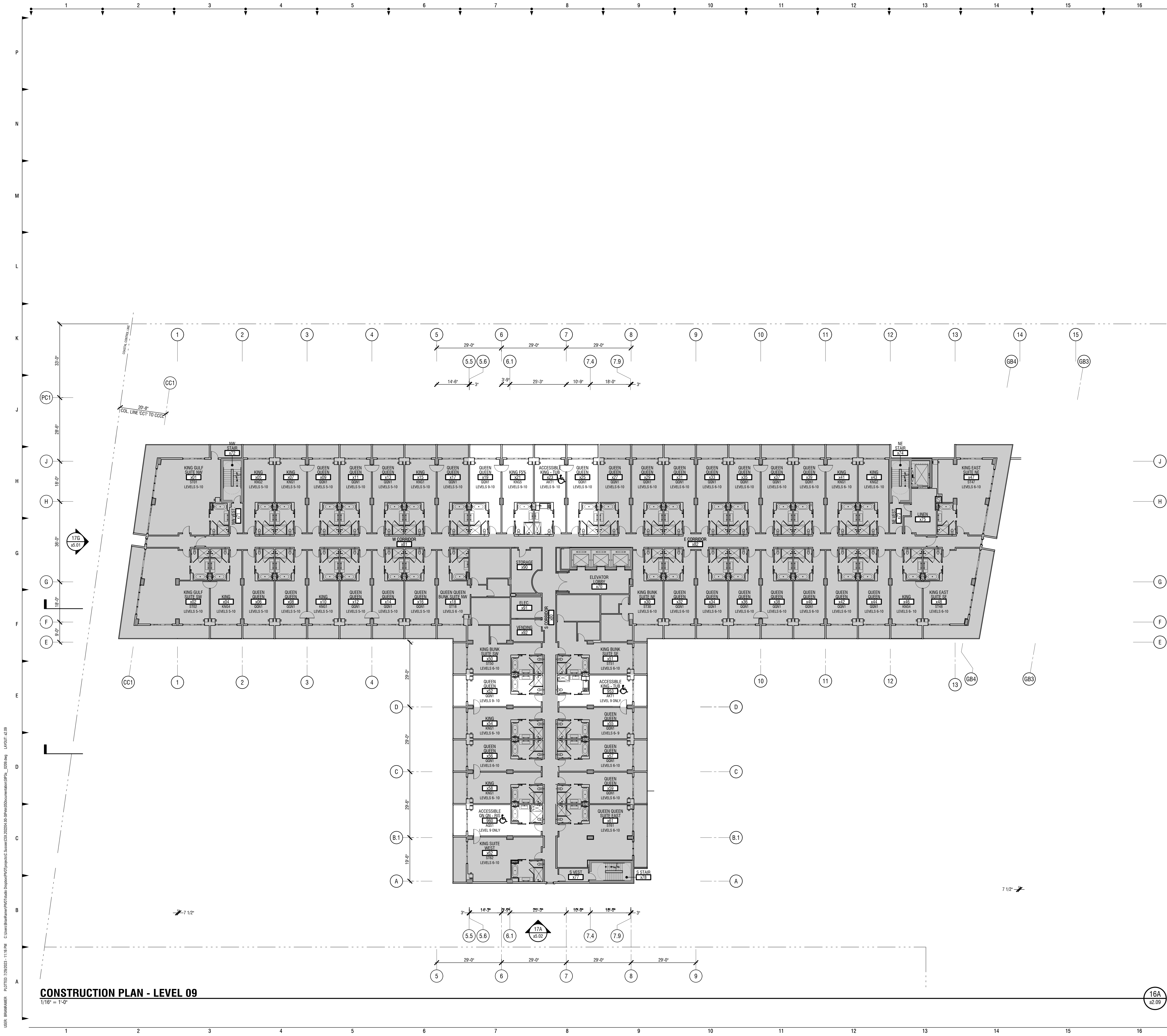
DRAWN BY: P. Graman, B. Ramer

REVIEWED BY: J. Stapleton

SCALE: As Noted

APPROVED FOR: CUP REVIEW

a2.06



CONSTRUCTION PLAN - LEVEL 09
1/16" = 1'-0"

KEYNOTES:

KEYNOTES...

ROOM LISTING

ENLARGED GUESTROOM & SUITE PLANS ARE LOCATED AT:

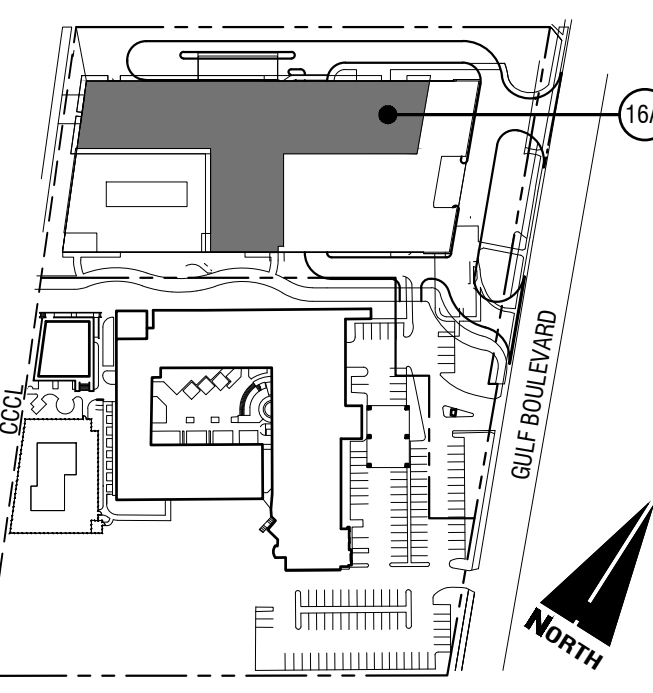
TAG	DESCRIPTION	DRAWING
KING1	KING GSTRM -- TYP.	16A / a2.01
KING2	KING GSTRM -- DBP CONDITION	12A / a4.01
KING3	KING GSTRM -- DBL COLUMN	8A / a4.01
KING4	KING GSTRM -- CORR. DOOR @ HEAD	4A / a4.01
KING5	KING GSTRM -- FLORIDA 5%	10H / a4.01
QON1	QUEEN QUEEN GSTRM -- TYP.	16A / a4.02
QON2	QUEEN QUEEN GSTRM -- x00	12A / a4.02
QON5	QUEEN QUEEN GSTRM -- FLORIDA 5%	8A / a4.02
ST01	KING GULF SUITE NW	8A / a4.05
ST02	KING GULF SUITE SW	8A / a4.05
ST30	KING BUNK SUITE NE	16A / a4.06
ST47	KING EAST SUITE NE	16A / a4.05
ST48	KING EAST SUITE SE	16A / a4.05
ST50	KING BUNK SUITE SW	8A / a4.06
ST51	KING BUNK SUITE SE	16A / a4.06
ST62	KING SUITE WEST	16A / a4.07
ST18	QUEEN QUEEN BUNK SUITE NW	8A / a4.06
ST61	QUEEN QUEEN SUITE EAST	11A / a4.07
AKS1	ACCESSIBLE KING W/ ROLL-IN SHOWER 12A / a4.11	
AKT1	ACCESSIBLE KING W/ BATHTUB	16A / a4.11
AQS1	ACCESSIBLE QN QN W/ ROLL-IN SHOWER 4A / a4.11	
AQT1	ACCESSIBLE QN QN W/ BATHTUB	8A / a4.11
ASQT	ACCESSIBLE QN QN SUITE W/ BATHTUB 16H / a4.11	

REFER To a2.06

INFORMATION WITHIN HATCHED AREA IS THE SAME AS FOR TYPICAL GUESTROOM FLOOR -- LEVEL 06, REFER a2.06

KEY PLAN:

Level 9



PIVOT

Columbia Sussex
CORPORATION

Owner
OF ST. PETE, LLC
740 Centre View Boulevard
Crestview Hills, KY 41017
Nest Kites

Architect
PIVOTstudio
544 W Liberty Street, Suite 20
Cincinnati, OH 45214
Jim Stapleton

Interior Design
Columbia Sussex Corporation
740 Centre View Boulevard
Crestview Hills, KY 41017
Tanya Wick

Structural
Thorson Baker + Associates
2005 Reading Road, Suite 450
Cincinnati, OH 45202
Nick Steinhart

MEP
Engineered Building Systems
515 Monmouth Street, Suite 201
Newport, KY 41071
AJ Meyer

Civil
Kimley-Horn and Associates
201 North Franklin Street, Suite 1400
Tampa, FL 33602
Scott Gilmer

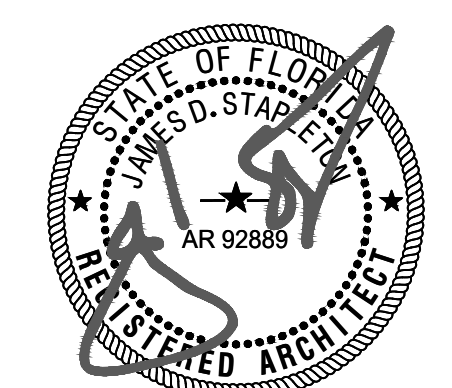
Landscape
Perry Becker Design
8651 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Seane

ISSUED Information

ISSUED:
29 July 2023

REVISIONS:

PIVOTstudio LLC



07-29-23

PROJECT Information

**Sirata Beach Resort
Redevelopment**

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

SHEET Information

**Construction Plan:
Level 09**

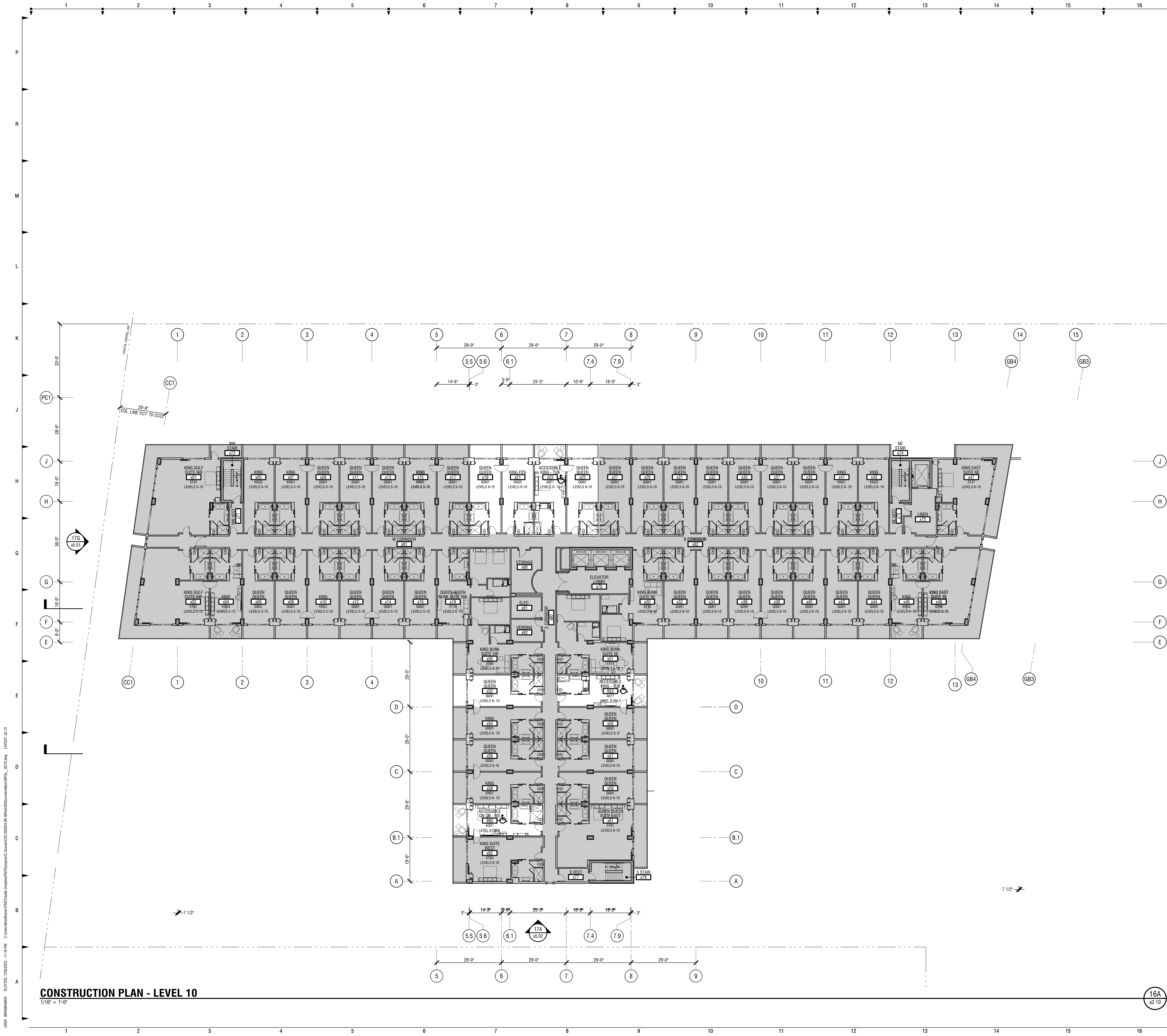
DRAWN BY: P. Graman, B. Ramer

REVIEWED BY: J. Stapleton

SCALE: As Noted

APPROVED FOR: CUP REVIEW

a2.09



CONSTRUCTION PLAN - LEVEL 10
1/16" = 1'-0"

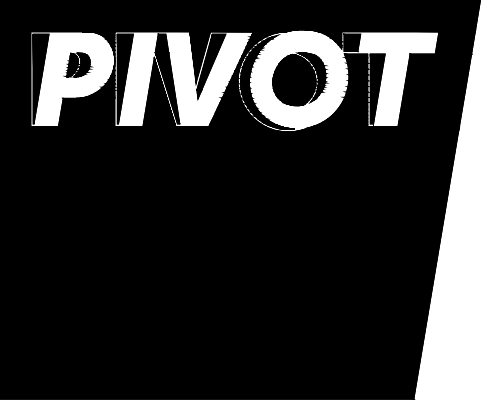
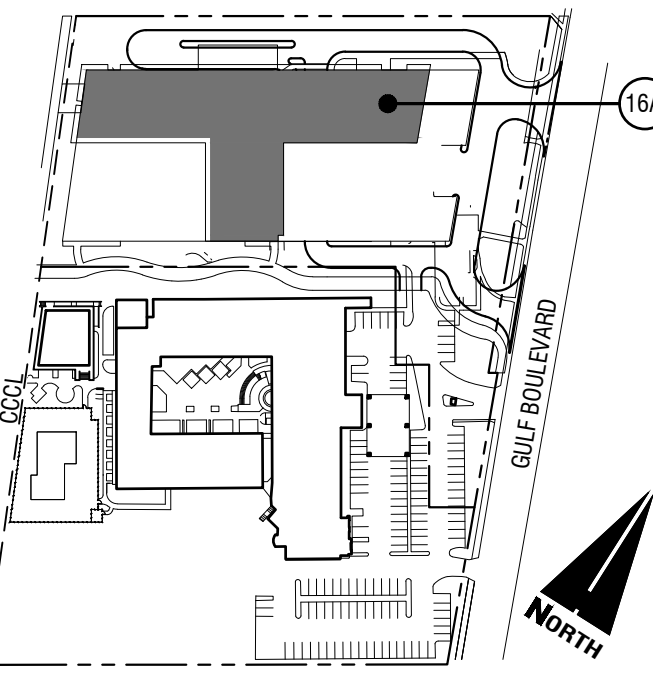
KEYNOTES:
1 KEYNOTES...

ROOM LISTING

ENLARGED GUESTROOM & SUITE PLANS ARE LOCATED AT:		
TAG	DESCRIPTION	DRAWING
KING1	KING GSTRM -- TYP.	16A / a4.01
KING2	KING GSTRM -- DBL CONDITION	12A / a4.01
KING3	KING GSTRM -- DBL COLUMN	8A / a4.01
KING4	KING GSTRM -- CORR. DOOR @ HEAD	4A / a4.01
KING5	KING GSTRM -- FLORIDA 5%	10H / a4.01
QON1	QUEEN QUEEN GSTRM -- TYP.	16A / a4.02
QON2	QUEEN QUEEN GSTRM -- x00	12A / a4.02
QON5	QUEEN QUEEN GSTRM -- FLORIDA 5%	8A / a4.02
ST01	KING GULF SUITE NW	8A / a4.05
ST02	KING GULF SUITE SW	8A / a4.05
ST30	KING BUNK SUITE NE	16A / a4.06
ST47	KING EAST SUITE NE	16A / a4.05
ST48	KING EAST SUITE SE	16A / a4.05
ST50	KING BUNK SUITE SW	8A / a4.06
ST51	KING BUNK SUITE SE	16A / a4.06
ST62	KING SUITE WEST	16A / a4.07
ST18	QUEEN QUEEN BUNK SUITE NW	8A / a4.06
ST61	QUEEN QUEEN SUITE EAST	11A / a4.07
AKS1	ACCESSIBLE KING W/ ROLL-IN SHOWER 12A / a4.11	
AKT1	ACCESSIBLE KING W/ BATHTUB	16A / a4.11
AQS1	ACCESSIBLE QN QN W/ ROLL-IN SHOWER 4A / a4.11	
AQT1	ACCESSIBLE QN QN W/ BATHTUB	8A / a4.11
ASQT	ACCESSIBLE QN QN SUITE W/ BATHTUB 16H / a4.11	

REFER To a2.06
INFORMATION WITHIN HATCHED AREA IS THE SAME AS FOR
TYPICAL GUESTROOM FLOOR -- LEVEL 06, REFER a2.06

KEY PLAN: Level 10



Owner 859.578.1100
OF ST. PETE, LLC
740 Centre View Boulevard
Crestview Hills, KY 41017
Nest Kreske

Architect 513.325.3523
Pivotstudio
544 W Liberty Street, Suite 2.0
Cincinnati, OH 45214
Jim Stapleton

Interior Design 859.578.1100
Columbia Sussex Corporation
740 Centre View Boulevard
Crestview Hills, KY 41017
Tanya Wick

Structural 513.579.8280
Thorson Baker + Associates
2005 Reading Road, Suite 450
Cincinnati, OH 45202
Nick Steinhart

MEP 859.261.0585
Engineered Building Systems
515 Monmouth Street, Suite 201
Newport, KY 41071
AJ Meyer

Civil 613.635.5547
Kinley Horn and Associates
201 North Franklin Street, Suite 1400
Tampa, FL 33602
Scott Gilmer

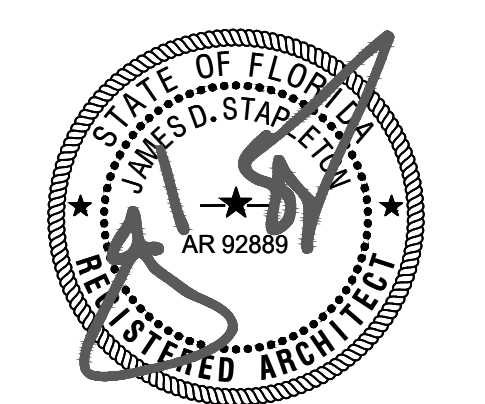
Landscape 407.960.4850
Perry Becker Design
8651 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Seane

ISSUED Information

ISSUED:
29 July 2023

REVISIONS:

PIVOTstudio LLC



07-29-23

PROJECT Information

**Sirata Beach Resort
Redevelopment**

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

SHEET Information

**Construction Plan:
Level 10**

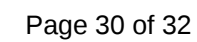
DRAWN BY: P. Graman, B. Ramer

REVIEWED BY: J. Stapleton

SCALE: As Noted

APPROVED FOR: CUP REVIEW

a2.10



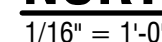
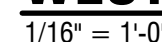
Landscape 407.960.4855
Perry Becker Design
3657 Maguire Boulevard, Suite 150
Orlando, FL 32803
Dustin Serna

[illegible]

A circular professional seal for the State of Florida. The outer ring contains the text "STATE OF FLORIDA" at the top and "REGISTERED ARCHITECT" at the bottom, separated by two stars. Inside the ring, the name "JAMES S. STAPLETON" is written in a semi-circle at the top. In the center, there is a five-pointed star above the license number "AR 92889". A large, stylized signature is written across the seal.

05 01

a5.01



OWNER	\$58,576.1100
CP Sr. Int'l, LLC	
140 Center View Boulevard	
Crescentville Hills, KY 41017	
Nell Kreike	
ARCHITECT	\$15,325.3523
5470 Oxford	
140 W. Liberty Street, Suite 2.0	
Cincinnati, OH 45214	
Jim Stapleton	
Interior Design	\$58,576.1100
Columbus Systems, Corporation	
140 Center View Boulevard	
Crescentville Hills, KY 41017	
Tanja Wick	
Structural	\$15,579.8200
Thompson-Bell Associates	
2055 Reading Road, Suite 450	
Cincinnati, OH 45202	
Nick Stillinger	
MEP	\$28,261.0585
Engineered Building Systems	
1155 Monmouth Street, Suite 201	
Newport, KY 41071	
Alj Meyer	
Civil	\$13,635.5547
Kinley-Horn and Associates	
2100 W. Franklin Street, Suite 1400	
Tampa, FL 33602	
Scott Gilmer	
Landscape	\$67,860.4850
Perkins + Will Design	
3655 Maguire Boulevard, Suite 150	
Danville, IL 23803	
Danilo Serrin	

[illegible]

PIVOTstudio LLC



PROJECT information

Sirata Beach Reso Redevelopment

5300 Gulf Boulevard
St. Pete Beach, FL 33706

PROJECT NUMBER: CSX.202204.00

Exterior Elevations

DRAWN BY: P. Grannan, B. Ramer,
G. Inglis

REVIEWED BY: J. Stapleton

SCALE: 1/16" = 1'-0"

APPROVED For: **CUP REVIEW**

a5.02

