TECHNICAL REVIEW COMMITTEE MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS

Notice of Public Meeting
Technical Review Committee

Community Development Department TRC Room
155 Corey Avenue, City Hall, St. Pete Beach, FL 33706

Wednesday, January 22, 2025
10:00 AM

Regular Meeting Agenda

This is an informal meeting between City staff and the applicant(s). The public is invited to attend, however no public comment shall be permitted.

Discussion Items

1. Case No. 24104: Blind Pass Rd., Parcel: 25-31-15-09234-000-0001
Unnecessary and Undue Hardship Variance: Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condo Assn, Inc., The Constellation Condo Assn., Inc., The Intrepid Condo Assn., Inc., The Courageous Condo Assn., Inc., and The Heritage Condo Assn., Inc. requests a variance for replacement/installation of two (2) 160 sq. ft, 10'x16', 10'h storage structures where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b).

2. Case No. 24105 – Blind Pass Rd., Parcel: 25-31-15-95319-000-0001
Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condominium Association, Inc. requests a variance for replacement/installation of a 160 sq. ft, 10'x16', 10'h storage structure utilized for tennis/recreational storage where a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b).

Next Meeting: February 5, 2025

TECHNICAL REVIEW COMMITTEE MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS

Agenda Report

Agenda Title Name: Case No. 24104: Blind Pass Rd., Parcel: 25-31-15-09234-000-0001

Action Request:

Strategic Objective:

Date: January 22, 2025

Prepared By: Kristin Coman, Community Development Director

Through: Denise Sanderson, Community Development Director

Summary of Issue: Applicant requests a variance for replacement/installation of two (2) 160 sq. ft, 10'x16', 10'h storage structures where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b).

Funding:

Attachments:

1. 24104 - Blind Pass Rd., Certificate of Completeness with Submittal Documents

Memo To: Board of Adjustment
From: Kristin Coman, Senior Planner
Date: 12/20/2024
Re: **CERTIFICATE OF COMPLETENESS**

Please be advised that on this date, the following application has been deemed complete and will be scheduled for the Board of Adjustment and placed on the agenda for **January 29, 2025.**

Please note that this case does require TRC review prior to the hearing, tentatively to be held on 1/22/25.

Variance Case Number: 24104
Application Type: Unnecessary and Undue Hardship
Owner(s): WEATHERLY, THE CONDO ASSN INC
Applicant/Agent: Dan Nelson
Parcel Number: 25-31-15-95319-000-0001
Address: Blind Pass Rd., St. Pete Beach, FL 33706
Zone: RM

Submittal Documents:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of existing hobby and maintenance buildings
4. Photo package submitted by applicant, consisting of 4 sheets with no dates provided.
5. Proposals for both buildings prepared by Wally Watt, Inc., no date, consisting of 3 pages.
6. Compliance letter dated 1/24/2024 from Intertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/20/2022 consisting of 10 sheets.

The application and submittal documents will be forwarded to the following agents for review and/or comment:

City/Board Professionals:

- ☑ Board of Adjustment Attorney ***via email***
- ☐ Code Enforcement Manager ***via email***
- ☑ TRC Committee ***via email***
- ☐ Historic Preservation Board ***via email***

Board Members:

- ☑ Denise Chase, Chair
- ☑ Kathy Garchow, Vice Chair
- ☑ Al Causey
- ☑ Chris Core
- ☑ Dan Small

Cc: Dan Nelson, Applicant ***via email (****dnelsonytcbod@gmail.com)*

H-25-31-15-38257-000-1010
C-25-31-15-18649-000-0001
I-25-31-15-43209-000-0001
C-25-31-15-17853-000-0001
W-25-31-15-95319-000-0001

CASE #: 24104

500. PARCEL #:

SUBMITTAL DATE: 11-8-24 AMOUNT DUE: 362.06 PAYMENT DATE:

4 862.06

UNNECESSARY AND UNDUE HARDSHIP VARIANCE APPLICATION

The following items are to be submitted, along with this application, **at least 30 days prior to the public hearing**:

- Two (2) copies of the property survey, completed in the last ten years, which contains the legal description, land area, and existing improvements on the site that has been signed and sealed by a surveyor licensed in the State of Florida;
- Seven (7) copies of a site plan showing the request, drawn to scale, of size between 11x17" and 36x48";
- Emailed copy of the survey and site plan to
- The Application Fee, payable to the City of St. Pete Beach (non-refundable)

RECEIVED NOV 08 2024 COMMUNITY DEVELOPMENT

OWNER/AGENT INFORMATION:

The Weatherly Condominium Assoc. 4131 Gunn Hwy, Tampa, FL 33618-6725

Identification	Name	Address	Phone #
Owner	YACHT + TENNIS ASSOC. INC.	9445 BLIND PASS RD. ST. PETE BEACH, FL 33706	(727) 367-5659
Applicant/ Agent	DANIEL R. NELSON	9425 BLIND PASS RD #1201 ST. PETE BEACH, FL 33706	(443) 496-0880

Owner Email Address:	Applicant/Agent Email Address:
YTCMANAGER@GREENACRE.COM	DNELSONYTCBOD@GMAIL.COM

PROPERTY FOR PROPOSED VARIANCE:

Zoning Designation	Future Land Use Designation	Lot Area
~~AE~~ RM	RM	1.72 AC ~~1.3 ACRES~~

Weatherly, the Condo Common Elements

Legal Description: PLAT BOOK 51, PG. 13, PUBLIC RECORDS PINELLAS CO.

Address: 9415, 9425, 9495, 9525 BLIND PASS RD. ST. PETE BEACH, FL 33706

Explanation of Request: REMOVAL AND REPLACEMENT OF 2 STORAGE SHEDS THAT MEASURE 10X16X10. ALL SHEDS WILL BE SHIELDED BY A COMBINATION OF 6' CHAIN LINK FENCE AND/OR A 6' CINDER BLOCK WALL. REQUESTING A VARIANCE TO ALLOW FOR PROPER MAINTENCE OF CONDOMINIUM OPERATIONS.

Findings Necessary for Granting Request: In order for an application for a unnecessary and undue hardship variance to be approved or approved with conditions, the Board of Adjustment must make a positive finding with regard to each of the provisions below, which are also located in Division 3 of the Land Development Code. The applicant has the burden of proof demonstrating that the application for the variance complies with each of these requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;

2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;

3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;

4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Comprehensive Plan or the Land Development Code, nor will it permit an increase in development density;

SEE ATTACHED

5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;

6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;

7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

8. The requested variance is in harmony with the general intent and purpose of the Comprehensive Plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Daniel R. Nubon 10/21/24

Signature of Applicant **Date** **Signature of Authorized Agent** **Date**

The following are answers to the "Findings Necessary for Granting Request" in our application for a variance under the "unnecessary and undue hardship" variance application from the City of St. Pete Beach

1. The St. Pete Beach Yacht & Tennis Club (YTC) is a large residential condominium complex located on approximately 13+/- acres that have four (4) thirteen (13) story condominium towers consisting of 353 individual units. We have a full-time maintenance staff to care for the property and its amenities. These amenities include green space, 2 shuffleboardcourts, 7 tennis/pickleball courts, a large swimming, pool, clubhouse, pro shop, and fitness center. We had 3 sheds on the property and since hurricane Helene, we now have just one shed.

2. The current sheds were erected in approximately the late 1990's. Three sheds were built to accommodate maintenance and homeowners as an amenity. These sheds were all slated for replacement in accordance with our reserve studies in 2023. It is recommended that all the sheds be replaced every 25 years. These sheds are as follows:

- General Maintenance shed
- Tennis/Pickleball court maintenance shed
- Owners Hobby shed

3. Storage space on the YTC property is very limited, and therefore these sheds are necessary, not only to properly maintain the property, but so as not to violate any zoning codes pertaining to appearances. In addition, having seven HARTRU tennis courts requires an immense amount of labor and we have situated a shed between the two sections of courts to allow the court maintenance employee to access all courts in an efficient and safe manner. In addition, the tennis shed stores play aggregate for dressing the courts as is required on a regular basis. This material needs to be protected from the rain to allow it to be utilized properly when needed. YTC also lists as an amenity, an owner hobby shop where owners can make minor repairs or work on larger crafts that require additional space. This space has grown to become a focal point of the community.

4. This hardship request has not deliberately or knowingly been created, which is inconsistent with a Comprehensive Plan or the Land Development Code. Since these sheds are only to be used to store equipment and tools, there will be no increase in the development density of Saint Pete Beach.

5. There is no intent to achieve any financial return, or any financial gain for this property in the request of this hardship. The request to replace these sheds is merely in keeping with the property standards, and to allow for proper maintenance and upkeep of the property.

6. We understand that the granting of a variance is treated the same for any applicant. As such granting such a variance would satisfy the needs of a large residential community, such as ours, and not affect neighboring communities in any manner. In addition, the location of our sheds is shielded from our neighboring communities by a 6' cinderblock wall and 6' chain-link fencing.

7. It is our belief that the requested variance is a minor deviation to the current code, and will continue to make reasonable use of the land especially since our sheds have been in these places for at least the past 25 years with no adverse effects. It can't be understated that we need proper storage areas to keep our tools and equipment in proper working order, out of sight and to ensure the safety of our owners.

8. It is understood that limiting the size of sheds on a single family residential lot in St. Pete Beach is necessary for several reasons, however our property sits on over 13 acres and is a significantly larger property than a single family residence and is what we consider a "controlled access" community, meaning we utilize private security to grant access. We believe that granting this variance will be in keeping with harmony of the area and surrounding neighborhoods and will not diminish or impair property values within the neighborhood.

VARIANCE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

DM I understand that the City will not accept or process an incomplete application.

DM I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a variance. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a variance.

DM On all variances except for administrative (de-minimis) variances, a majority vote is required. Action on this application by the BOA/City Commission may be continued to a later meeting.

DM I understand that if a variance is approved by the BOA, City Commission or City Manager, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval becomes voided.

DM I understand that if any application filed under the provisions of this Code is denied, no subsequent application seeking substantially the same or similar approval shall be filed within six months of the final decision on the original application.

DM I understand that any person aggrieved by the final decision of the Board of Adjustment or City Commission has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Appeals of decisions made by the City Manager for administrative variances are to a hearing officer designated by the City Commission and must be made within 30 days from the date of the final administrative decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

DM I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application if applicable.

After acknowledgement of these conditions, complete the application form on the following pages.

Daniel R. Nelson — 10/21/24

Signature of Applicant — Date

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St Pete Beach, Fl 33706
(443) 496-0880
dnelsonytcbod@gmail com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

> It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President Kathy Shirley (Dec 18, 2024 13:55 AKST) 18/12/2024

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President _____

Name: ARON ZIOUSL

Building President _____ Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report 2024-12-18

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMVx36DzHqOm1wIPWJOA_ENk-y2lZJACm

"2024_1218 YTC - Variance Request Presidents Signature" History

Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 10:21:21 PM GMT

Document emailed to Kathy Shirley (garykathy@hotmail.com) for signature
2024-12-18 - 10:21:25 PM GMT

Email viewed by Kathy Shirley (garykathy@hotmail.com)
2024-12-18 - 10:30:28 PM GMT

Document e-signed by Kathy Shirley (garykathy@hotmail.com)
Signature Date: 2024-12-18 - 10:33:45 PM GMT - Time Source: server

Agreement completed.
2024-12-18 - 10:33:45 PM GMT

Adobe Acrobat Sign

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St. Pete Beach, Fl 33706
(443) 496-0880
dnelsonytcbod@gmail.com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

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Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President _____

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President

Name: KAREN STRYKOWSKI

Kart

Building President Karen Strykowski (Dec 18, 2024 20:11 EST)

12/1
18/12/2024

Name: ARON ZIONS

Building President Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report 2024-12-19

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAaKfzY2dxHcB51NPTYEadsGDGpqtVut44

"2024_1218 YTC - Variance Request Presidents Signature" History

Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 9:25:07 PM GMT

Document emailed to Karen Strykowski (kstryk2@gmail.com) for signature
2024-12-18 - 9:25:10 PM GMT

Email viewed by Karen Strykowski (kstryk2@gmail.com)
2024-12-18 - 10:53:20 PM GMT

Document e-signed by Karen Strykowski (kstryk2@gmail.com)
Signature Date: 2024-12-19 - 1:11:31 AM GMT - Time Source: server

Agreement completed.
2024-12-19 - 1:11:31 AM GMT

Adobe Acrobat Sign

Owner's Authorization for Agent

Community Development Department
City of St. Pete Beach, Florida

I/WE Yacht + Tennis Club Association, Inc.
(print name of property owner)

hereby authorize DANIEL R. NELSON
(print name of agent)

to represent me/us in an application for UNNECESSARY + UNDUE HARDSHIP
(type of application: variance, conditional use, zoning, etc.)

Signature of Owner

Signature of Owner

Jane McCroary, President
Print Name of Owner

Print Name of Owner

The forgoing instrument was acknowledged before me this 6th day of November 2024 by Jane McCroary or who is personally known // produced // as identification.

Macy Katherine Bishop
(Notary Signature)

11/6/2024
(Date)

My Commission Expires 10/13/2027

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824

PUBLIC HEARING SIGN POSTING AFFIDAVIT

Applicant, DANIEL R. NELSON, agrees to post the sign(s) in a conspicuous place, at the principal access to the property, in full view of the public, and not more than five (5) feet from the nearest street right of way or easement a minimum of seven (7) days in advance of the Public Hearing for unnecessary or undue hardship variances and practical difficulty variances, or seven (7) days in advance of the final administrative decision for administrative (de-minimis) variances, and remain in place until the requested action has been heard and decided. Multiple sign postings shall not be more than three hundred (300) feet apart. If the subject parcel(s) abut more than one (1) street, notices shall be posted along each street. When the subject parcel(s) does not front a public road, the sign shall be posted at the point on a public road by which the property is, or can be, reached.

The sign shall be maintained in good readable condition by the applicant. If the said sign is destroyed, lost, or becomes unreadable, the applicant or applicant's representative shall obtain a replacement sign. Any sign posted in accordance with these requirements shall be removed from the property and disposed of by the applicant or applicant's agent not later than 24 hours following the final decision.

Applicant/Agent (must fill out agent authorization form):

Name(print): DANIEL R. NELSON

Address: 9425 BLIND PASS RD. #1201 ST. PETE BEACH, FL 33706

Daniel R. Nelson — 11-6-24

Signature *Date*

STATE OF FLORIDA)
) SS:
PINELLAS COUNTY)

The foregoing instrument was acknowledged before me this 6th day of November, 2024 by: Daniel R. Nelson who appeared before me, and is personally known to me, or has produced _____ as identification, and did take an oath.

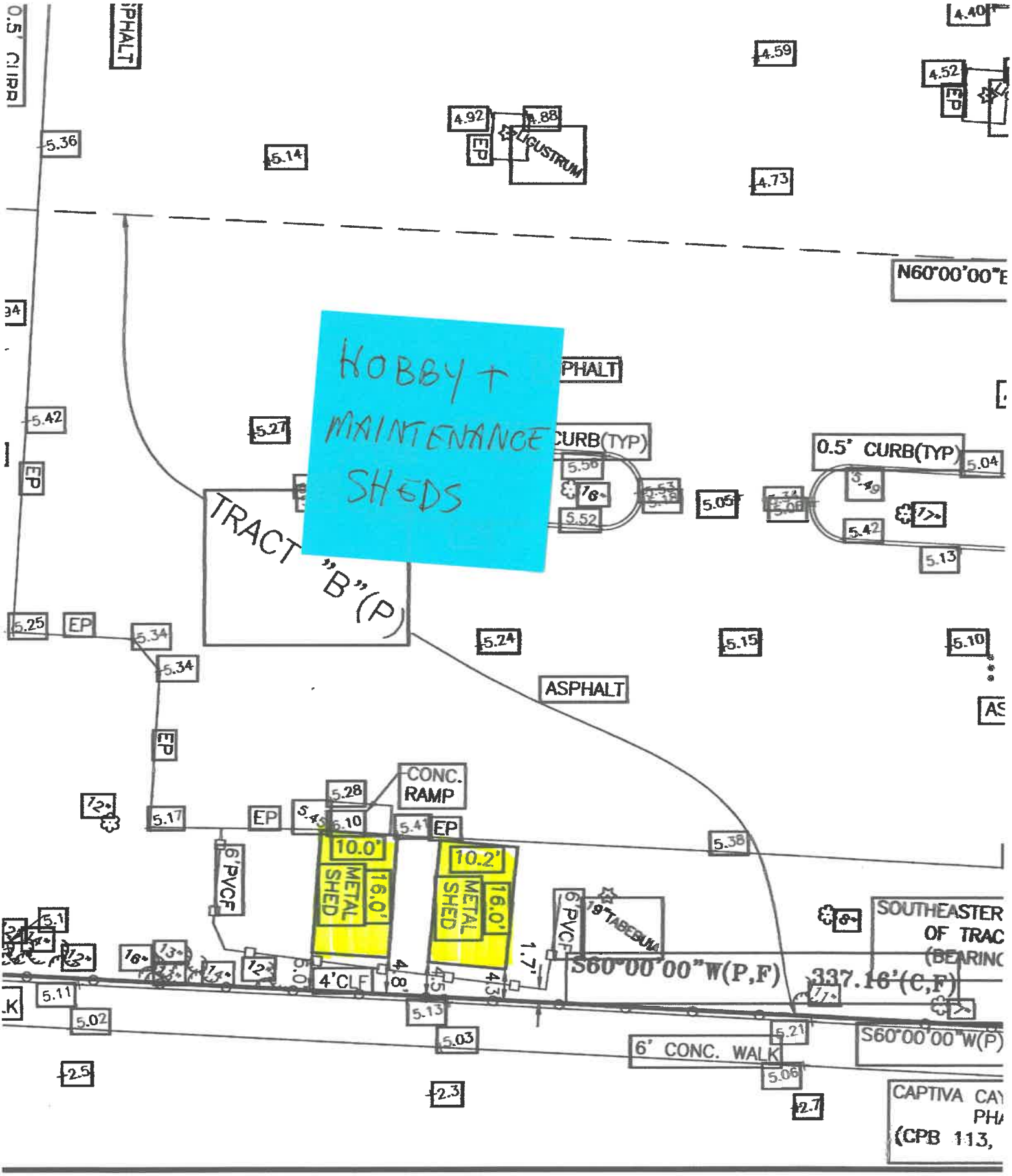
My commission Expires: 10/13/2027

NOTARY:

Print Name: Tracey Katherine Bishop Notary Public, State of Florida

(Notarial Seal)

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824


HOBBY + MAINTENANCE SHEDS
TRACT "B"(P)
CURB(TYP)
0.5' CURB(TYP)
ASPHALT
CONC. RAMP
10.0'
16.0'
METAL SHED
10.2'
16.0'
METAL SHED
6' PVCF
4'CLF
S60°00'00"W(P,F)
337.16'(C,F)
6' CONC. WALK
S60°00'00"W(P)
N60°00'00"E
EP
5.36
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5.06
2.5
2.3
2.7

24104

HOBBY SHED

HOBBY SHED -SIDE-

DESTROYED BY HURRICANE

24104

BETWEEN SHEDS

MAINT. SHED

24104

HOBBY SHED - REAR -

MAINT. SHED - REAR -

- HOBBY + MAINT. SHEDS - 24104

M = MAINTENANCE SHED
H = HOBBY SHED

Wally Watt, Inc.

PROPOSAL 24104

3569 Tyrone Boulevard
St. Petersburg, FL 33710 **C-9875**
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman _____
Order Date

First Last Name Maintenance Shed (Alt)
Address 9445 Blinds Pass Rd
City, State, Zip SP Beach 33706
Phone Numbers
Authorized By

Classic Wally Watt

Roof Option
Peak
Shed
Pitch Back/Forward
Pitch Right/Left

Door Options
Single Door
Double Doors

Door Hinge Option
34" Hinged Left/Right

Classic Color
White
Cream

Bungalow Color
Walls _____
Trim _____
Door _____
Roof _____

Bungalow

Classic Trim Color
White
Cream
Black
Brown

Shelves (Extra fee)
Left/Right/Back

Options
Window
Vents/ FEMA
Extra Door

Floor Options
24" On Center
16" On Center
PT Plywood

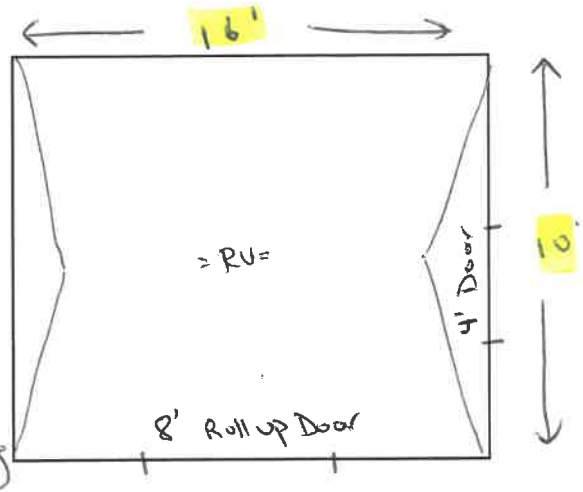
Build On Jobsite (Extra fee)
Blocks/Anchors
Concrete Pad

Accessories
Chains/Stop
Key Lock

Building Size	Amount
10'x16'	$9050.00
Rollup Door	$1000.00
window	$175.00
Permit	$350.00
Build on Jobsite (fee)	
Subtotal	~~$10,050.00~~ $10,575.00
Tax	~~$703.50~~ $740.25
Total Amount Due	~~$10753.50~~ $11,315.25
Deposit	
Balance Due	

changed 11-4-24

CH



Visa/Master Card/Cash/Ck #

Proposal good for 30 days. All fees for permits are non-refundable.

White - Original Canary - Office

Wally Watt, Inc.

PROPOSAL

24104

3569 Tyrone Boulevard
St. Petersburg, FL 33710 **C-9875**
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman Collin
Order Date 6-12-24

First Last Name Hobby Shed (Alt)
Address 9445 Blinds Pass Rd
City, State, Zip SP Beach 33706
Phone Numbers
Authorized By

Classic Wally Watt

Bungalow

Roof Option
Peak
Shed
Pitch Back/Forward
Pitch Right/Left

Classic Color
White
Cream

Bungalow Color
Walls _____
Trim _____
Door _____
Roof _____

Classic Trim Color
White
Cream
Black
Brown

Floor Options
24" On Center
16" On Center
PT Plywood

Door Options
Single Door
Double Doors

Door Hinge Option
34" Hinged Left/Right

Shelves (Extra fee)
Left/Right/Back

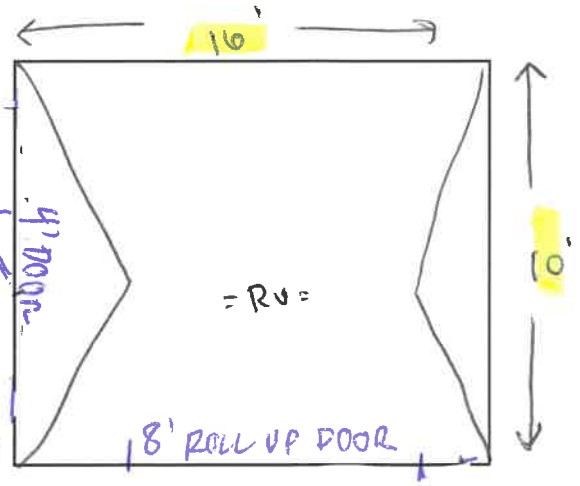
Options
Window
Vents/ FEMA
Extra Door

Build On Jobsite (Extra fee)
Blocks/Anchors
Concrete Pad

Accessories
Chains/Stop
Key Lock

Building Size	Amount
10'x16'	$9050.00
Roll up Door	$1000.00
window	$175.00
Permit	$350.00
Build on Jobsite (fee)	
Subtotal	~~$10,050.00~~ $10,575.00
Tax	~~$703.50~~ $740.25
Total Amount Due	~~$10753.50~~ $11315.25
Deposit	
Balance Due	

changed 11-4-24



Visa/Master Card/Cash/Ck #

Proposal good for 30 days. All fees for permits are non-refundable.

White - Original Canary - Office

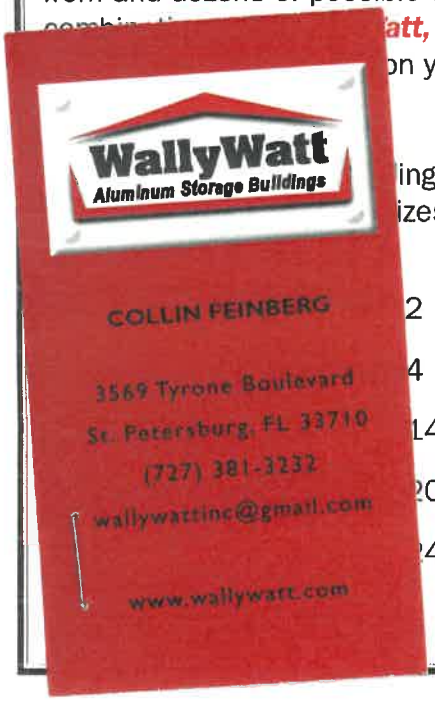
The Bungalow is a classically styled building with a gable roof . This building has a lap-sided aluminum exterior with a baked on enamel finish which is durable and has minimal maintenance. With over sixteen standard sizes to choose from and dozens of possible color

Wally Watt, Inc.

on you are

ings are
izes plus

2
4
14
20
24



Company Background

Wally Watt, Inc. is proud to be a third generation family owned and operated company.

Established in 1953 ***Wally Watt, Inc.*** has provided storage solutions to the residents of the west coast of Florida for over 65 years.

The companies founding principles are the cornerstone of our operations today. Using only the highest quality aluminum materials and skilled workmanship, ***Wally Watt*** provides rust proof, maintenance free buildings.

Our Bungalow Buildings and Garages are manufactured with pressure treated floor systems and feature an insulated mobile home door, and a window or a ridge vent for proper airflow and ventilation. They are 10 feet tall and provide maximum space for storage. These buildings are pre-built and need open access for installation .

WallyWatt
Aluminum Storage Buildings

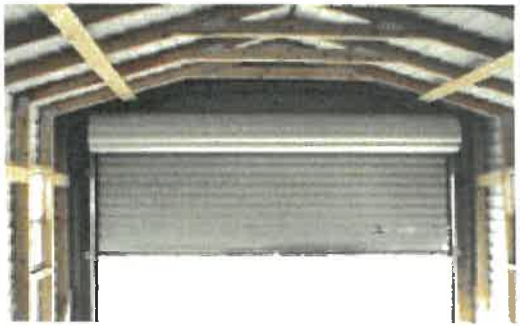
www.wallywatt.com

Josan 8'

Bungalow Series

Wally Watt, Inc. Bungalow Series are available in the following sizes.

10x20	10x24	10x30
12x20	12x24	12x30



Storage Solutions Since 1953

Tel: (727) 381-3232

intertek
Total Quality. Assured.

Intertek-PSI
1748 33rd Street
Orlando, FL 32839

Tel +1 407 304 5560
Fax +1 407 304 5561
intertek.com/building

January 17, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road
Tallahassee, Florida 32399-0772

RE: Manufacturer: Superior Sheds
Agency Plan Number: SUP001-23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek[1] Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,

Ryan Knowles, SMP-64
Manager, Industrialized Buildings
Building Science Solutions

CC: Mr. Hector Llamas – hllamas@superiorsheds.com

[1] Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").
www.intertek.com/building

SUPERIOR SHEDS

THE SUPERIOR

GENERAL NOTES

1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION
2. BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
3. THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R 101.4.2.4, R402.1.
4. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
5. ALL LUMBER FOR CONSTRUCTION WILL BE SYP#2 EXCEPT AS NOTED.
6. GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS
7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE
8. IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE"
9. IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
10. IN ACCORDANCE WITH FLORIDA STATUTE 553.80(1)(d), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2023 FBC 8TH EDITION. SUCH BUILDINGS THAT DO NOT EXCEED 400 SQUARE FEET MAY BE DELIVERED AND INSTALLED WITHOUT NEED OF A CONTRACTOR'S OR SPECIALTY LICENSE.
11. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP
12. AS PER FBC SECTION 1626.L EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
13. COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2023 FBC 8TH EDITION.
14. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
15. IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
16. WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
17. HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION OCCURS PER MANUFACTURER'S INSTRUCTIONS.
18. FLOOD VENTS TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14.

WIND LOAD CRITERIA

1. WIND SPEED (MPH): 144 Vasd/185 Vult
2. RISK CATEGORY: I
3. BUILDING CATEGORY: II
4. ENCLOSURE CLASSIFICATION: ENCLOSED
5. INTERNAL PRESSURE COEFFICIENT: GCpi = 0.18
6. EXPOSURE FACTOR: C
7. WIND DIRECTIONALITY FACTOR (Kd): 0.85
8. GUST RESPONSE FACTOR (Gh): 0.85
9. MAIN FRAME STRUCTURE OVERTURNING LOAD: Pr = -83.0 PSF
10. COMPONENT & CLADDING LOAD
    a. Pr = ZONE 1: -116.4 PSF, ZONE 2: -154.2 PSF, ZONE 3: -202.2 PSF (ROOF)
    b. PW = ZONE 4: +63.0/-68.4 PSF, ZONE 5: +63.0/-84.6 PSF (WALL)
11. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
12. SEISMIC LOAD: N/A
13. FLOOD LOAD: SHEDS LOCATED IN A FLOOD HAZARD AREA MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

BUILDING CODE	FBC, 8TH EDITION (2023)
RESIDENTIAL CODE	FRBC, 8TH EDITION (2023)
ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE (NEC/NFPA 70-20)
BUILDING TYPE	RESIDENTIAL LAWN STORAGE SHED
MANUFACTURER	SUPERIOR SHEDS, LLC
AGENCY	INTERTEK (INTERTEK ATI)
AGENCY PLAN NUMBER	SUP001
CONSTRUCTION TYPE	V B
FIRE PROTECTION	NO
FIRE SUPPRESSION SYSTEM	NO
OCCUPANCY	UTILITY
ALLOWABLE # OF STORIES	1
WIND VELOCITY	185 MPH, EXPOSURE C
FIRE RATING OF EXTERIOR WALLS	0
FLOOR LIVE LOAD - STANDARD	75 PSF
FLOOR LIVE LOAD - OPTIONAL	125 PSF
FLOOR DEAD LOAD	10 PSF
ROOF LIVE LOAD	30 PSF
ROOF DEAD LOAD	10 PSF
"R" RATING OF FLOOR,WALL,&ROOF	N/A
MODULES PER BUILDING	1
SQUARE FOOTAGE	719 SQ/FT MAX
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
HVHZ APPROVED	YES

TABLE OF CONTENTS

SHEET	SHEET DESCRIPTION
1	COVER SHEET
2	FLOOR PLAN
3	SIDEWALL FRAMING
4	FLOOR FRAMING
5	ROOF FRAMING
6	CROSS SECTIONS
7	ENDWALL FRAMING
8	SCHEDULES
9	SCHEDULES

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORERO, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Ryan Andrews, MEP-SI

The document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

SUPERIOR SHEDS
29233 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE SUPERIOR — COVER SHEET

PREPARED BY: BUILDING DROPS, INC.
Tampa: 4000 W. Cypress St., Suite 710
Tampa, Florida 33607
Tel. (813) 944-8118
Fax. (813) 944-4218
www.buildingdrops.com

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

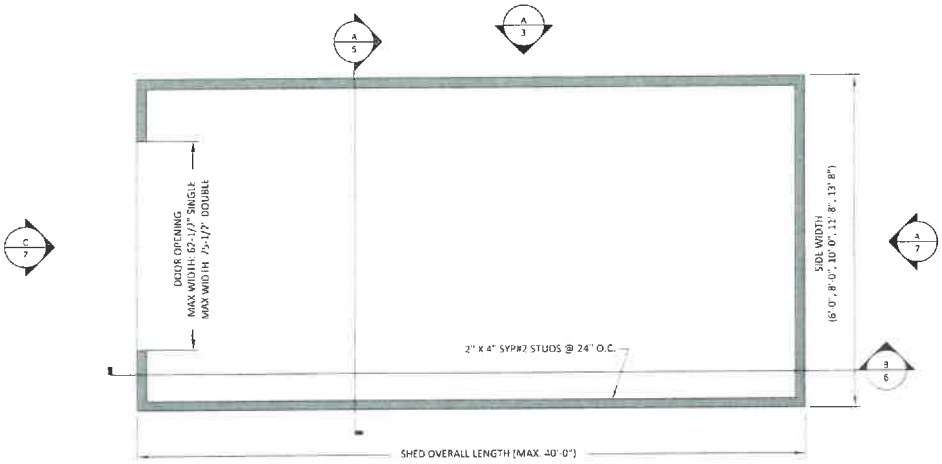
THIS INSTALLATION DETAIL WAS DESIGNED HERE IN MAPLE SIMULATE AND MAY NOT BE ACTUAL CONDITIONS FOR A SPECIFIC SITE. SITE CONDITIONS CAUSE INSTALLATION TO DEPART FROM THE REQUIREMENTS OF THIS DETAIL, THE OWNER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DETAILS TO BE USED WITH THIS DOCUMENT

Digitally signed by Hermes F. Norero, P.E.
Reason: I am approving this document
Date: 2024.01.11 11:11:00 -05'00'

HERMES F. NORERO
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORERO, P.E.
FLORIDA P.E. No. 73778
BUILDING DROPS, INC.
4000 W. CYPRESS STREET, SUITE 710
TAMPA, FL 33607
FBPE CERT. OF AUTHORIZATION No. 28516

DATE:	04.20.2022
DWG. BY: LL	CHK. BY: HFN
SCALE:	NTS
DWG. #:	SUP001
SHEET:	1 OF 9



NOTE: SHOWN IS THE 10' 0" X 20' 0"

FLOOR PLAN

NOTE:
SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS. SUPPLEMENTAL SISTER STUDS TO BE INSTALLED AT EACH DOOR/WINDOW CONNECTION FOR REINFORCEMENT

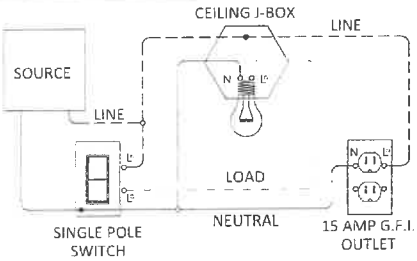
NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1,100 PSI OR GREATER
2. MIN. ROOF SHEATHING: .04 ALUMINUM PANELS
3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
4. MIN. WALL SHEATHING: .04 ALUMINUM SIDING

NOTE:
23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" #8 HEX HEAD W/ WASHER SELF TAPPING SCREWS @ 6" ON EDGE & 12" IN FIELD

ELECTRICAL NOTES & OPTIONS.

- AS PER NEC ARTICLE 330.30(B) SECURING OF MC TYPE CABLE. UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 6FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION
- ALL WIRING SHALL BE 14 GAUGE 3 WIRE MC CABLE
- ENCASE IN ALL METAL BOXES

MAXIMUM NO. OF OUTLETS: 4
MAXIMUM NO. OF LIGHTS: 3



ELECTRICAL WIRING DIAGRAM

SCALE: NOT TO SCALE

SUPERIOR SHEDS
3323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

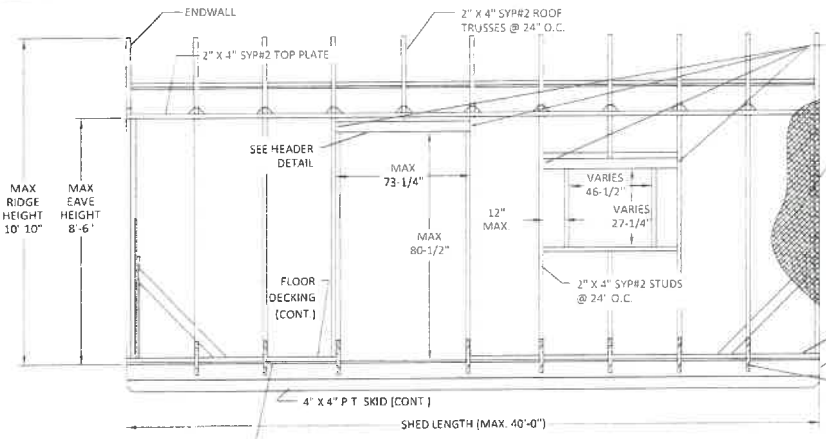
TITLE: THE SUPERIOR — FLOOR PLAN

PREPARED BY: BUILDING DROPS, INC.

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

HERMES F. NORIEGA LICENSE No. 73778 STATE OF FLORIDA PROFESSIONAL ENGINEER

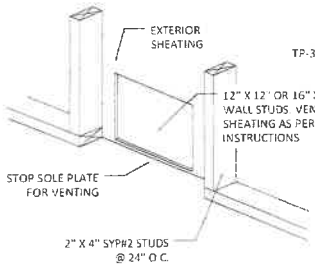
DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 2 OF 9



NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS

WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
- CORRUGATED ALUMINUM
- D4 ALUMINUM SIDING
- 1/2" OR 5/8" T1-11 SIDING
- JAMES HARDIE PANEL OR EQUIV
- JAMES HARDIE HORIZ. SIDING LAP OR EQUIV
- 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
- THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

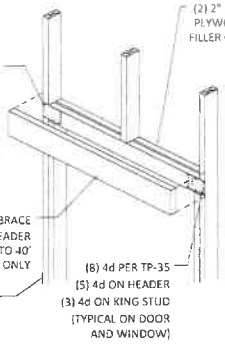
A3 SIDEWALL FRAMING



OPTIONAL HYDROVENT DETAIL

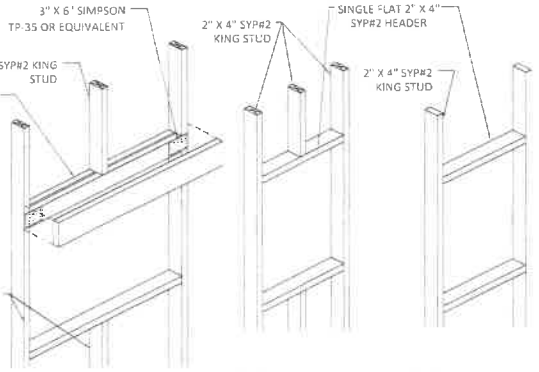
SCALE: NTS

FLOOD VENTS TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14



DOOR DETAIL (TYP)

SCALE: NTS



NOTE:
FOR LARGE WINDOW WINDOW IS CENTERED WITH KING STUD

NOTE:
FOR SMALL WINDOW WINDOW IS CENTERED WITH KING STUD

NOTE:
FOR SMALL WINDOW WINDOW IS IN-BETWEEN KING STUDS

WINDOW DETAILS (TYP)

SCALE: NTS

SUPERIOR SHEDS

TITLE: THE SUPERIOR SIDEWALL FRAMING

PREPARED BY: BUILDING DROPS, INC.

REMARKS	BY	DATE
2023 CODE CHANGE	JI	12/23

DATE: 04.20.2022

DWG. BY: LL | CHK. BY: HFN

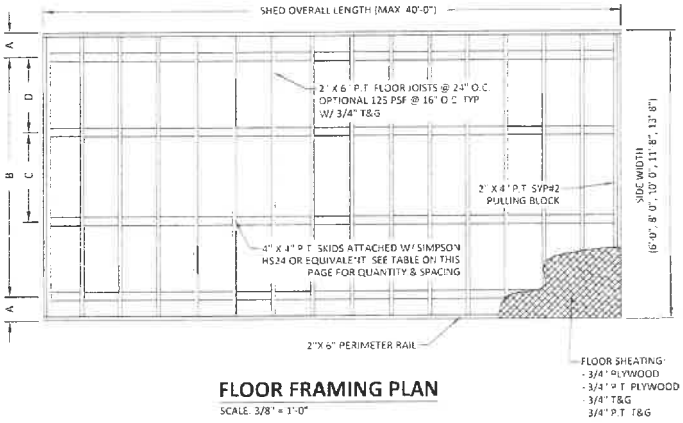
SCALE: NTS

DWG #: SUP001

SHEET 3 OF 9

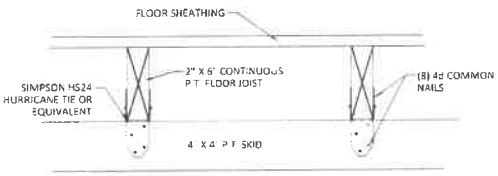
TABLE 2: SKID RUNNER SPACING*					
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	4'-4"	6'-6"	6'-10"	6'-4"	10'-11"
C	-	-	-	-	1'-10.5"
D	-	-	-	-	4'-0.25"

*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4" X 4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"



FLOOR JOIST TO SKID CONNECTION

SCALE: NOT TO SCALE

SUPERIOR SHEDS
2335 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 339-7431

TITLE: THE SUPERIOR — FLOOR FRAMING

PREPARED BY: BUILDING DROPS, INC

REMARKS	BY	DATE
2023 CODE CHANGE	JM	12/23

THE INSTALLATION DETAILS OVER WHICH WE HAVE NO CONTROL ARE TENTATIVE AND MAY NOT REFLECT ACTUAL COSTS. LINES FOR A SPECIFIC SITE AND SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS OF THE DETAILS HERE IN. A GENERAL ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.

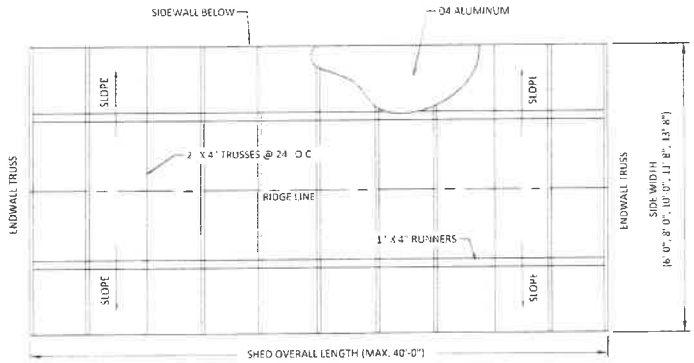
HERMES F. NORIEGA
LICENSE No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORIEGA, P.E.
FLORIDA P.E. No. 73778
BUILDING DROPS, INC
1400 N. MIAMI AVENUE, STE. 2
MIAMI, FL 33132
REPRESENTING AUTHORIZED SIGNATORY

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations
Construction Type: A
Occupancy: Non-Habitable Storage Shed
Allowed Floors: 1
Fire Rating Ext. Walls: 3
Wind Velocity: 115 mph ultimate
Roof: 4 Pitch
Floor Load: 50 PSF Live
Approval Date: 11/11/2014

Ryan Andrews, SMP-84

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 4 OF 9



ROOF FRAMING PLAN

SCALE 3/8" = 1'-0"

NOTE

1. MIN. GRADE STUDS. 2" X 4" STUDS TO BE Fb=1200 PSI OR GREATER
2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Construction Type: [illegible]
Occupancy: [illegible]
Allowed 3 hours: [illegible]
Fire Rating Ext. Walls: [illegible]
Wind Velocity: [illegible]
Plan #: SUP001
Floor Load: [illegible]
Approval Date: [illegible]

Ryan Kennedy, SMR 64

SUPERIOR SHEDS

TITLE: THE SUPERIOR

ROOF FRAMING

PREPARED BY: BUILDING DROPS, INC.

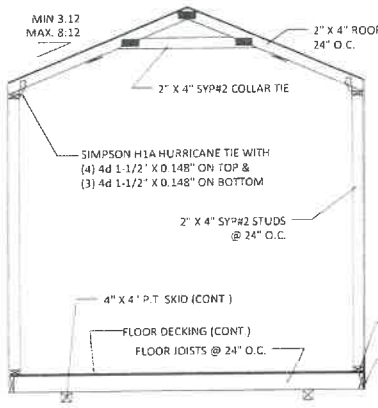
REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS PRESENTED HEREIN ARE GENERIC & DO MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. SITE CONDITIONS CAUSE INSTALLATION TO DEPART FROM THE REQUIREMENTS STATED HEREIN. A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED WITH THIS DOCUMENT.

HERMES F. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

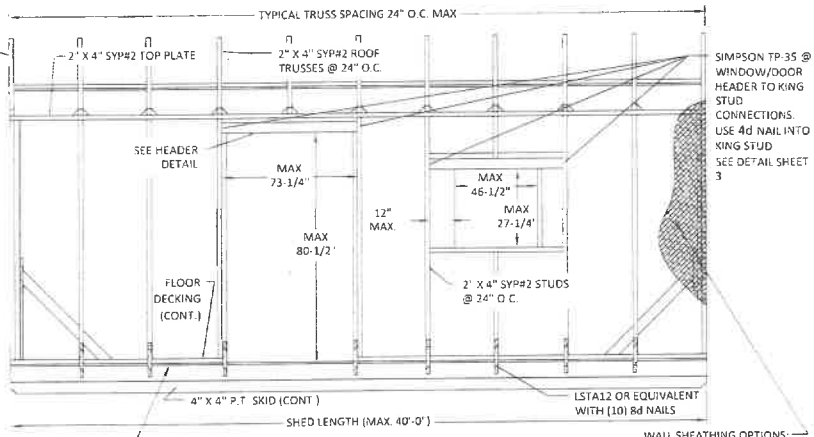
HERMES F. NORIEGA
LICENSE No. 73778
BUILDING DROPS, INC.
1100 NW MIAMI COURT, SUITE 210
MIAMI, FL 33132
CERTIFICATE OF AUTHORIZATION No. 23579

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG # SUP001
SHEET: 5 OF 9



A/6 **CROSS SECTION A**

SCALE: 3/8"=1'-0"



ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LST-12 STRAP OR EQUIVALENT w/ 5 -10d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ 5-10d NAILS (TYPICAL)

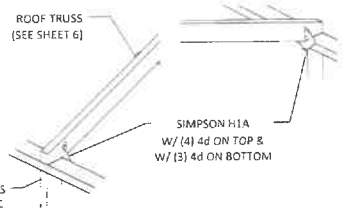
B/6 **CROSS SECTION B**

SCALE: 3/8"=1'-0"

WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
- CORRUGATED ALUMINUM
- D4 ALUMINUM SIDING
- 1/2" OR 5/8" T1-11 SIDING
- JAMES HARDIE PANEL OR EQUIV.
- JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
- 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
- THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

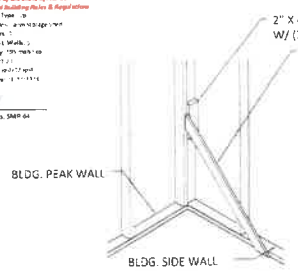
NOTE:
2" X 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.



ROOF TRUSS TO WALL CONNECTION

SCALE: NOT TO SCALE



1" X 4" BRACING, (2) ENDS CUT @ 45° ANGLE
SIDE WALLS 6'-20' = (4) 4' L X 1" X 4" BRACES
SIDE WALLS 22'-26' = (4) 6' L X 1" X 4" BRACES
SIDE WALLS 28'-40' = (8)/(16) 6' L X 1" X 4" BRACES
HARDWARE:
W/ (3) 10d @ TOP
W/ (3) 10d @ BOTTOM
W/ (2) 10d @ ALL IN-BETWEEN STUDS

NOTE:
BRACE COUNT DEPENDS ON THE QUANTITY OF CUT-OUTS

BRACE TO WALL CONNECTION

SCALE: NOT TO SCALE

SUPERIOR SHEDS

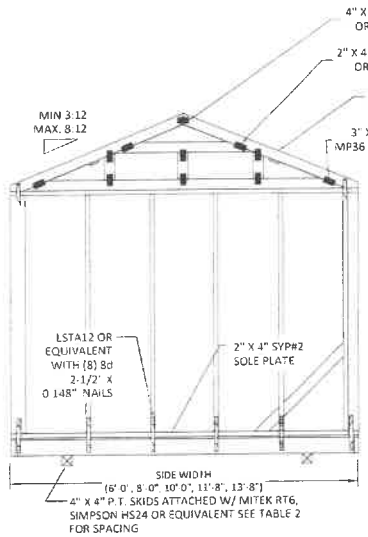
TITLE: THE SUPERIOR
CROSS SECTIONS

PREPARED BY: BUILDING DROPS, INC.

REMARKS	BY	DATE
2023 CODE CHANGE		12/23

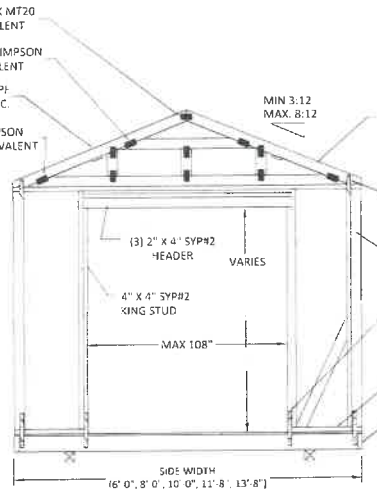
HERMES A. NORIEGA, LICENSE No. 73178, STATE OF FLORIDA, PROFESSIONAL ENGINEER

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 5 OF 9



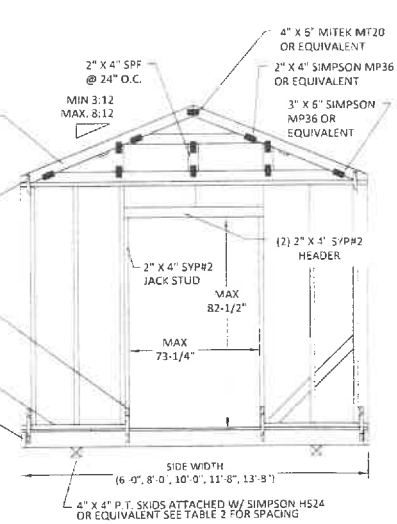
A 7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"



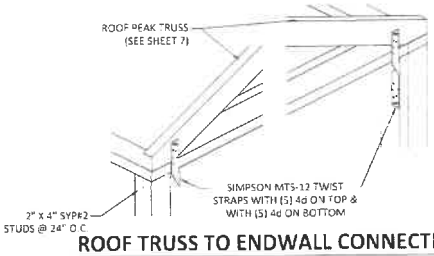
A 7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"
GARAGE DOOR



A 7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"
DOOR



ROOF TRUSS TO ENDWALL CONNECTION

SCALE: NOT TO SCALE

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Construction Type:

Occupancy:

Allowed Floors:

Fire Rating Ext. Walls:

Wind Velocity:

Flood Zone:

Approved Date:

Ryan Reinalds: MRF-52

SUPERIOR SHEDS
2323 S VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 539-7433

TITLE: THE SUPERIOR — ENDWALL FRAMING

PREPARED BY: BUILDING DROPS, INC.
DRAFTING MANAGEMENT SUPPLIES
MAIL: P.O. BOX 1
ORANGE CITY, FL 32763
FAX: (877) 539-7433
WEB: www.buildingdrops.com

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS DEPICTED HEREIN ARE GENERIC AND SHALL NOT BE ACCEPTABLE CONSTRUCTION FOR A SPECIFIC SITE. SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN. A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE USED WITH THIS DOCUMENT.

HERMES F. NORCIO LICENSE No. 73178 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. # SUP001
SHEET 7 OF 9

ALTERNATE FASTENING SCHEDULE

CONNECTION	FASTENING	
ALT 31-33 WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

STRAP & FASTENER SCHEDULE *

	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
RAFTER (B)	H1	[illegible]		6 - 8d X 1.5"	4 - 5d
	H11Z	590		6 - 16d X 2.5"	6 - 16d X 2.5"
	H2A	475	5 - 8d X 1.5"	5 - 8d X 1.5"	2 - 8d X 1.5"
	H2.5A	[illegible]		5 - 8d	5 - 5d
	H2.5	470	5 - 8d	5 - 8d	
	H2.5T	545	5 - 8d	5 - 8d	
	H2A	[illegible]	7 - 8d X 1.5"	5 - 8d X 1.5"	
	H3		4 - 8d	4 - 8d	
	H4		4 - 8d	4 - 8d	
	H5		4 - 8d	4 - 8d	
	LTS-12	420	6 - 10d X 1.5"	6 - 10d X 1.5"	
	LTS-16	[illegible]	6 - 10d X 1.5"	6 - 10d X 1.5"	
	LTS-18	620	6 - 10d X 1.5"	6 - 10d X 1.5"	
	LTS-20	[illegible]	6 - 10d X 1.5"	6 - 10d X 1.5"	
	MTS-12	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-16	560	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-18	660	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-20	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
PORCH	PART#/DESC.	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
	A21	245	2 - 10d X 1.5"	2 - 10d X 1.5"	
	A23	355	4 - 10d X 1.5"	4 - 10d X 1.5"	
	A33	[illegible]	4 - 10d	4 - 10d	
BTM PLATE	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	LSTA-18	[illegible]	7 - 10d	7 - 10d	
HEADER (D)	PART#/DESC.	UPLIFT	STUD FASTENER	HEADER FASTENER	
	FP-35	N/R	5'-3" X 0.131"	5'-3" X 0.131"	
	HP40,41,80,81	[illegible]	5'-3" X 0.131"	5'-3" X 0.131"	
TIE DOWNS	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	20GA 1-1/4" WIDE	[illegible]	7 - 10d X 1.5"		
	5/8" X 30" ANCHOR	1330			

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS
B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS
C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS.
D. HEADERS OVER 6' 0" SPAN

PRODUCT OPTIONS

PRODUCT CAT	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL#: 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL#: 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	[illegible]	FL#: -
PANEL WALLS	SIDING	PLY GEM	x	FL#:
PANEL WALLS	SIDING	ADVANCED ALUM.	[illegible]	FL#:
PANEL WALLS	SIDING	SIMPSON LUMBER	x	FL#: -
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FL#: 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	200 9-LITE	FL#:
EXTERIOR DOORS	ROLL-UP	JANUS INT'L	ROLL-UP	FL#: -
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16153-R1
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 27202
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 28822
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 30848

SUPERIOR SHEDS
2333 S NOLAS AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC
1960 N. ORANGE COURT, SUITE E-1
WINTER PARK, FL 32789
PH: (305) 297-8001
FAX: (305) 464-9236
WEB: www.buildingdrops.com

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS SHOWN BELOW ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS OR SPECIFIC SITE CONDITIONS. IF ANY CONDITIONS EXIST THAT ARE NOT ADEQUATELY ADDRESSED, THE CONTRACTOR MUST NOTIFY THE ENGINEER OR ARCHITECT PRIOR TO INSTALLATION. THIS DOCUMENT SHALL NOT BE USED WITHOUT THE DOCUMENT.

HERMES F. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORIEGA
FLORIDA LIC. No. 73778
BUILDING DROPS, INC
1960 N. ORANGE COURT, SUITE E-1
WINTER PARK, FL 32789
PH: (407) 297-8001
CERTIFICATE OF AUTHORIZATION No. 29010

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 8 OF 9

Ryan Knowles
1348 Kirkshire
Orlando, Florida 32833

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations
Construction Type: [illegible]
Occupancy: [illegible]
Allowed Items: [illegible]
Fire Rating Ext. Walls: [illegible]
Wind Velocity: [illegible]
Plan #: [illegible]
Approved: [illegible]
Approval Date: [illegible]

Ryan Knowles, SMP-64

FASTENING SCHEDULE (FBC TABLE 2304.10.1)

CONNECTION	FASTENING	CONNECTION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" 14 GAUGE STAPLES	TOENAIL
2. BRINGING TO JOIST	2 - 8d COMMON (2-1/2" X 0.131") 2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" 14 GAUGE STAPLES	TOENAIL EACH END
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3-1/2" X 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" X 0.135") AT 16" O.C. 3" X 0.131 NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST AT BLOCKING AT BRACED WALL PANEL	3 - 16d COMMON (3-1/2" X 0.135") AT 16" O.C. 4 - 3" X 0.131" NAILS AT 16" O.C. 4 - 3" 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL
7. TOP PLATE TO STUD	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4 - 8d COMMON (2-1/2" X 0.131") 4 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3-1/2" X 0.135") AT 24" O.C.	3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.
10. DOUBLE TOP PLATES	16d (3-1/2" X 0.135") AT 16" O.C.	3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.
DOUBLE TOP PLATES		8 - 16d COMMON (3-1/2" X 0.135") AT 16" O.C.
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d COMMON (2-1/2" X 0.131") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3" 14 GAUGE STAPLES AT 6" O.C.	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3-1/2" X 0.162")	3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" X 0.162")	16" O.C. ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 16d COMMON (3-1/2" X 0.131") 5 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
16. RIM JOIST TO TOP PLATE	4 - 8d COMMON (2-1/2" X 0.131")	TOE NAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS	3 - 16d COMMON (3-1/2" X 0.135") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS	3 - 16d COMMON (3-1/2" X 0.135") MIN 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
19. RAFTER TO PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
20. 1" DIAGONAL BRACE TO EACH STUD & PLATE	2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL

FASTENING SCHEDULE (FBC TABLE 2304.10.1)

21. 1"X8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
22. WIDER THAN 1"X8" SHEATHING TO EA. BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" X 0.192") AT 32" O.C. 3" X 0.131" NAILS AT 24" O.C. 3 - 14 GAUGE STAPLES AT 24" O.C. 2 - 20d COMMON (4" X 0.192") 3 - 4" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	16d COMMON (3-1/2" X 0.162")	AT EACH BEARING
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3-1/2" X 0.135") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3-1/2" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD (B) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS — 6d (C,I,Q) 2-3/8" X 0.113" NAIL(N) 1 3/4" 16 GAUGE(O) 19/32" TO 3/4" — 8d(D) OR 6d (E) 2-3/8" X 0.113" NAIL(N) 2" 16 GAUGE (P)	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 (REFER TO FIG. 30 4-1 OF ASCE 7)
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 19/32" TO 3/4" FRAMING)	7/8" TO 1" — 8d(C) 1 1/8" TO 1-1/4" — 10d(D) OR 8d(D) 3/4" AND LESS — 6d(C) 7/8" TO 1" — 8d(C) 1-1/8" TO 1-1/4" — 10d(D) OR 8d(D)	
32. PANEL SIDING (TO FRAMING) (Q)	1/2" OR LESS — 6d(F) 5/8" — 8d(F)	
33. FIBERBOARD SHEATHING (G,Q)	1/2" AND LESS — NO. 11 GAUGE ROOFING NAIL(H) 6d COMMON GAUGE — (2" X 0.113") NO. 16 25/32" — STAPLE (I) NO. 11 GAUGE NAIL(H) 8d COMMON GAUGE — (2 1/2" X 0.131") NO. 16	6" O.C. EDGES AND INTERMEDIATE
34. INTERIOR PANELING	1/4" — 4d(J) 3/8" — 6d(K)	6" O.C. EDGES AND INTERMEDIATE

NOTES:

A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.

B. NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMS AND SHEAR WALLS, REFER TO SECTION 2305 NAILS FOR WALL SHETHING ARE PERMITTED TO BE COMMON, BOX OR CASING.

C. COMMON OR DEFORMED SHANK (6d - 2 1/2" X 0.113", 8d - 2-1/2" X 0.131", 10d - 3" X 0.148") D COMMON (6d - 2" X 0.113", 8d - 2-1/2" X 0.131", 10c - 3" X 0.148")

D DEFORMED SHANK (6d - 2" X 0.113"; 8d - 2-1/2" X 0.131"; 10d - 3" X 0.148").

F CORROSION-RESISTANT SIDING (6d - 1-7/8" X 0.106"; 8d - 2-3/8" X 0.128") OR CASING (6d - 2" X 0.099"; 8d - 2-1/2" X 0.113") NAIL

F FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.

G CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR SHEATHING

H CORROSION-RESISTANT STAPLES WITH NOMINAL 7/ 16" CROWN OR 1" CROWN AND 1-1/4" LENGTH FOR 1/2" FOR 25/32" SHETHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS

FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.

K STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".

L. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS

M. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING

N FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS

O SEE FASTENER ALTERNATE SCHEDULE

P. FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER

SUPERIOR SHEDS
2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-2433

TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC.
1 NATIONAL BRIDGE COURT, SUITE 210
ORMOND BEACH, FL 32174
PH: (386) 910-8628
FAX: (386) 444-7238
WEB: www.buildingdrops.com

REMARKS	BY	DATE
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HERMES F. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORIEGA, P.E.
TOUCAN ENGINEERING
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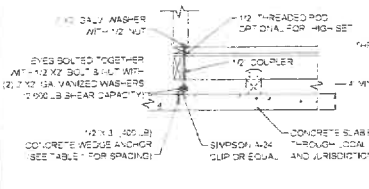
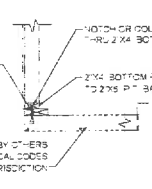
EMAIL: HERMES@TOUCANENGINEERING.COM
WEB: WWW.TOUCANENGINEERING.COM
CERTIFICATE OF AUTHORIZATION NO. 29578

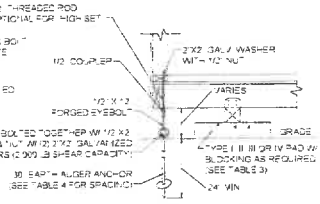
DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG #: SUP001
SHEET: 6
OF 9



SHED WITH SKID
ANCHORED TO CONCRETE



SHED WITH "NO FLOOR" OPTION"
ANCHORED TO CONCRETE



SHED WITH SKID
TO PAD OR BLOCKING

30" AUGER ANCHOR (4,725 LB)
INSTALLED PER MFRS INSTRUCTIONS
EYELET AT MAXIMUM 6" ABOVE GRADE

SETUP AND INSTALLATION OF SINGLE WIDE SHED

1. BUILDING IS PLACED IN REQUESTED LOCATION ON SCHEDULE 40 PVC TO ALLOW FOR MOVEMENT TO PLUMB OR SQUARE UNIT TO HOUSE, FENCE, PROPERTY LINE, ETC.
2. ONCE UNIT IS SQUARE AND THE HIGH SPOT OF THE GROUND IS ESTABLISHED, THE BUILDING IS BLOCKED ON THE HIGH SPOT OF THE GROUND AND LEVELED. THE OTHER END OF THE BUILDING IS BROUGHT UP TO LEVEL AND BLOCKED. THEN THE CENTER OF THE BUILDING IS SUPPORTED TO LEVEL. MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 2)
3. AFTER THE BUILDING IS LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3)
4. ANCHOR PLACEMENT IS ESTABLISHED BY THE WIDTH OF THE BUILDING. HOLES ARE DRILLED THRU THE 2"X4" BOTTOM PLATE WITH A 1/2" AUGER BIT. 1/2" EYEBOLT OR OPTIONAL 1/2" THREADED ROD (FOR A "HIGH SET") IS SECURED THROUGH THE HOLE
5. ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS
6. IF THE UNIT HAS A FLOOR, EITHER A HOLE IS DUG FOR THE 30" AUGER ANCHOR AND BACKFILLED AND SECURED AS PER THE DETAIL OR A 1/2" HOLE IS DRILLED INTO THE CONCRETE 1-1/2" OFF THE RIM JOIST. THE EYEBOLT IS FASTENED THRU THE BOTTOM PLATE AND A SIMPSON A-24 (OR EQUAL) IS FASTENED TO THE CONCRETE WITH A 1/2" WEDGE ANCHOR
7. IF THE UNIT A "NO FLOOR OPTION", ANCHOR WITH 1/2"X6" WEDGE ANCHOR THRU THE 2"X4" BOTTOM PLATE

SETUP AND INSTALLATION OF DOUBLE WIDE SHED

1. BUILDING IS PLACED IN REQUESTED LOCATION. THE FIRST SECTION OF THE DOUBLE WIDE IS PLACED ON THE HIGHEST LOCATION OF GROUND AND IS LEVELED UP
2. BLOCKS ARE THEN PLACED AT THE END, CENTER, AND OTHER END TO LEVEL. ONCE THE BUILDING IS LEVEL, BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3)
3. THE NEXT SECTION OF THE SHED IS BACKED INTO PLACE AND UNLOADED PARALLEL WITH THE FIRST SECTION. THE TWO SECTIONS ARE CONNECTED AT THE LOWER CORNER WITH 1/2"X4 1/2" BOLT AND NUT. THE SECOND SECTION IS THEN LEVELED AND THE OTHER BOLT HOLES ARE LINED UP AND BOLTED SECURE. THE REST OF THE BLOCKING IS THEN COMPLETED. THIS PROCEDURE IS REPEATED FOR MULTIPLE SECTION SHEDS UNTIL ALL SECTIONS ARE IN PLACE
4. GROUND ANCHORS ARE THEN ADDED (SEE TABLE 4B)

ONCE THE BUILDING IS PROPERLY BLOCKED AND BOLTED TOGETHER, THE SUPPORT SPACING IS REMOVED

6. ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS

BUILDING ANCHORS SHALL BE "MOBILE HOME" TYPE HELICAL SINGLE HELIX EYE AUGER ANCHORS BY HOME PRIDE OR BRISTOL, OR EQUIVALENT. AVERAGE HOLDING STRENGTH IS NOT LESS THAN 4,725 LBS

2. ANCHORING SYSTEM TO GROUND PER LOCAL BUILDING CODE. BY DEALER: LOCATE ANCHORS PER TABLE 4A OR 4B
3. THREADED ROD WITH EYEBOLTS SHALL BE PLACED THRU THE BOTTOM PLATE (FLOOR SYSTEM) AND ATTACHED TO ANCHOR. THESE CAN BE EXTENDED WITH THREADED ROD OR STRAPS WITH EQUAL OR GREATER STRENGTH FOR ELEVATED PORTIONS OF SHEDS ON LEVELING BLOCKS

TABLE 1
ANCHORING TO CONCRETE

SHED WIDTH	UPLIFT (PLF)*	ANCHOR SPACING
20'-0"	400	3'-8"
13'-8"	280	3'-6"
11'-8"	240	3'-6"
10'-0"	200	3'-6"
8'-0"	160	3'-6"
6'-0"	120	3'-6"

TABLE 2
SKID RUNNER SPACING*

SHED WIDTH**	X1	X2	X3
13'-8"	1'-10 1/2"	4'-1 1/2"	1'-10 1/2"
11'-8"	2'-8"	6'-4"	
10'-0"	1'-7"	6'-10"	-
8'-0"	3"	5'-6"	-
6'-0"	10"	51"	-

* VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4"X4"

NOTES:
- HOLLOW OR SOLID CONCRETE BLOCKS (8"X8"X16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" W/O REINFORCING

TABLE 3A
PAD TYPES

TYPE	PAD DIMS	MAX LOAD*	MATERIAL
	2"X8"X16"	1778 LBS	CONC BLOCK (8"X8"X16") CEMENT AND SAND MIX
II	4"X8"X16"	3600 LBS	CONC BLOCK (8"X8"X16") CEMENT AND SAND MIX
III	16"X16"	3000 LBS	ABS PLASTIC PADS
IV	8"X8"X16"	1800 LBS	CONC BLOCK (8"X8"X16") CEMENT AND SAND MIX

* BASED ON 2000 PSF SOIL BEARING CAPACITY (2000 PSF IS TYPICAL)

NOTES:
1. HOLLOW OR SOLID CONCRETE BLOCKS (8"X8"X16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" W/O REINFORCING

TABLE 4A
30" AUGER ANCHOR SPACING - SINGLE WIDE

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX INTERIOR SPACING***
13'-8"	7.00	243	0'-0" TO 3'-0"	10'-0"
11'-8"	8.00	208	0'-0" TO 3'-0"	10'-0"
10'-0"	9.00	178	0'-0" TO 3'-0"	10'-0"
8'-0"	11.00	138	0'-0" TO 3'-0"	10'-0"
6'-0"	13.00	104	0'-0" TO 3'-0"	10'-0"

TABLE 4B
30" AUGER ANCHOR SPACING - SINGLE WIDE

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX INTERIOR SPACING***
20'-0"	15.00	400	0'-0" TO 3'-0"	5'-0"

* LOAD WIDTH UPLIFT ON RUNNER
** LOCATION OF END WALL OF AUGER ANCHOR
*** MAXIMUM SPACING BETWEEN ANCHORS

NOTES
1. ANCHOR SPACING IS DESIGNED AS PER ASCE 7
2. ALL MEASUREMENTS ARE CENTER TO CENTER
3. THE MINIMUM NUMBER OF ANCHORS PER SHED IS (4), (1) ANCHOR PER EACH CORNER. ADDITIONAL INTERIOR ANCHORS ARE REQUIRED IF SPACING IS MORE THAN 10'-0" BETWEEN ANCHORS
4. ANCHORS SHALL BE ON SIDE WALLS EXCEPT WHEN THE SHED IS PLACED NEXT TO AN EXISTING BUILDING, IN WHICH ANCHORS CAN BE PLACED ON THE END WALLS AS CLOSE TO THE SIDE AS POSSIBLE
5. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION
6. THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION R101.4.2 & R402.1
7. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
8. DOUBLE WIDE SHEDS ARE SECURED ON EACH SIDE OF THE MODULE SIDE WALLS

CODE INFORMATION

CODE VERSION	FBC 8TH EDITION (2023) ASCE 7-22
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUF. SHED
CONSTRUCTION	V-B
CODE VERSION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NO. OF STORIES	1
BASIC WIND SPEED	185 MPH (VULT)
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEF	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10 PSF
ROOF LIVE LOAD	20 PSF OR 300 LBS
FLOOR DEAD LOAD	8 PSF
FLOOR LIVE LOAD	75 PSF, 125 PSF
"R" RATING (WALL, FLOOR, ROOF)	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	LESS THAN 720 S.F.

TABLE 3
SUPPORT FOOTING PAD SPACING FOR RUNNER BLOCKING FOR SINGLE & DOUBLE WIDE SHEDS

SHED DESCRIPTION			PAD		75 FLOOR LOAD MAXIMUM LOAD AND PAD TYPE			125 FLOOR LOAD MAXIMUM LOAD AND PAD TYPE				
SHED WIDTH	TYPE	LW* (PLF)	END PAD	MAX SPACING	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE
13'-8"	SW DW	1 (15032)	0'-TO 4"	8'-0"	1958 LBS	II OR IV	1958 LBS	II OR IV	2742 LBS	II OR III	2742 LBS	II OR III
11'-8"	SW DW	8 (30480)	0'-TO 4"	8'-0"	2574 LBS	II OR III	2574 LBS	II OR III	3924 LBS	III	3924 LBS	III
10'-0"	SW DW	9 (30400)	0'-TO 4"	8'-0"	2381 LBS	II OR III	2381 LBS	II OR III	3643 LBS	III	3643 LBS	III
8'-0"	SW	1 (20320)	0'-TO 4"	8'-0"	2003 LBS	II OR III	2003 LBS	II OR III	3121 LBS	II OR III	3121 LBS	II OR III
6'-0"	SW	3 (20240)	0'-TO 4"	8'-0"	1458 LBS	II OR III OR IV	1458 LBS	II OR III OR IV	2233 LBS	II OR III	2233 LBS	II OR III

* LOAD WIDTH UPLIFT ON RUNNER

NOTES
1. PAD SPACING IS END TO CENTER OF PAD
2. PADS OTHER THAN END PADS SPACING IS CENTER TO CENTER
3. USE SAME MAXIMUM SPACING FOR INTERIOR SPACING

Digitally signed by Hermes F. Norero, P.E.
Reason: I am approving this document
Date: 2024.01.22 10:50:51 -05'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORERO, P.E. ON THE DATE ADJACENT TO THE STAMP SHOWN. USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES

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STRUCTURE FOR:
SUPERIOR SHEDS

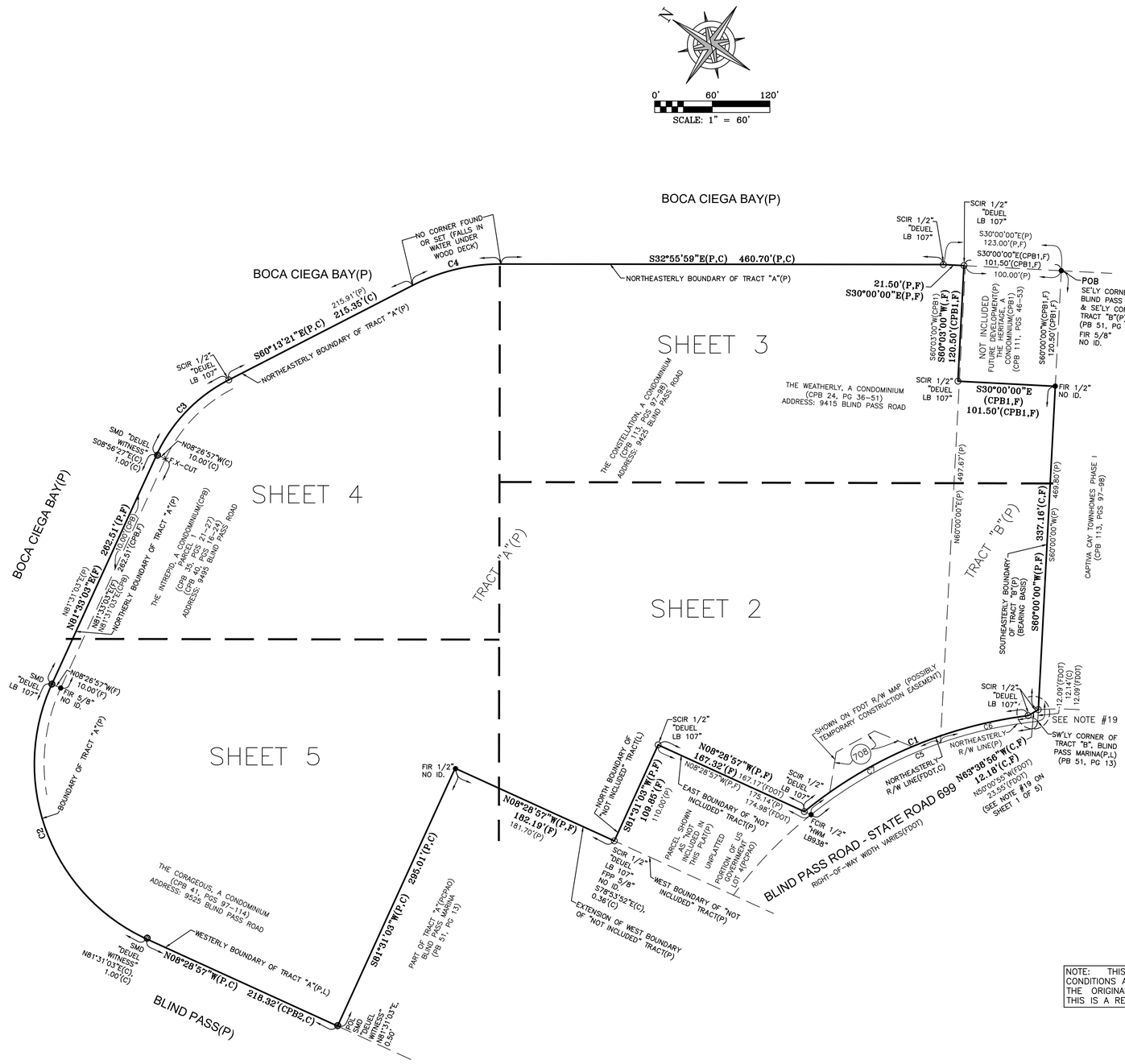
E.ROM
SUP087

SEC. 25, TWP. 31 S., RNG. 15 E.

PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46–48 (THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18 (YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN–OUT
SMD	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE



BOUNDARY DETAIL

NOTE: THIS SURVEY REFLECTS THE CONDITIONS AS THEY WERE AT THE TIME OF THE ORIGINAL SURVEY, MARCH 20, 2017. THIS IS A RECERTIFICATION, NOT AN UPDATE.

DESCRIPTION:

YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH (CPB 24, PG 40)
THAT PART OF TRACTS "A" AND "B", BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEASTERLY CORNER OF BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, THE SAME BEING THE SOUTHEASTERLY CORNER OF TRACT "B", 469.80 FEET TO A POINT ON THE NORTHEASTERLY RIGHT–OF–WAY LINE CURVE OF GULF BOULEVARD, SAID POINT BEING THE SOUTHWESTERLY CORNER OF SAID TRACT "B", SAID CURVE BEING CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 450.28 FEET; THENCE ALONG THE ARC OF SAID RIGHT–OF–WAY LINE CURVE AND ALONG THE SOUTHWESTERLY BOUNDARY OF SAID TRACT "B" AND CONTINUATION THEREOF, A CHORD BEARING AND DISTANCE OF N.55°24'12"W., 255.12 FEET; THENCE N.8°28'57"W., ALONG THE EAST BOUNDARY OF A TRACT OF LAND NOTED ON THE PLAT OF SAID BLIND PASS MARINA AS "NOT INCLUDED IN THEI PLAT", A DISTANCE OF 175.14 FEET; THENCE S.81°31'03"W.,ALONG THE NORTH BOUNDARY OF SAID TRACT , A DISTANCE OF 110.00 FEET; THENCE N.8°28'57"W., ALONG THE EEXTENSION OF THE WEST BOUNDARY OF SAID TRACT, A DISTANCE OF 181.70 FEET; THENCE S.81°31'03"W., 295.01 FEET TO A POINT ON THE WESTERLY BOUNDARY OF TRACT "A" OF SAID BLIND PASS MARINA; THENCE N.8°28'57"W., ALONG SAID WESTERLY BOUNDARY, 218.32 FEET TO THE POINT OF CURVATURE FO A CURVE THAT IS CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 200.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND THE BOUNDARY OF SAID TRACT "A", A CHORD BEARING AND DISTANCE OF N.36°31'03"E., 282.84 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE N.81°31'03"E., ALONG THE NORTHERLY BOUNDARY OF SAID TRACT "A", 262.51 FEET TO THE POINT OF CURVATURE OF A CURVE THAT IS CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 166.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY BOUNDARY, A CHORD BEARING AND DISTANCE OF S.79°21'09"E., 108.80 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.60°13'21"E., ALONG THE NORTHEASTERLY BOUNDARY OF SAID TRACT "A", 215.35 FEET TO THE POINT OF CURVATURE OF A CURVE THAT IS CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 200.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHEASTERLY BOUNDARY, A CHORD BEARING AND DISTANCE OF S.46°34'40"E., 94.36 FEET TO THE POINT OF TANGENCY OF SAID CUVE; THENCE S.32°55'59"E., ALONG SAID NORTHEASTERLY BOUNDARY, 460.70 FEET; THENCE S.30°00'00"E., ALONG SAID NORTHEASTERLY BOUNDARY, 123.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO RIGHTS–OF–WAY OF RECORD.

LESS:

THE HERITAGE, A CONDOMINIUM AS RECORDED IN CONDOMINIUM BOOK 111, PAGES 46 THROUGH 53, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

SURVEYOR'S REPORT:

1. BEARINGS ARE BASED ON THE SOUTHEASTERLY BOUNDARY OF TRACT "B", BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING S60°00'00"W AS SHOWN ON SAID PLAT.
2. THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J–17.052(6) DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
3. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
4. NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES, ENCROACHMENTS, IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. UNDERGROUND UTILITY LINE LOCATIONS (IF SHOWN HEREON) ARE BASED UPON UTILITY PROVIDER ATLASES AND VISIBLE SURFACE EVIDENCE.
5. RE–USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE–USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE TO WHOM CERTIFIED.
6. THIS SURVEY IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE AREAS.
7. THE SITE APPEARS TO BE IN FLOOD ZONE AE (EL 11 & EL 12), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 12103C0194G, COMMUNITY NUMBER 125149, EFFECTIVE DATE SEPTEMBER 3, 2003. TRANSYSTEMS AND THE SIGNING SURVEYOR HEREON ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS DETERMINATION. THE AUTHOR OF THE MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM" AND "THAT BASE FLOOD ELEVATIONS (BFEs) SHOWN REPRESENT ROUNDED WHOLE–FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT". THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.
8. FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE SCALED FROM SAID MAP.
9. SHOWN ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
10. UNLESS OTHERWISE INDICATED, THE PROPERTY DESCRIPTION AND EASEMENTS SHOWN WERE FURNISHED TO TRANSYSTEMS AND ARE PRESUMED TO BE CORRECT. NO SEARCH OF ANY PUBLIC RECORDS, FOR EASEMENTS, DEEDS, ETC., WAS PERFORMED BY THIS FIRM FOR THE COMPLETION OF THIS SURVEY AND THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
11. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RIGHTS–OF–WAY AND OTHER MATTERS OF RECORD.
12. ELEVATIONS ARE BASED ON NGS BENCHMARK "BLIND F" (PID# AG0343) HAVING AN ELEVATION OF 3.87 FEET NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).
13. TREES 4" IN DIAMETER AND LARGER HAVE BEEN LOCATED WITH COMMON NAME AND APPROXIMATE DIAMETER BREAST HIGH. SMALLER TREES, NON–PROTECTED SPECIES (INCLUDING ORNAMENTALS) AND TREES WITHIN JURISDICTIONAL AREAS (IF ANY) HAVE NOT BEEN LOCATED. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT DIRECTION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN.
14. INFORMATION FOR ADJOINING PROPERTIES WAS OBTAINED FROM PINELLAS COUNTY PROPERTY APPRAISERS WEBSITE AT WWW. PCPAO.ORG. ON 11/16/2016.
15. THE OVERALL BOUNDARY SHOWN HEREON WAS MONUMENTED FOR THE PURPOSES OF THIS SURVEY. THE INTERIOR CONDOMINIUM PARCEL BOUNDARIES HAVE NOT BEEN SURVEYED OR MONUMENTED AND ARE CONSIDERED INCIDENTAL.
16. THIS SURVEY CONSISTS OF FIVE(5) SHEETS. EACH SHEET IS INTENDED TO BE USED IN CONJUNCTION WITH ONE ANOTHER. THIS SURVEY IS NOT COMPLETE WITHOUT ALL FIVE (5) SHEETS.
17. THIS SURVEY IS BASED ON U.S. FEET.
18. THE SUBJECT PARCEL CONTAINS 552,578 SQUARE FEET, (12.685 ACRES) MORE OR LESS.
19. THE FDOT RIGHT–OF–WAY MAPS SHOW 10'± MORE ALONG THE RIGHT–OF–WAY OF BLIND PASS ROAD. THE WEST END OF THE RIGHT–OF–WAY AND THE CURVE DATA SHOWN ON THE FDOT RIGHT–OF–WAY SECTION MAPS WERE HELD TO CALCULATE THE RIGHT–OF–WAY LOCATION SHOWN HEREON. THE POSSIBILITY EXISTS THAT IF THE EAST END OF THE RIGHT–OF–WAY SHOULD BE HELD, THE LINE AND CURVE GEOMETRY WOULD NEED TO BE ADJUSTED.

SEE SHEETS 2 THROUGH 5 FOR DETAILED LOCATION AND TOPOGRAPHY.

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
CH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
x0.00 x0.00	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET	D	STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
W	IRRIGATION WATER VALVE	YD	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

FREDERICK S. BACHMANN
PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA, LS 5174

WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 60'
SHEET NO.	1 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BTT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
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(CPB2)	CONDO PLAT BOOK 40, PG 18 (YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN–OUT
SMD	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
TEH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
+0.00	ELEVATION		RAILROAD SAFETY ARM
+0.00 X 0.00	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST		SANITARY MANHOLE
	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET		STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
W	IRRIGATION WATER VALVE	YD	YARD DRAIN

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 3 THROUGH 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J–17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	2 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BPT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46–48 (THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18 (YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
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NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
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RCP	REINFORCED CONCRETE PIPE
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R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
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SCO	SANITARY CLEAN–OUT
SMD	SET "MAG" NAIL & DISK
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TBM	TEMPORARY BENCHMARK
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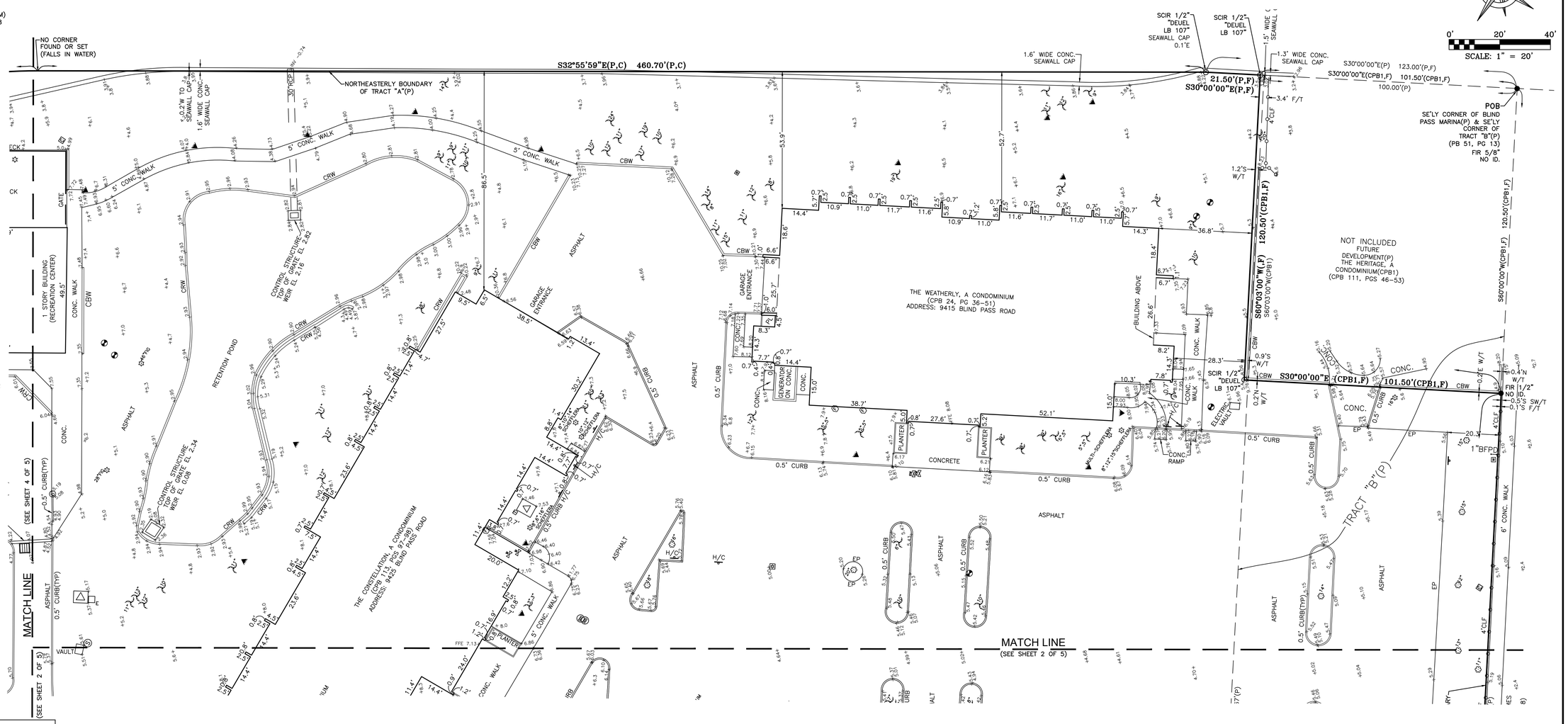
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE



SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
DH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
x0.00 BOC	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
G	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET	D	STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE	X	X–CUT (FOUND)
IW	IRRIGATION WATER VALVE	YD	YARD DRAIN

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 4 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
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BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
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WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	3 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BTT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
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ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
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(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
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(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
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FN&SQ.	FOUND NAIL & SQUARE TAB
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F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
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R/W	RIGHT–OF–WAY
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TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
DH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
0.00 BC/FL	ELEVATION BACK OF CURB / FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST		SANITARY MANHOLE
	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET		STORM SEWER MANHOLE
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	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
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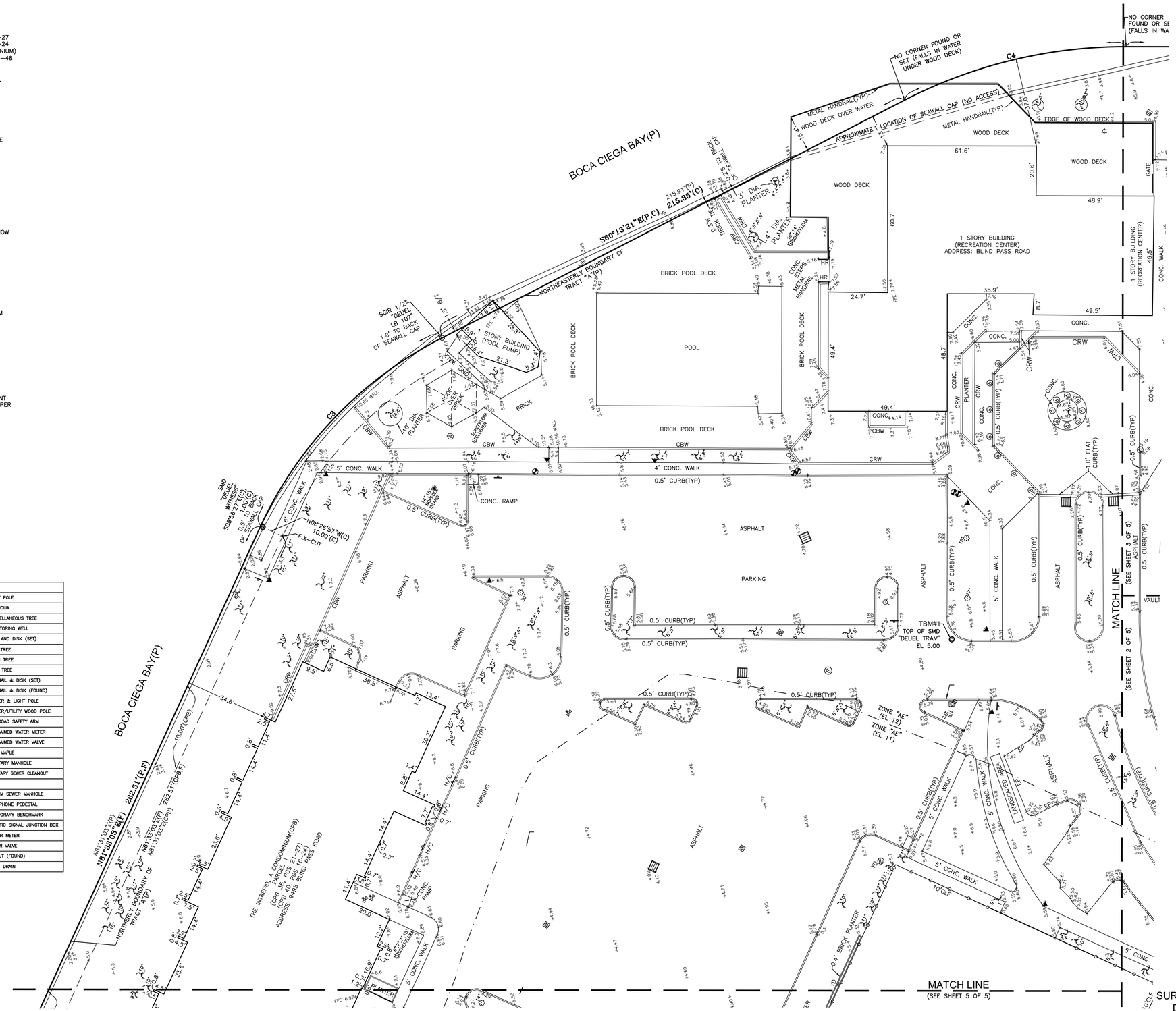

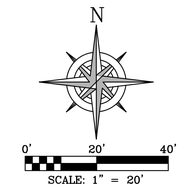

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS
565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
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BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
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WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	4 OF 5

Oct 29, 2024 – 11:17pm X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-EFT report.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
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SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
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	CLEANOUT	MW	MONITORING WELL
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	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
CTV	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x10.00	ELEVATION		RAILROAD SAFETY ARM
x10.00 BC FL	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION	SW	SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET	D	STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE	X	X–CUT (FOUND)
IW	IRRIGATION WATER VALVE	YD	YARD DRAIN

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 4 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

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4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J–17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	5 OF 5

Oct 29, 2024 – 11:17am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-SITE recert.dwg

TECHNICAL REVIEW COMMITTEE MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS

Agenda Report

Agenda Title Name: Case No. 24105 – Blind Pass Rd., Parcel: 25-31-15-95319-000-0001

Action Request:

Strategic Objective:

Date: January 22, 2025

Prepared By: Kristin Coman, Community Development Director

Through: Denise Sanderson, Community Development Director

Summary of Issue: Applicant requests a variance for replacement/installation of a 160 sq. ft, 10'x16', 10'h storage structure utilized for tennis/recreational storage where a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b).

Funding:

Attachments:

1. 24105 - Certificate of Completness with Submittal Documents

Memo To: Board of Adjustment
From: Kristin Coman, Senior Planner
Date: 12/20/2024
Re: **CERTIFICATE OF COMPLETENESS**

Please be advised that on this date, the following application has been deemed complete and will be scheduled for the Board of Adjustment and placed on the agenda for **January 29, 2025.**

Please note that this case does require TRC review prior to the hearing, tentatively to be held on 1/22/25.

Variance Case Number: 24105
Application Type: Unnecessary and Undue Hardship
Owner(s):
WEATHERLY, THE CONDO ASSN INC
CONSTELLATION, THE CONDO ASSN INC
INTREPID, THE CONDO ASSN INC
COURAGEOUS, THE CONDO ASSN INC
HERITAGE, THE CONDO ASSN INC
Applicant/Agent: Dan Nelson
Parcel Number: 25-31-15-09234-000-0001
Address: Blind Pass Rd., St. Pete Beach, FL 33706
Zone: RM

Submittal Documents:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of tennis building, 2 sheets.
4. Photo package submitted by applicant, consisting of 1 sheet with no date provided.
5. Proposals for buildings prepared by Wally Watt, Inc., no date, consisting of 2 pages.
6. Compliance letter dated 1/24/2024 from Inertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/20/2022 consisting of 10 sheets.

The application and submittal documents will be forwarded to the following agents for review and/or comment:

City/Board Professionals:

- ☑ Board of Adjustment Attorney ***via email***
- ☐ Code Enforcement Manager ***via email***
- ☑ TRC Committee ***via email***
- ☐ Historic Preservation Board ***via email***

Board Members:

- ☑ Denise Chase, Chair
- ☑ Kathy Garchow, Vice Chair
- ☑ Al Causey
- ☑ Chris Core
- ☑ Dan Small

Cc: Dan Nelson, Applicant ***via email*** *(dnelsonytcbod@gmail.com)*

(25-31-15-09234-000-0001)

H-25-31-15-38257-000-1010
C-25-31-15-18649-000-0001
I-25-31-15-43209-000-0001
C-25-31-15-17858-000-0001
W-25-31-15-95319-000-0001

CASE #: 24105

PARCEL #:

SUBMITTAL DATE: 11-8-24 AMOUNT DUE: 500.00 PAYMENT DATE:

(mailing fee w/ Case No. 24104 (362.06))

UNNECESSARY AND UNDUE HARDSHIP VARIANCE APPLICATION

The following items are to be submitted, along with this application, **at least 30 days prior to the public hearing**:

- Two (2) copies of the property survey, completed in the last ten years, which contains the legal description, land area, and existing improvements on the site that has been signed and sealed by a surveyor licensed in the State of Florida;
- Seven (7) copies of a site plan showing the request, drawn to scale, of size between 11x17" and 36x48";
- Emailed copy of the survey and site plan to
- The Application Fee, payable to the City of St. Pete Beach (non-refundable)

RECEIVED NOV 08 2024 COMMUNITY DEVELOPMENT

OWNER/AGENT INFORMATION:

Weatherly, Constellation, Intrepid, Lourazcons, Heritage, The Condo Assoc Inc.

Identification	Name	Address	Phone #
Owner	YACHT + TENNIS ASSOC. INC.	9445 BLIND PASS RD. ST. PETE BEACH, FL 33706	(727) 367-5659
Applicant/ Agent	DANIEL R. NELSON	9425 BLIND PASS RD #1201 ST. PETE BEACH, FL 33706	(443) 496-0880

Owner Email Address:	Applicant/Agent Email Address:
YTCMANAGER@GREENACRE.COM	DNELSONYTCBOD@GMAIL.COM

PROPERTY FOR PROPOSED VARIANCE:

Zoning Designation	Future Land Use Designation	Lot Area
~~AE~~ RM	RM	4.810 AC ~~13 ACRES~~

Legal Description: Blind Pass Lanai (Common Elements) These parts of tracts A+B AKA "Recreation" 243.

Address: 9415, 9425, 9495, 9525 BLIND PASS RD. ST. PETE BEACH, FL 33706

Explanation of Request: REMOVAL AND REPLACEMENT OF 1 STORAGE SHED THAT MEASURES 10X16X10. ALL SHEDS WILL BE SHIELDED BY A COMBINATION OF 6' CHAIN LINK FENCE AND/OR A 6' CINDER BLOCK WALL. REQUESTING A VARIANCE TO ALLOW FOR PROPER MAINTENCE OF CONDOMINIUM OPERATIONS.

Findings Necessary for Granting Request: In order for an application for a unnecessary and undue hardship variance to be approved or approved with conditions, the Board of Adjustment must make a positive finding with regard to each of the provisions below, which are also located in Division 3 of the Land Development Code. The applicant has the burden of proof demonstrating that the application for the variance complies with each of these requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;

2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;

3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;

4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Comprehensive Plan or the Land Development Code, nor will it permit an increase in development density;

SEE ATTACHED

5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;

6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;

7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

8. The requested variance is in harmony with the general intent and purpose of the Comprehensive Plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Daniel R. Nelson 10/21/24

Signature of Applicant **Date** **Signature of Authorized Agent** **Date**

The following are answers to the "Findings Necessary for Granting Request" in our application for a variance under the "unnecessary and undue hardship" variance application from the City of St. Pete Beach

1. The St. Pete Beach Yacht & Tennis Club (YTC) is a large residential condominium complex located on approximately 13+/- acres that have four (4) thirteen (13) story condominium towers consisting of 353 individual units. We have a full-time maintenance staff to care for the property and its amenities. These amenities include green space, 2 shuffleboardcourts, 7 tennis/pickleball courts, a large swimming, pool, clubhouse, pro shop, and fitness center. We had 3 sheds on the property and since hurricane Helene, we now have just one shed.

2. The current sheds were erected in approximately the late 1990's. Three sheds were built to accommodate maintenance and homeowners as an amenity. These sheds were all slated for replacement in accordance with our reserve studies in 2023. It is recommended that all the sheds be replaced every 25 years. These sheds are as follows:

- General Maintenance shed
- Tennis/Pickleball court maintenance shed
- Owners Hobby shed

3. Storage space on the YTC property is very limited, and therefore these sheds are necessary, not only to properly maintain the property, but so as not to violate any zoning codes pertaining to appearances. In addition, having seven HARTRU tennis courts requires an immense amount of labor and we have situated a shed between the two sections of courts to allow the court maintenance employee to access all courts in an efficient and safe manner. In addition, the tennis shed stores play aggregate for dressing the courts as is required on a regular basis. This material needs to be protected from the rain to allow it to be utilized properly when needed. YTC also lists as an amenity, an owner hobby shop where owners can make minor repairs or work on larger crafts that require additional space. This space has grown to become a focal point of the community.

4. This hardship request has not deliberately or knowingly been created, which is inconsistent with a Comprehensive Plan or the Land Development Code. Since these sheds are only to be used to store equipment and tools, there will be no increase in the development density of Saint Pete Beach.

5. There is no intent to achieve any financial return, or any financial gain for this property in the request of this hardship. The request to replace these sheds is merely in keeping with the property standards, and to allow for proper maintenance and upkeep of the property.

6. We understand that the granting of a variance is treated the same for any applicant. As such granting such a variance would satisfy the needs of a large residential community, such as ours, and not affect neighboring communities in any manner. In addition, the location of our sheds is shielded from our neighboring communities by a 6' cinderblock wall and 6' chain-link fencing.

7. It is our belief that the requested variance is a minor deviation to the current code, and will continue to make reasonable use of the land especially since our sheds have been in these places for at least the past 25 years with no adverse effects. It can't be understated that we need proper storage areas to keep our tools and equipment in proper working order, out of sight and to ensure the safety of our owners.

8. It is understood that limiting the size of sheds on a single family residential lot in St. Pete Beach is necessary for several reasons, however our property sits on over 13 acres and is a significantly larger property than a single family residence and is what we consider a "controlled access" community, meaning we utilize private security to grant access. We believe that granting this variance will be in keeping with harmony of the area and surrounding neighborhoods and will not diminish or impair property values within the neighborhood.

VARIANCE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

DM I understand that the City will not accept or process an incomplete application.

DM I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a variance. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a variance.

DM On all variances except for administrative (de-minimis) variances, a majority vote is required. Action on this application by the BOA/City Commission may be continued to a later meeting.

DM I understand that if a variance is approved by the BOA, City Commission or City Manager, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval becomes voided.

DM I understand that if any application filed under the provisions of this Code is denied, no subsequent application seeking substantially the same or similar approval shall be filed within six months of the final decision on the original application.

DM I understand that any person aggrieved by the final decision of the Board of Adjustment or City Commission has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Appeals of decisions made by the City Manager for administrative variances are to a hearing officer designated by the City Commission and must be made within 30 days from the date of the final administrative decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

DM I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application if applicable.

After acknowledgement of these conditions, complete the application form on the following pages.

David R. Nelson — 10/21/24

Signature of Applicant — Date

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St Pete Beach, Fl 33706
(443) 496-0880
dnelsonytcbod@gmail com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

> It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President Kathy Shirley (Dec 18, 2024 15:55 AKST) 18/12/2024

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President _____

Name: ARON ZIONSKI

Building President _____ Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report 2024-12-18

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMVx36DzHqOm1wIPWJOA_ENk-y2lZJACm

"2024_1218 YTC - Variance Request Presidents Signature" History

Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 10:21:21 PM GMT

Document emailed to Kathy Shirley (garykathy@hotmail.com) for signature
2024-12-18 - 10:21:25 PM GMT

Email viewed by Kathy Shirley (garykathy@hotmail.com)
2024-12-18 - 10:30:28 PM GMT

Document e-signed by Kathy Shirley (garykathy@hotmail.com)
Signature Date: 2024-12-18 - 10:33:45 PM GMT - Time Source: server

Agreement completed.
2024-12-18 - 10:33:45 PM GMT

Adobe Acrobat Sign

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St. Pete Beach, Fl 33706
(443) 496-0880
dnelsonytcbod@gmail com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

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Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President _____

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President

Name: KAREN STRYKOWSKI

Building President Karen Strykowski (Dec 18, 2024 20:11 EST)

12/1
18/12/2024

Name: ARON ZIOUSL

Building President Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report 2024-12-19

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAaKfzY2dxHcB51NPTYEadsGDGpqtVut44

"2024_1218 YTC - Variance Request Presidents Signature" History

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2024-12-18 - 9:25:07 PM GMT

Document emailed to Karen Strykowski (kstryk2@gmail.com) for signature
2024-12-18 - 9:25:10 PM GMT

Email viewed by Karen Strykowski (kstryk2@gmail.com)
2024-12-18 - 10:53:20 PM GMT

Document e-signed by Karen Strykowski (kstryk2@gmail.com)
Signature Date: 2024-12-19 - 1:11:31 AM GMT - Time Source: server

Agreement completed.
2024-12-19 - 1:11:31 AM GMT

Adobe Acrobat Sign

Owner's Authorization for Agent

Community Development Department
City of St. Pete Beach, Florida

I/WE Yacht + Tennis Club Association, Inc.
(print name of property owner)

hereby authorize DANIEL R. NELSON
(print name of agent)

to represent me/us in an application for UNNECESSARY + UNDUE HARDSHIP
(type of application: variance, conditional use, zoning, etc.)

Signature of Owner

Signature of Owner

Jane McCroary, President
Print Name of Owner

Print Name of Owner

The forgoing instrument was acknowledged before me this 6th day of November 2024 by Jane McCroary or who is personally known // produced // as identification.

Macy Katherine Bishop
(Notary Signature)

11/6/2024
(Date)

My Commission Expires 10/13/2027

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824

PUBLIC HEARING SIGN POSTING AFFIDAVIT

Applicant, DANIEL R. NELSON, agrees to post the sign(s) in a conspicuous place, at the principal access to the property, in full view of the public, and not more than five (5) feet from the nearest street right of way or easement a minimum of seven (7) days in advance of the Public Hearing for unnecessary or undue hardship variances and practical difficulty variances, or seven (7) days in advance of the final administrative decision for administrative (de-minimis) variances, and remain in place until the requested action has been heard and decided. Multiple sign postings shall not be more than three hundred (300) feet apart. If the subject parcel(s) abut more than one (1) street, notices shall be posted along each street. When the subject parcel(s) does not front a public road, the sign shall be posted at the point on a public road by which the property is, or can be, reached.

The sign shall be maintained in good readable condition by the applicant. If the said sign is destroyed, lost, or becomes unreadable, the applicant or applicant's representative shall obtain a replacement sign. Any sign posted in accordance with these requirements shall be removed from the property and disposed of by the applicant or applicant's agent not later than 24 hours following the final decision.

Applicant/Agent (must fill out agent authorization form):

Name(print): DANIEL R. NELSON

Address: 9425 BLIND PASS RD. #1201 ST. PETE BEACH, FL 33706

Daniel R. Nelson — 11-6-24

Signature — *Date*

STATE OF FLORIDA)
) SS:
PINELLAS COUNTY)

The foregoing instrument was acknowledged before me this 6th day of November, 2021 by: Daniel R. Nelson who appeared before me, and is personally known to me, or has produced _____ as identification, and did take an oath.

My commission Expires:

10/13/2027

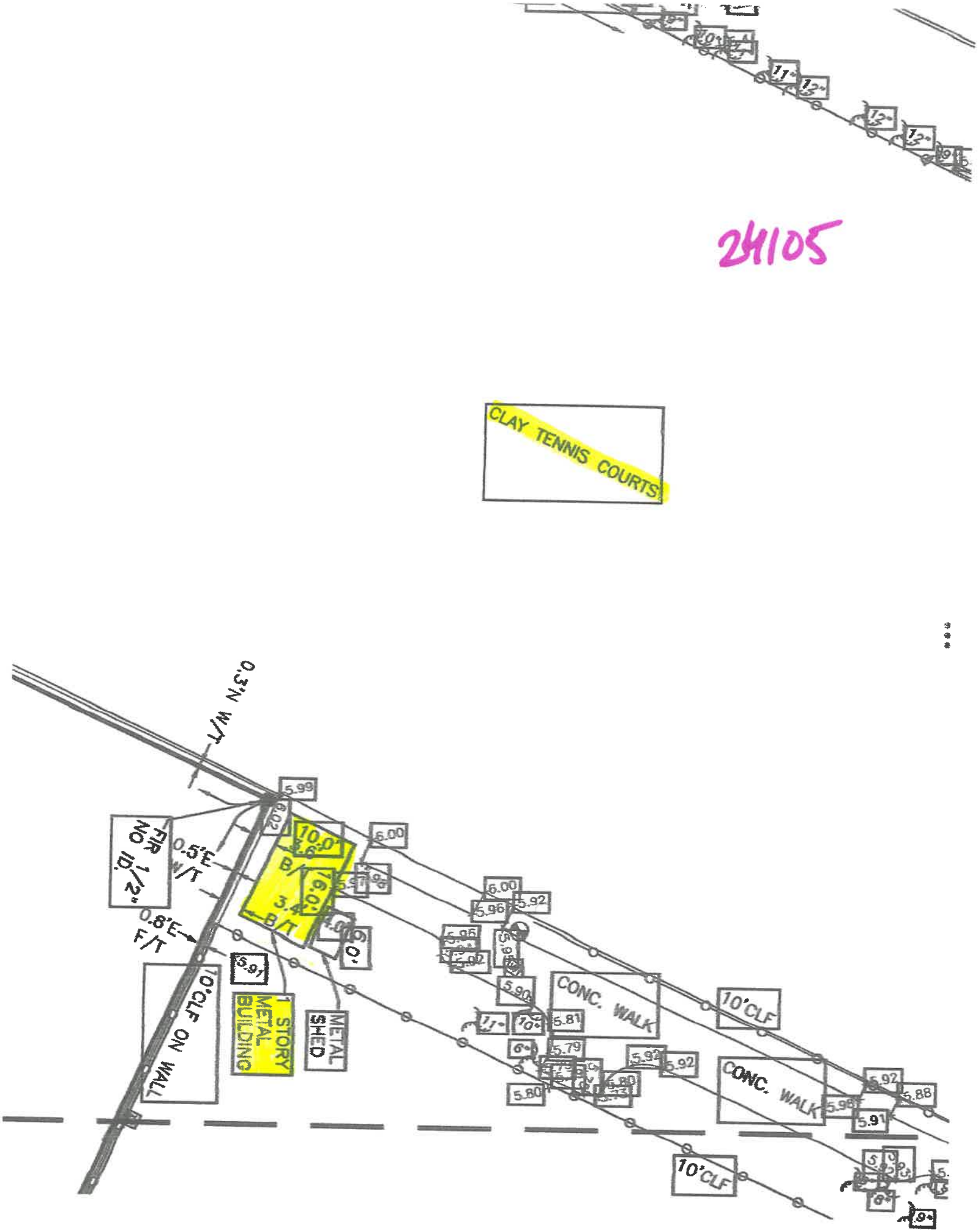
NOTARY:

Print Name: Tracey Katherine Bishop Notary Public, State of Florida

(Notarial Seal)

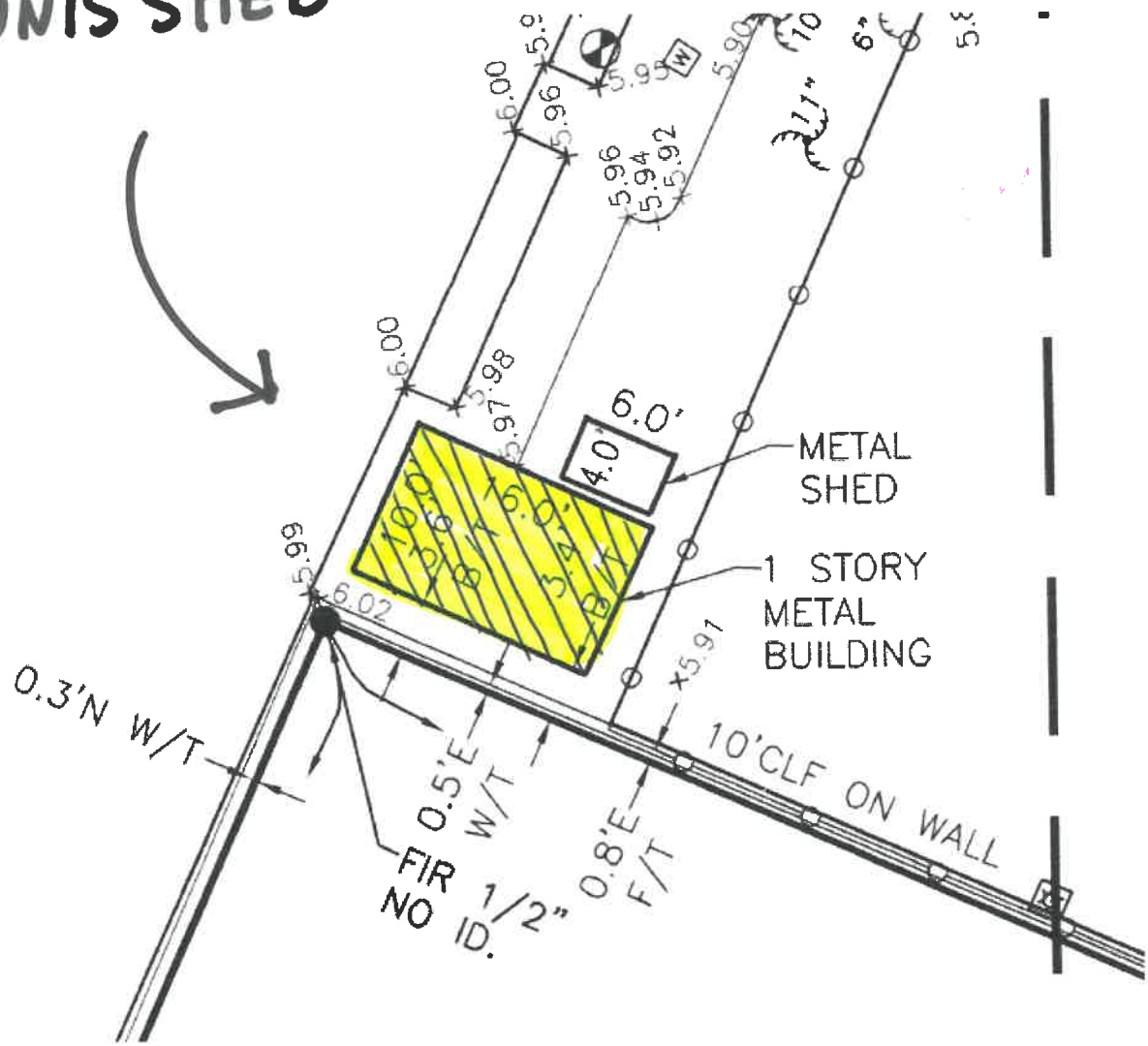
TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824

24105


CLAY TENNIS COURTS
0.3'N W/T
FR NO 1 1/2" ID
0.5'E L/W
3.8'E L/J
10'CLF ON WALL
1 STORY METAL BUILDING
METAL SHED
CONC. WALK
10'CLF
CONC. WALK
10'CLF

24105

-TENNIS SHED-



-TENNIS SHED-

24105

DESTROYED BY HURRICANE

Wally Watt, Inc.

PROPOSAL

24105

3569 Tyrone Boulevard
St. Petersburg, FL 33710 **C-9875**
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman Collin
Order Date 6-12-24

First Last Name Tennis Court (SPYC)
Address 9445 Blind Pass Rd
City, State, Zip SP Beach 33706
Phone Numbers
Authorized By

Classic Wally Watt

Roof Option
Peak
Shed
Pitch Back/Forward
Pitch Right/Left

Door Options
Single Door
Double Doors

Door Hinge Option
34" Hinged Left/Right

Classic Color
White
Cream

Bungalow Color
Walls _____
Trim _____
Door _____
Roof _____

Bungalow

Classic Trim Color
White
Cream
Black
Brown

Shelves (Extra fee)
Left/Right/Back

Options
Window
Vents/ FEMA
Extra Door
Roll up Door

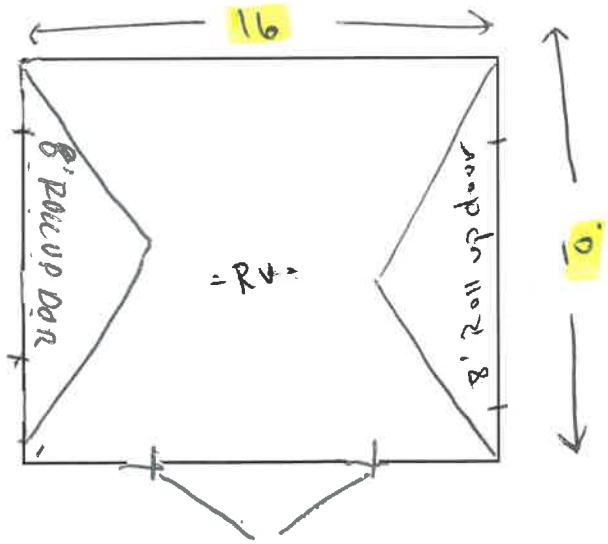
Floor Options
24" On Center
16" On Center
PT Plywood

Build On Jobsite (Extra fee)
Blocks/Anchors
Concrete Pad

Accessories
Chains/Stop
Key Lock

Building Size	Amount
10'x16'	$9050.00
2 Roll up Doors	$2000.00
Double Door	$250.00
Permit	$350.00
Build on Jobsite (fee)	Build on Site
Subtotal	$11,650.00
Tax	$815.50
Total Amount Due	$12,465.56
Deposit	
Balance Due	

Visa/Master Card/Cash/Ck #



Proposal good for 30 days. All fees for permits are non-refundable.

White - Original Canary - Office

The Bungalow is a classically styled building with a gable roof . This building has a lap-sided aluminum exterior with a baked on enamel finish which is durable and has minimal maintenance. With over sixteen standard sizes to choose from and dozens of possible color

atts, Inc.

on you are

lings are

izes plus

2

4

14

20

24

Company Background

Wally Watt, Inc. is proud to be a third generation family owned and operated company.

Established in 1953 ***Wally Watt, Inc.*** has provided storage solutions to the residents of the west coast of Florida for over 65 years.

The companies founding principles are the cornerstone of our operations today. Using only the highest quality aluminum materials and skilled workmanship, ***Wally Watt*** provides rust proof, maintenance free buildings.

Our Bungalow Buildings and Garages are manufactured with pressure treated floor systems and feature an insulated mobile home door, and a window or a ridge vent for proper airflow and ventilation. They are 10 feet tall and provide maximum space for storage. These buildings are pre-built and need open access for installation .

WallyWatt
Aluminum Storage Buildings

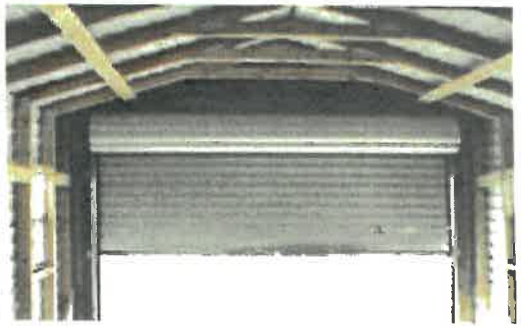
www.wallywatt.com

Gosan 8'

Bungalow Series

Wally Watt, Inc. Bungalow Series are available in the following sizes.

10x20	10x24	10x30
12x20	12x24	12x30



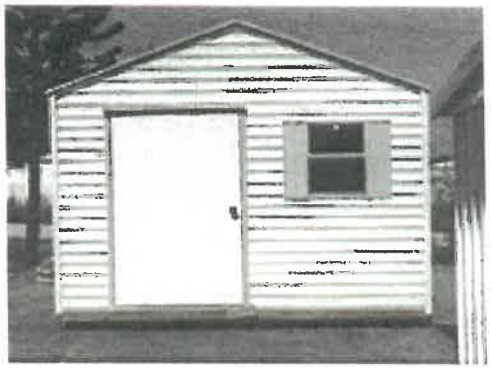
Storage Solutions Since 1953

Tel: (727) 381-3232

Bungalow Buildings

The **Bungalow** Series of buildings and Garages are custom designed and manufactured to your specific needs.

With over twenty standard sizes to choose from and fifty six possible color combinations, ***Wally Watt, Inc.*** can solve your storage needs.



WallyWatt

Aluminum Storage Buildings

3569 Tyrone Boulevard

St. Petersburg, Fl. 33710

Phone: (727) 381-3232

www.wallywatt.com

WallyWatt

Aluminum Storage Buildings

Bungalow Style

Storage Solutions Since 1953

Tel: (727) 381-3232

Monday-Friday 10 AM to 4:30 PM

Saturday 10 AM to 2 PM

24105

intertek
Total Quality. Assured.

Intertek-PSI
1748 33rd Street
Orlando, FL 32839

Tel +1 407 304 5560
Fax +1 407 304 5561
intertek.com/building

January 17, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road
Tallahassee, Florida 32399-0772

RE: Manufacturer: Superior Sheds
Agency Plan Number: SUP001-23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek[1] Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,

Ryan Knowles, SMP-64
Manager, Industrialized Buildings
Building Science Solutions

CC: Mr. Hector Llamas – hllamas@superiorsheds.com

[1] Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").
www.intertek.com/building

24105

SUPERIOR SHEDS

THE SUPERIOR

GENERAL NOTES

1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
2. BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
3. THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R 101.4.2 4, R402.1.
4. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
5. ALL LUMBER FOR CONSTRUCTION WILL BE SYP#2 EXCEPT AS NOTED.
6. GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS
7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE
8. IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE"
9. IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
10. IN ACCORDANCE WITH FLORIDA STATUTE 553.80(1)(d), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2023 FBC 8TH EDITION. SUCH BUILDINGS THAT DO NOT EXCEED 400 SQUARE FEET MAY BE DELIVERED AND INSTALLED WITHOUT NEED OF A CONTRACTOR'S OR SPECIALTY LICENSE.
11. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP
12. AS PER FBC SECTION 1626.1 EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE
13. COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2023 FBC 8TH EDITION.
14. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
15. IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
16. WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
17. HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION OCCURS PER MANUFACTURER'S INSTRUCTIONS
18. FLOOD VENTS TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14.

WIND LOAD CRITERIA

1. WIND SPEED (MPH): 144 Vasd/185 Vult
2. RISK CATEGORY: I
3. BUILDING CATEGORY: II
4. ENCLOSURE CLASSIFICATION: ENCLOSED
5. INTERNAL PRESSURE COEFFICIENT: GCpi = 0.18
6. EXPOSURE FACTOR: C
7. WIND DIRECTIONALITY FACTOR (Kd): 0.85
8. GUST RESPONSE FACTOR (Gh): 0.85
9. MAIN FRAME STRUCTURE OVERTURNING LOAD: Pr = -93.0 PSF
10. COMPONENT & CLADDING LOAD
    a. Pr = ZONE 1: -116.4 PSF, ZONE 2: -154.2 PSF, ZONE 3: -202.2 PSF (ROOF)
    b. PW = ZONE 4: +63.0/-68.4 PSF, ZONE 5: +63.0/-84.6 PSF (WALL)
11. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT
12. SEISMIC LOAD: N/A
13. FLOOD LOAD: SHEDS LOCATED IN A FLOOD HAZARD AREA MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

TABLE OF CONTENTS

SHEET	SHEET DESCRIPTION
1	COVER SHEET
2	FLOOR PLAN
3	SIDEWALL FRAMING
4	FLOOR FRAMING
5	ROOF FRAMING
6	CROSS SECTIONS
7	ENDWALL FRAMING
8	SCHEDULES
9	SCHEDULES

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORERO P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

BUILDING CODE	FBC, 8TH EDITION (2023)
RESIDENTIAL CODE	FRBC, 8TH EDITION (2023)
ELECTRICAL CODE	2020 NATIONAL ELECTRICAL CODE (NEC/NFPA 70-20)
BUILDING TYPE	RESIDENTIAL LAWN STORAGE SHED
MANUFACTURER	SUPERIOR SHEDS, LLC
AGENCY	INTERTEK (INTERTEK ATI)
AGENCY PLAN NUMBER	SUP001
CONSTRUCTION TYPE	V-B
FIRE PROTECTION	NO
FIRE SUPPRESSION SYSTEM	NO
OCCUPANCY	UTILITY
ALLOWABLE # OF STORIES	1
WIND VELOCITY	185 MPH, EXPOSURE C
FIRE RATING OF EXTERIOR WALLS	0
FLOOR LIVE LOAD - STANDARD	75 PSF
FLOOR LIVE LOAD - OPTIONAL	125 PSF
FLOOR DEAD LOAD	10 PSF
ROOF LIVE LOAD	30 PSF
ROOF DEAD LOAD	10 PSF
"R" RATING OF FLOOR,WALL,&ROOF	N/A
MODULES PER BUILDING	1
SQUARE FOOTAGE	719 SQ/FT MAX.
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
HVHZ APPROVED	YES

Ryan Kornahrens, SBCCI

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

SUPERIOR SHEDS

TITLE: THE SUPERIOR — COVER SHEET

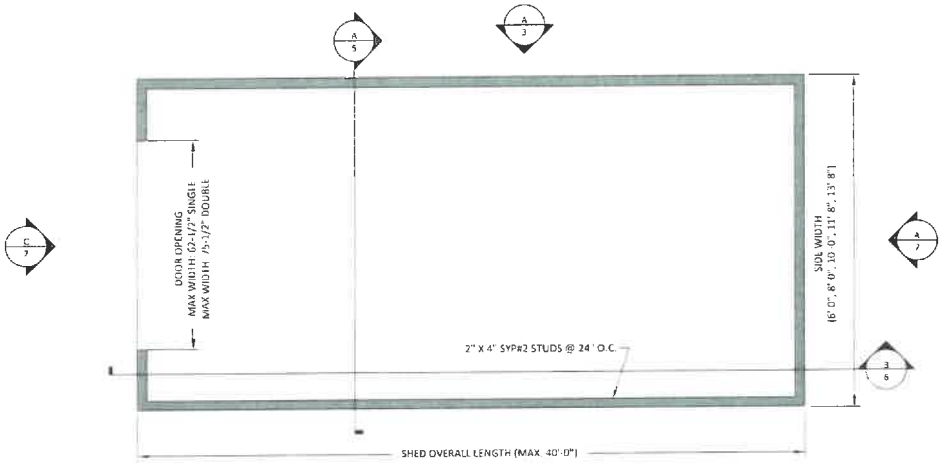
PREPARED BY: BUILDING DROPS, INC.

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

Digitally signed by Hermes F. Norero P.E.
Reason: I am approving this document
Date: 2024.01.11 09:07:00

HERMES F. NORERO LICENSE No. 73778 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. # SUP001
SHEET: 1 OF 9



NOTE. SHOWN IS THE 10'-0" X 20'-0"

FLOOR PLAN

NOTE:
SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS. SUPPLEMENTAL SISTER STUDS TO BE INSTALLED AT EACH DOOR/WINDOW CONNECTION FOR REINFORCEMENT

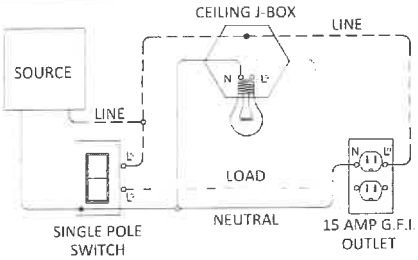
NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1200 PSI OR GREATER
2. MIN. ROOF SHEATHING: 04 ALUMINUM PANELS
3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
4. MIN. WALL SHEATHING: 04 ALUMINUM SIDING

NOTE:
23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" #8 HEX HEAD W/ WASHER SELF TAPPING SCREWS @ 6" ON EDGE & 12" IN FIELD.

ELECTRICAL NOTES & OPTIONS

- AS PER NEC ARTICLE 330.30(B) SECURING OF MC TYPE CABLE. UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 6FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION
- ALL WIRING SHALL BE 14 GAUGE 3-WIRE MC CABLE
- ENCASE IN ALL METAL BOXES

MAXIMUM NO. OF OUTLETS: 4
MAXIMUM NO. OF LIGHTS: 3



ELECTRICAL WIRING DIAGRAM

SCALE: NOT TO SCALE

SUPERIOR SHEDS
2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

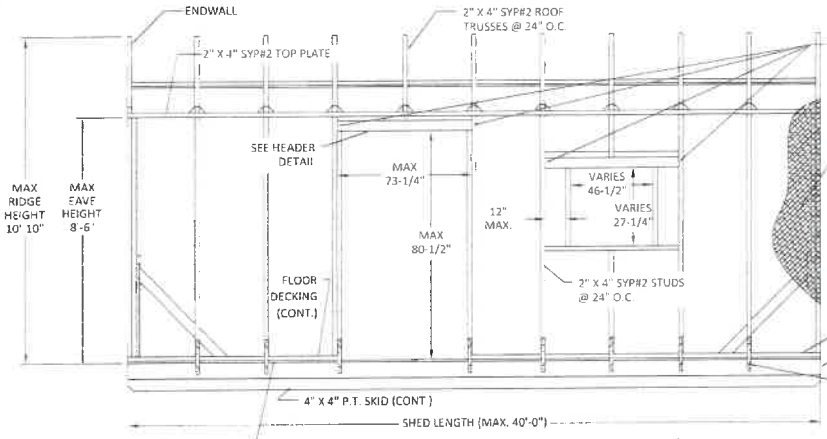
TITLE: THE SUPERIOR FLOOR PLAN

PREPARED BY BUILDING DROPS, INC.
1300 NW 163RD DRIVE, SUITE 175
MIAMI, FL 33169
PH: (954) 993 8478
FAX: (954) 442 6784
WEB: www.buildingdrops.com

REMARKS	BY	DATE
2023 CODE CHANGE	JD	12/23

HERMES F. NORIEGA LICENSE No. 73178 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG #: SUP001
SHEET: 2 OF 9



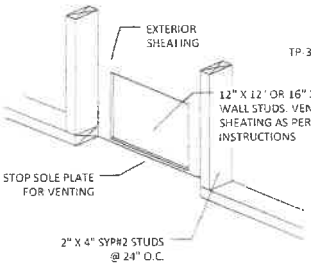
NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.

WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
- CORRUGATED ALUMINUM
- D4 ALUMINUM SIDING
- 1/2" OR 5/8" T1-11 SIDING
- JAMES HARDIE PANEL OR EQUIV.
- JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
- 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
- THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

The document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Ryan Beardsley, SMP 64

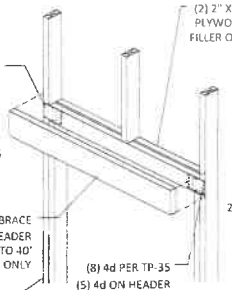
A3 SIDEWALL FRAMING



OPTIONAL HYDROVENT DETAIL

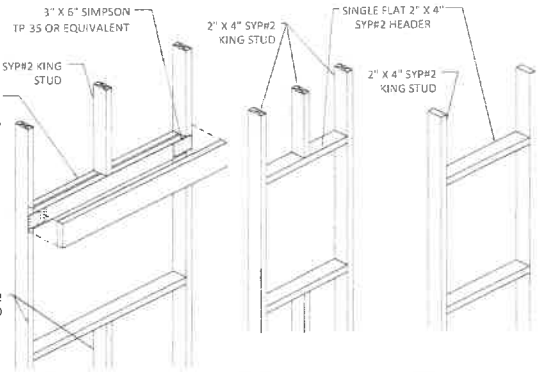
SCALE: NTS

FLOOD VENTS TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-24



DOOR DETAIL (TYP)

SCALE: NTS



NOTE:
FOR LARGE WINDOW WINDOW IS CENTERED WITH KING STUD

NOTE:
FOR SMALL WINDOW. WINDOW IS CENTERED WITH KING STUD

NOTE:
FOR SMALL WINDOW. WINDOW IS IN-BETWEEN KING STUDS

WINDOW DETAILS (TYP)

SCALE: NTS

SUPERIOR SHEDS

TITLE: THE SUPERIOR — SIDEWALL FRAMING

PREPARED BY: BUILDING DROPS, INC

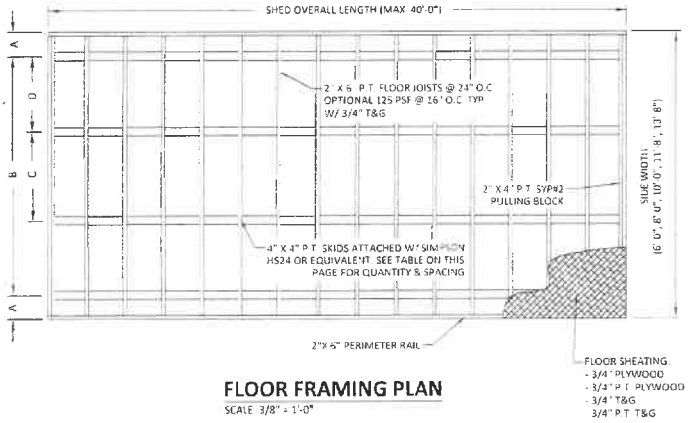
REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

HERMES F. NORIEGA LICENSE No. 73178 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE: 04.20.2022	
DWG. BY: LL	CHK. BY: HFN
SCALE: NTS	
DWG. #: SUP001	
SHEET: 3 OF 9	

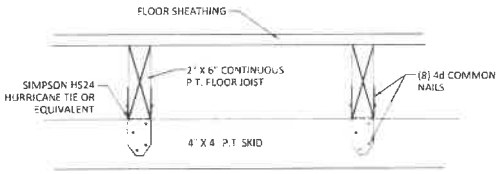
TABLE 2: SKID RUNNER SPACING*					
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	4'-4"	6'-6"	6'-10"	6'-4"	10'-11"
C	-	-	-	-	1'-10.5"
D	-	-	-	-	4'-0.25"

*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4" X 4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"



FLOOR JOIST TO SKID CONNECTION

SCALE: NOT TO SCALE

SUPERIOR SHEDS

TITLE: THE SUPERIOR — FLOOR FRAMING

PREPARED BY: BUILDING DROPS, INC.

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS PROPOSED WITHIN THIS ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE EQUIPMENT SUPPLIER'S INSTALLATION GENERAL ENTITIES OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT

HERMES F. NORIEGA LICENSE No 73778 STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE: 04.20.2022

DWG. BY: LL | CHK. BY: HFN

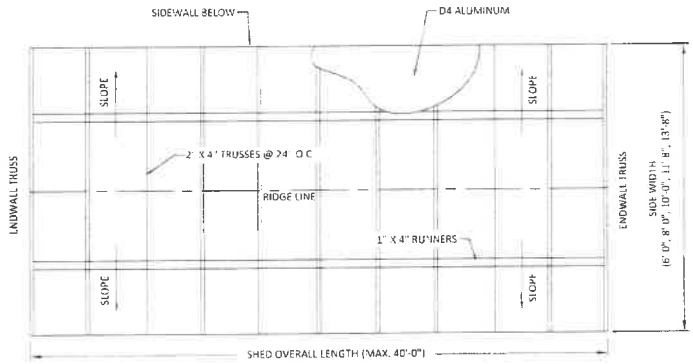
SCALE: NTS

DWG. #: SUP001

SHEET: 4 OF 9

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Ryan Knowles, SMEP-64



ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1200 PSI OR GREATER
2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Construction Type:
Occupancy:
Allowed Floors:
Fire Rating 1st Wall:
Wind Velocity:
Plan #:
Home Level:
Approved Date:

Ryan Reynolds, SBFRD

SUPERIOR SHEDS

TITLE: THE SUPERIOR
ROOF FRAMING

PREPARED BY: BUILDING DROPS, INC.
ENGINEERING CONSULTANTS
PH: (904) 217-8016
FAX: (904) 264-4238
WEB: www.buildingdrops.com

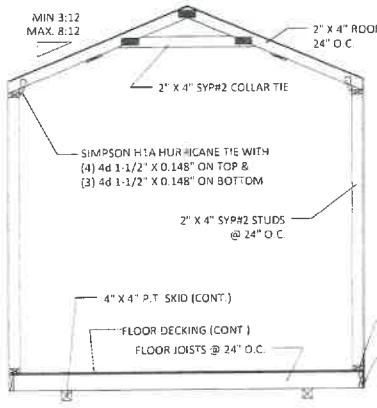
REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS OF THIS HOME ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS WITH HERein. A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS TO BE WITH THIS DOCUMENT.

HERMES F. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORIEGA
LICENSE No. 73778
BUILDING DROPS, INC.
ROOF STRUCTURAL COMPONENTS
WIND: 115 MPH
FBPE COA # 30 NUMBER DATE ON 10-20-21

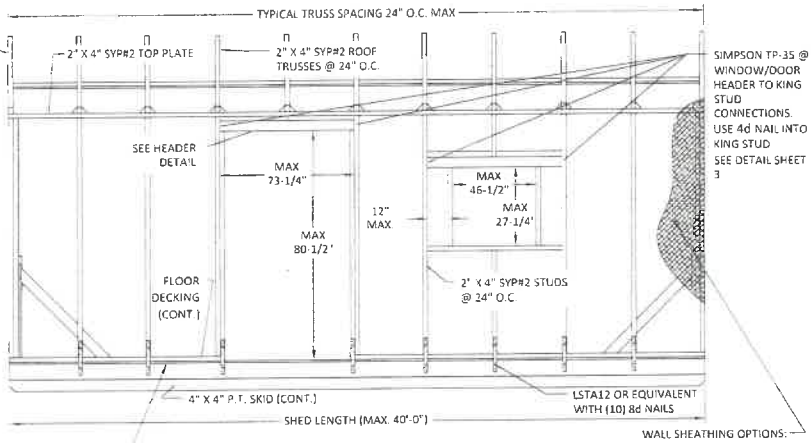
DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. # SUP001
SHEET: 5 OF 9



A
6

CROSS SECTION A

SCALE: 3/8"=1'-0"



ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LST-12 STRAP OR EQUIVALENT w/ 5 -10d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ 5-10d NAILS (TYPICAL)

B
6

CROSS SECTION B

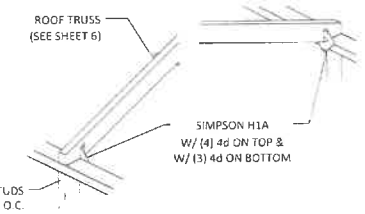
SCALE: 3/8"=1'-0"

WALL SHEATHING OPTIONS:

- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
- CORRUGATED ALUMINUM
- D4 ALUMINUM SIDING
- 1/2" OR 5/8" T1-11 SIDING
- JAMES HARDIE PANEL OR EQUIV.
- JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
- 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
- THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

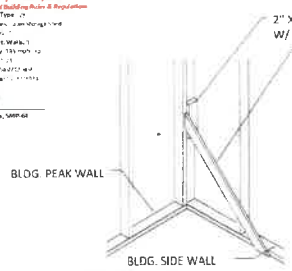
NOTE:
2" X 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.



ROOF TRUSS TO WALL CONNECTION

SCALE: NOT TO SCALE



1" X 4' BRACING, (2) ENDS CUT @ 45° ANGLE
SIDE WALLS 6'-20' = (4) 4' L X 1" X 4" BRACES
SIDE WALLS 22'-26' = (4) 6' L X 1" X 4" BRACES
SIDE WALLS 28'-40' = (8)/(16) 6' L X 1" X 4" BRACES
HARDWARE:
W/ (3) 10d @ TOP
W/ (3) 10d @ BOTTOM
W/ (2) 10d @ ALL IN-BETWEEN STUDS

NOTE:
BRACE COUNT DEPENDS ON THE QUANTITY OF CUT-OUTS

BRACE TO WALL CONNECTION

SCALE: NOT TO SCALE

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Construction Type
Occupancy
Allowed Floors
Fire Rating Ext. Walls
Wind Velocity
Roof Load
Floor Load
Approved Date

Ryan Knowles, MHP-68

SUPERIOR SHEDS
2373 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 339-2431

TITLE: THE SUPERIOR
CROSS SECTIONS

PREPARED BY: BUILDING DROPS, INC.
1000 NE ROANOKE BLVD, UNIT 215
STUART, FL 34994
PH: (954) 999-8431
FAX: (954) 210-4784
WEB: www.buildingdrops.com

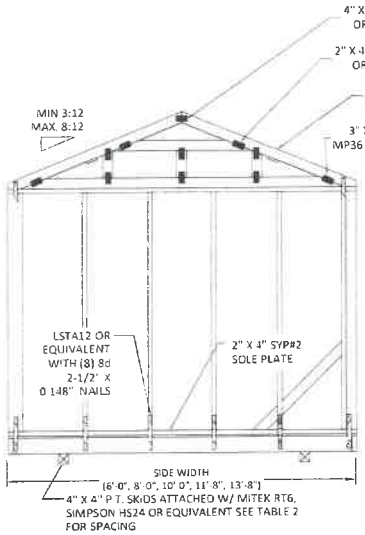
REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS WHICH MEET OR EXCEED THE STANDARDS MAY NOT REFLECT SITE-SPECIFIC CONDITIONS. CONSULT WITH A LICENSED ENGINEER TO SPEC CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE INSTALL REPORT. IF DETAILS REQUIRE AN ENGINEER OR ARCHITECT, IT SHALL REPLACE THE SPECIFIC DETAILS TO BE USED WITH THIS DOCUMENT.

HERMES A. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

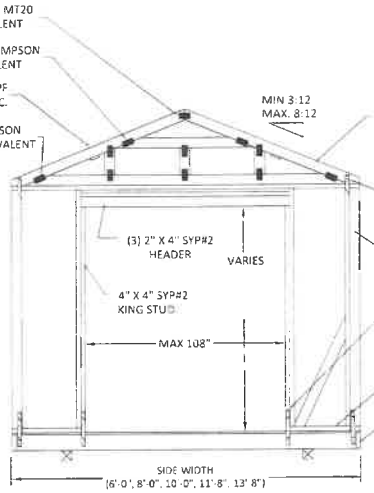
HERMES A. NORIEGA
FLORIDA P.E. No. 73778
BUILDING DROPS, INC.
1000 NE ROANOKE BLVD
STUART, FL 34994
CERTIFICATE OF AUTHORIZATION No. 28078

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG #: SUP001
SHEET: 6
OF 9



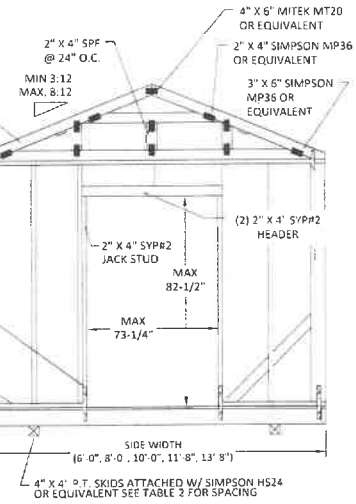
A/7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"



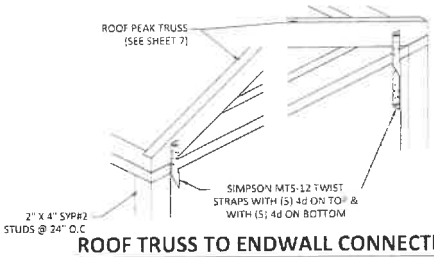
A/7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"
GARAGE DOOR



A/7 **ENDWALL FRAMING**

SCALE: 3/8"=1'-0"
DOOR



ROOF TRUSS TO ENDWALL CONNECTION

SCALE: NOT TO SCALE

SUPERIOR SHEDS
3323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE SUPERIOR — LANDWALL FRAMING

PREPARED BY: BUILDING DROPS, INC.
1900 NE MAGNOLIA COURT, SUITE 115
JENSEN BEACH, FL 34957
PH: (772) 237-2618
FAX: (772) 546-7216
WWW.BUILDINGDROPS.COM

REMARKS	BY	DATE
2023 CODE CHANGE	JD	12/23

THE INSTALLATION DETAILS SHOWN HEREIN ARE GENERIC AND MAY NOT REFLECT ALL CONDITIONS ON A SINGLE SITE. SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN. A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN THIS DOCUMENT.

HERMES A. NORIEGA
LICENSE No. 73178
STATE OF FLORIDA
PROFESSIONAL ENGINEER

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations

Ryan Knowles, SMP-60

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 7 OF 9

ALTERNATE FASTENING SCHEDULE

CONNECTION	FASTENING	
ALT 31-33 WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

STRAP & FASTENER SCHEDULE *

	PART#/DESC	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
RAFTER (B)	H1	[illegible]		6 - 8d X 1.5"	4 - 5d
	H11Z	[illegible]		6 - 16d X 2.5"	6 - 16d X 2.5"
	H2A	[illegible]	5 - 8d X 1.5"	5 - 8d X 1.5"	2 - 8d X 1.5"
	H2.5A	[illegible]		5 - 8d	5 - 5d
	H2.5	[illegible]	5 - 8d	5 - 8d	
	H2.5T	[illegible]	5 - 8d	5 - 8d	
	H2A	[illegible]	7 - 8d X 1.5"	5 - 8d X 1.5"	
	H3	[illegible]	4 - 8d	4 - 8d	
	H4	[illegible]	4 - 8d	4 - 8d	
	H5		4 - 8d	4 - 8d	
	LTS-12	[illegible]	6 - 10d X 1.5"	5 - 10d X 1.5"	
	LTS-16	[illegible]	6 - 10d X 1.5"	5 - 10d X 1.5"	
	LTS-18	[illegible]	6 - 10d X 1.5"	5 - 10d X 1.5"	
	LTS-20		6 - 10d X 1.5"	5 - 10d X 1.5"	
	MTS-12	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-16	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-18	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
	MTS-20	[illegible]	7 - 10d X 1.5"	7 - 10d X 1.5"	
PORCH	PART#/DESC.	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
	A21	[illegible]	2 - 10d X 1.5"	2 - 10d X 1.5"	
	A23	[illegible]	4 - 10d X 1.5"	4 - 10d X 1.5"	
	A33	[illegible]	4 - 10d	4 - 10d	
BTM PLATE	PART#/DESC	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	LSTA-18		7 - 10d	7 - 10d	
HEADER (D)	PART#/DESC.	UPLIFT	STUD FASTENER	HEADER FASTENER	
	TP-35	N/R	5'-3" X 0.131"	5'-3" X 0.131"	
	HP40,41,80,81	[illegible]	5'-3" X 0.131"	5'-3" X 0.131"	
TIE-DOWNS	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
	20GA 1-1/4" WIDE	[illegible]	7 - 10d X 1.5"		
	5/8" X 30" ANCHOR	[illegible]			

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS
B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS
C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS.
D. HEADERS OVER 6' 0" SPAN.

PRODUCT OPTIONS

PRODUCT CAT.	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL#: 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL#: 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	x	FL#: -
PANEL WALLS	SIDING	PLY GEM	x	FL#:
PANEL WALLS	SIDING	ADVANCED ALUM.	x	FL#:
PANEL WALLS	SIDING	SIMPSON LUMBER	x	FL#: -
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FL#: 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	200 9-LITE	FL#:
EXTERIOR DOORS	ROLL-UP	SANUS INT'L	ROLL-UP	FL#: -
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16153-R1
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 27202
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 28822
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 30848

SUPERIOR SHEDS
2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC.
1600 W. ANNAL COURT, SUITE 2
GILBERT, AZ 85233
PH: (954) 297-8470
FAX: (954) 416-9138
WEB: www.buildingdrops.com
CGC1516 [illegible]

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE INSTALLATION DETAILS SHEETS WHERE ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS. OR A SPECIFIC SITE. ANY CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS OF A FLORIDA REGISTERED ENGINEER OR ARCHITECT SHALL INITIATE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.

HERMES F. NORIEGA
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

[illegible]
TUSCAHOMA, No 73778
BUILDING DROPS, INC.
1600 W. ANNAL COURT, [illegible]
GILBERT, AZ 85233
CERTIFICATE OF AUTHORIZATION No 23676

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 8 OF 9

This document meets or exceeds the Requirements of the State of Florida Manufactured Building Rules & Regulations
Construction Type: [illegible]
Occupancy: [illegible]
Allowed Floors: [illegible]
Site Rating Est. Walls: [illegible]
Wind Velocity: [illegible]
Plan #: [illegible]
Plans Lead: [illegible]
Approval Date: [illegible]
Ryan Knowles, SMP-84

FASTENING SCHEDULE (FBC TABLE 2304.10.1)

CONNECTION	FASTENING	CONNECTION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2-1/2" X 0.131") ; 3 - 3" 14 GAUGE STAPLES	TOENAIL
2. BRINGING TO JOIST	2 - 8d COMMON (2-1/2" X 0.131") 2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" 14 GAUGE STAPLES	TOENAIL EACH END
3. 1"x6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2 1/2" X 0.131")	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3-1/2" X 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" X 0.135") AT 16" O.C	TYPICAL FACE NAIL
SOLE PLATE TO JOIST AT BLOCKING AT BRACED WALL PANEL	3 - 16d COMMON (3 1/2" X 0.135") AT 16" O.C 4 - 3" X 0.131" NAILS AT 16" O.C. 4 - 3" 14 GAUGE STAPLES AT 16" O.C	BRACED WALL PANEL
[illegible]	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
8. [illegible]	4 - 8d COMMON (2-1/2" X 0.131") 4 - 3" X 0.131 NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3-1/2" X 0.135") AT 24" O.C.	3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C
10. DOUBLE TOP PLATES	16d (3-1/2" X 0.135") AT 16" O.C.	3" X 0.131" NAILS AT 8" O.C 3" 14 GAUGE STAPLES AT 8" O.C
DOUBLE TOP PLATES		8 - 16d COMMON (3-1/2" X 0.135") AT 16" O.C.
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOENAIL
12. RIM JOIST TO TOP PLATE	8d COMMON (2 1/2" X 0.131") AT 6" O.C 3" X 0.131 NAILS AT 6" O.C 3" 14 GAUGE STAPLES AT 6" O.C	TOENAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3-1/2" X 0.162")	3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" X 0.162")	16" O.C ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 16d COMMON (3-1/2" X 0.131") 5 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
16. RIM JOIST TO TOP PLATE	4 - 8d COMMON (2-1/2" X 0.131")	TOE NAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS	3 - 16d COMMON (3-1/2" X 0.135") MIN 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS	3 - 16d COMMON (3-1/2" X 0.135") MIN 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
19. RAFTER TO PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
20. 1" DIAGONAL BRACE TO EACH STUD & PLATE	2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL

FASTENING SCHEDULE (FBC TABLE 2304.10.1)

21. 1"X8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
22. WIDER THAN 1"X8" SHEATHING TO EA. BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	24" O.C 16" O.C 16" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" X 0.192") AT 32" O.C 3" X 0.131" NAILS AT 24" O.C 3" 14 GAUGE STAPLES AT 24" O.C 2 - 20d COMMON (4" X 0.192") 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
		FACE NAIL AT ENDS AND AT EACH SPLICE
25. 2" PLANKS	16d COMMON (3-1/2" X 0.162")	AT EACH BEARING
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148") MIN 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3-1/2" X 0.135") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3-1/2" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD (B) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS — 6d (C,I,Q) 2-3/8" X 0.113" NAIL(N) 1-3/4" 16 GAUGE(O)	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 (REFER TO FIG. 30.4-1 OF ASCE 7)
	19/32" TO 3/4" — 8d(D) OR 6d (E) 2-3/8" X 0.113" NAIL(N) 2" 16 GAUGE (P)	
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 19/32" TO 3/4" FRAMING)	7/8" TO 1" — 8d(C) 10d(D) OR 8d(D)	
	1 1/8" TO 1-1/4" — 8d(C) 10d(D) OR 8d(D)	
	3/4" AND LESS — 6d(C)	
	7/8" TO 1" — 8d(C)	
	1-1/8" TO 1-1/4" — 10d(D) OR 8d(D)	
32. PANEL SIDING (TO FRAMING) (G)	1/2" OR LESS — 6d(F)	
	5/8" — 8d(F)	
33. FIBERBOARD SHEATHING (G,Q)	1/2" AND LESS — NO. 11 GAUGE ROOFING NAIL(H) 6d COMMON	6" O.C. EDGES AND INTERMEDIATE
	NAIL — (2" X 0.113") NO. 16	
	GAUGE — 25/32" STAPLE (I) NO. 11 GAUGE NAIL(H) 8d COMMON	
	NAIL — (2 1/2" X 0.131") NO. 16	
	GAUGE — STAPLE (I)	
34. INTERIOR PANELING	1/4" — 4d(J)	6" O.C. EDGES AND INTERMEDIATE
	3/8" — 6d(K)	

NOTES:

A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.

B. NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHETHING ARE PERMITTED TO BE COMMON, BOX OR CASING

C. COMMON OR DEFORMED SHANK (6d - 2 1/2" X 0.113", 8d - 2-1/2" X 0.131", 10d - 3" X 0.148") D. COMMON (6d - 2" X 0.113", 8d - 2-1/2" X 0.131" 10d - 3" X 0.148")

D. DEFORMED SHANK (6d - 2" X 0.113"; 8d - 2 1/2" X 0.131", 10d - 3" X 0.148").

E. CORROSION-RESISTANT SIDING (6d - 1-7/8" X 0.106", 8d - 2-3/8" X 0.128") OR CASING (6d - 2" X 0.099", 8d - 2-1/2" X 0.113") NAIL

F. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.

G. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1-3/4" LENGTH FOR SHEATHING

H. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHETHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).

I. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS

J. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS

K. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16"

L. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS

M. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING

N. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS

O. SEE FASTENER ALTERNATE SCHEDULE.

P. FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER.

SUPERIOR SHEDS
2333 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE SUPERIOR SCHEDULES

PREPARED BY: BUILDING DROPS, INC.
3800 NW 43RD STREET, SUITE 215
GAINESVILLE, FL 32606
PH: (904) 239-8478
FAX: (904) 618-8478
WEB: www.buildingdrops.com

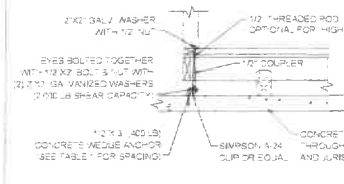
REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

THE NATURE OF THE DETAILS DEPICTED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO VARY FROM THE DETAIL, REPAIR TO THE DETAILS HEREIN, A COMPLETE ENGINEER OF RECORD FOR SITE, MUST REPRESENTS SPECIFIC DOCUMENTS TO BE WITH THIS DOCUMENT.

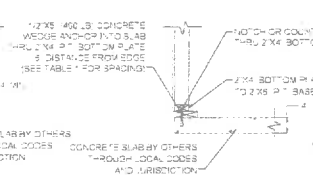
HERMES F. NORETO
LICENSE
No. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER

HERMES F. NORETO, P.E.
LICENSE # 73778
BUILDING DROPS, INC.
3800 NW 43RD STREET, SUITE 215
GAINESVILLE, FL 32606
CERTIFICATE OF AUTHORIZATION No. 23574

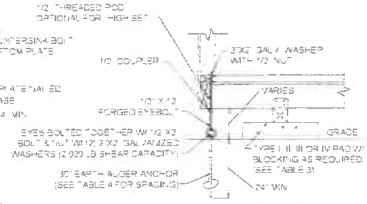
DATE: 04.20.2022	
DWG. BY: LL	CHK. BY: HFN
SCALE: NTS	
DWG. #: SUP001	
SHEET: 6 OF 9	



SHED WITH SKID
ANCHORED TO CONCRETE



SHED WITH "NO FLOOR" OPTION"
ANCHORED TO CONCRETE



SHED WITH SKID
TO PAD OR SLOCKING

30" AUGER ANCHOR (4,725 LB)
INSTALLED PER MFRS INSTRUCTIONS
EYELET AT MAXIMUM OF 6" ABOVE GRADE

SHED WITH SKID ANCHORING SHALL BE "MOBILE HOME" TYPE HR-7 SINGLE HELIX EYE AUGER ANCHORS BY HOME PRIDE OF BRISTOL, VA OR EQUIVALENT. AVERAGE HOLDING STRENGTH IS NOT LESS THAN 4,725 LBS

ANCHORING SYSTEM TO GROUND PER LOCAL BUILDING CODE. BY DEALER. LOCATE ANCHORS PER TABLE 4A OR 4B

THREADED ROD WITH EYEBOLTS SHALL BE PLACED THRU THE BOTTOM PLATE (FLOOR SYSTEM) AND ATTACHED TO ANCHOR. THESE CAN BE EXTENDED WITH THREADED ROD OR STRAPS WITH EQUAL OR GREATER STRENGTH FOR ELEVATED PORTIONS OF SHEDS ON LEVELING BLOCKS

SETUP AND INSTALLATION OF SINGLE WIDE SHED

1. BUILDING IS PLACED IN REQUESTED LOCATION ON SCHEDULE 40 PVC TO ALLOW FOR MOVEMENT TO PLUM OR SQUARE UNIT TO HOUSE, FENCE, PROPERTY LINE, ETC.
2. ONCE UNIT IS SQUARE AND THE HIGH SPOT OF THE GROUND IS ESTABLISHED, THE BUILDING IS BLOCKED ON THE HIGH SPOT OF THE GROUND AND LEVELED. THE OTHER END OF THE BUILDING IS BROUGHT UP TO LEVEL AND BLOCKED. THEN THE CENTER OF THE BUILDING IS SUPPORTED TO LEVEL. MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 2)
3. AFTER THE BUILDING IS LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 2)
4. ANCHOR PLACEMENT IS ESTABLISHED BY THE WIDTH OF THE BUILDING. HOLES ARE DRILLED THRU THE 2"X4" BOTTOM PLATE WITH A 1/2" AUGER BIT. 1/2" EYEBOLT OR OPTIONAL 1/2" THREADED ROD (FOR A "HIGH SET") IS SECURED THRU THE HOLE
5. ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS
6. IF THE UNIT HAS A FLOOR, EITHER A HOLE IS DUG FOR THE 30" AUGER ANCHOR AND BACKFILLED AND SECURED AS PER THE DETAIL OR A 1/2" HOLE IS DRILLED INTO THE CONCRETE 1-1/2" OFF THE FLOOR. THE EYEBOLT IS FASTENED THRU THE BOTTOM PLATE AND A SIMPSON A-34 OR EQUAL IS SECURED TO THE CONCRETE WITH A 1/2" WEDGE ANCHOR
7. IF THE UNIT A "NO FLOOR OPTION", ANCHOR WITH 1/2"X5" WEDGE ANCHOR THRU THE 2"X4" BOTTOM PLATE

SETUP AND INSTALLATION OF DOUBLE WIDE SHED

1. BUILDING IS PLACED IN REQUESTED LOCATION. THE FIRST SECTION OF THE DOUBLE WIDE IS PLACED ON THE HIGHEST LOCATION OF GROUND AND IS LEVELED UP
2. BLOCKS ARE THEN PLACED AT THE END, CENTER, AND OTHER END TO LEVEL. ONCE THE BUILDING IS LEVEL, BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 3)
3. THE NEXT SECTION OF THE SHED IS BACKED INTO PLACE AND UNLOADED PARALLEL WITH THE FIRST SECTION. THE TWO SECTIONS ARE CONNECTED AT THE LOWER CORNER WITH 1/2"X2" 1/2" BOLT AND NUT. THE SECOND SECTION IS THEN LEVELED AND THE OTHER BOLT HOLES ARE LINED UP AND BOLTED SECURE. THE REST OF THE BLOCKING IS THEN COMPLETED. THIS PROCEDURE IS REPEATED FOR MULTIPLE SECTION SHEDS UNTIL ALL SECTIONS ARE IN PLACE
4. GROUND ANCHORS ARE THEN ADDED (SEE TABLE 4B)
5. ONCE THE BUILDING IS PROPERLY BLOCKED AND BOLTED TOGETHER, THE SUPPORT BRACING IS REMOVED
6. ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS

TABLE 1
ANCHORING TO CONCRETE

SHED WIDTH	UPLIFT (PLF)	ANCHOR SPACING*
20'-0"	400	3'-6"
13'-8"	280	5'-6"
11'-8"	240	3'-6"
10'-0"	200	3'-6"
8'-0"	160	3'-6"
6'-0"	120	3'-6"

TABLE 2
SKID RUNNER SPACING*

SHED WIDTH	X1	X2	X3
13'-8"	1'-10 1/2"	4'-1-4"	1'-10 1/2"
11'-8"	2'-8"	5'-4"	-
10'-0"	1'-7"	6'-10"	-
8'-0"	3"	5'-4"	-
6'-0"	10"	5'1"	-

* VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4"X4"

NOTES:
1. HOLLOW OR SOLID CONCRETE BLOCKS (8"X8"X16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" W/O REINFORCING

TABLE 3A
PAD TYPES

TYPE	PAD DIMS	MAX LOAD*	MATERIAL
I	2"X8"X16"	1778 LBS	[illegible] CEMENT AND SAND MIX
II	4"X8"X16"	3600 LBS	[illegible] CEMENT AND SAND MIX
III	16"X16"	4000 LBS	ABS PLASTIC PADS
IV	8"X8"X16"	1900 LBS	[illegible] CEMENT AND SAND MIX

* BASED ON 2000 PSF SOIL BEARING CAPACITY. 2000 PSF IS TYPICAL

NOTES:
1. HOLLOW OR SOLID CONCRETE BLOCKS (8"X8"X16") MAY BE STACKED ON PADS FOR HIGH SETS UP TO 48" W/O REINFORCING

TABLE 3
SUPPORT FOOTING PAD SPACING FOR RUNNER BLOCKS FOR SINGLE & DOUBLE WIDE SHEDS

SHED DESCRIPTION				PAD	75 FLOOR LOAD MAXIMUM LOAD AND PAD TYPE			125 FLOOR LOAD MAXIMUM LOAD AND PAD TYPE			
SHED WIDTH	TYPE	LW* (PLF)	END PAD	MAX SPACING	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE	END PAD	SIDE RUNNER PAD TYPE	INTERIOR PAD	SIDE RUNNER PAD TYPE
10'-0"	SW/DW	6.15/332	2" TO 4"	5'-0"	1958 LBS	II, III OR IV	1958 LBS	II, III OR IV	2742 LBS	II, III OR III	3742 LBS	II, III OR III
11'-8"	SW DW	6.00/400	2" TO 4"	5'-0"	2574 LBS	II, III OR III	2574 LBS	II, III OR III	3924 LBS	[illegible]	3924 LBS	[illegible]
12'-0"	SW DW	5.00/450	0" TO 4"	5'-0"	2381 LBS	II, III OR III	2381 LBS	II, III OR III	3643 LBS	[illegible]	3643 LBS	[illegible]
8'-0"	SW	4.30/320	2" TO 4"	4'-0"	2000 LBS	II, III OR III	2000 LBS	II, III OR III	2121 LBS	[illegible]	2121 LBS	II, III OR III
6'-0"	SW	3.00/240	2" TO 4"	4'-0"	1458 LBS	II, III OR IV	1458 LBS	II, III OR IV	2233 LBS	II, III OR III	2233 LBS	II, III OR III

* LOAD WIDTH UPLIFT ON RUNNER

NOTES:
1. PAD SPACING IS END TO CENTER OF PAD
2. PADS OTHER THAN END PADS: SPACING IS CENTER TO CENTER
3. USE SAME MAXIMUM SPACING FOR INTERIOR SPACING

TABLE 4A
30" AUGER ANCHOR SPACING: SINGLE WIDE

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX INTERIOR SPACING***
13'-8"	7.00	243	0'-0" TO 3'-0"	10'-0"
11'-8"	6.00	208	0'-0" TO 3'-0"	10'-0"
10'-0"	5.00	174	0'-0" TO 3'-0"	10'-0"
8'-0"	4.00	138	0'-0" TO 3'-0"	10'-0"
6'-0"	3.00	104	0'-0" TO 3'-0"	10'-0"

TABLE 4B
30" AUGER ANCHOR SPACING: SINGLE WIDE

SHED WIDTH	LW*	UPLIFT (PLF)	END ANCHOR**	MAX INTERIOR SPACING***
20'-0"	10.00	400	0'-0" TO 3'-0"	5'-0"

* LOAD WIDTH UPLIFT ON RUNNER
** LOCATION OF END WALL OF AUGER ANCHOR
*** MAXIMUM SPACING BETWEEN ANCHORS

NOTES:
1. ANCHOR SPACING IS DESIGNED AS PER ASCE 7
2. ALL MEASUREMENTS ARE CENTER TO CENTER
3. THE MINIMUM NUMBER OF ANCHORS PER SHED IS (4). (3) ANCHOR PER EACH CORNER. ADDITIONAL INTERIOR ANCHORS ARE REQUIRED IF SPACING IS MORE THAN 10'-0" BETWEEN ANCHORS
4. ANCHORS SHALL BE ON SIDE WALLS EXCEPT WHEN THE SHED IS PLACED NEXT TO AN EXISTING BUILDING, IN WHICH ANCHORS CAN BE PLACED ON THE END WALLS AS CLOSE TO THE SIDE AS POSSIBLE

1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION
2. THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION R101.2.2 & R402.1
3. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
4. DOUBLE WIDE SHEDS ARE SECURED ON EACH SIDE OF THE MODULE SIDE WALLS

CODE INFORMATION

CODE VERSION	FBC 8TH EDITION (2023) ASCE-7-22
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUF. SHED
CONSTRUCTION	V-B
CODE VERSION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NO. OF STORIES	1
BASIC WIND SPEED	135 MPH (ULT)
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEF	+/- 0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10 PSF
ROOF LIVE LOAD	20 PSF OR 300 LBS
FLOOR DEAD LOAD	8 PSF
FLOOR LIVE LOAD	75 PSF / 125 PSF
"R" RATING (WALL, FLOOR, ROOF)	N/A
MODULES PER BUILDING	1
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SQUARE FOOTAGE	LESS THAN 720 S.F.

Digitally signed by Hermes F. Norero, P.E.
Reason: I am approving this document
Date: 2024.01.22 10:50:51 -05'00'

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORERO, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

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OFFICE: 813.996.7431
www.superiorsheds.com

SUPERIOR SHEDS

STRUCTURE FOR:
SUPERIOR SHEDS

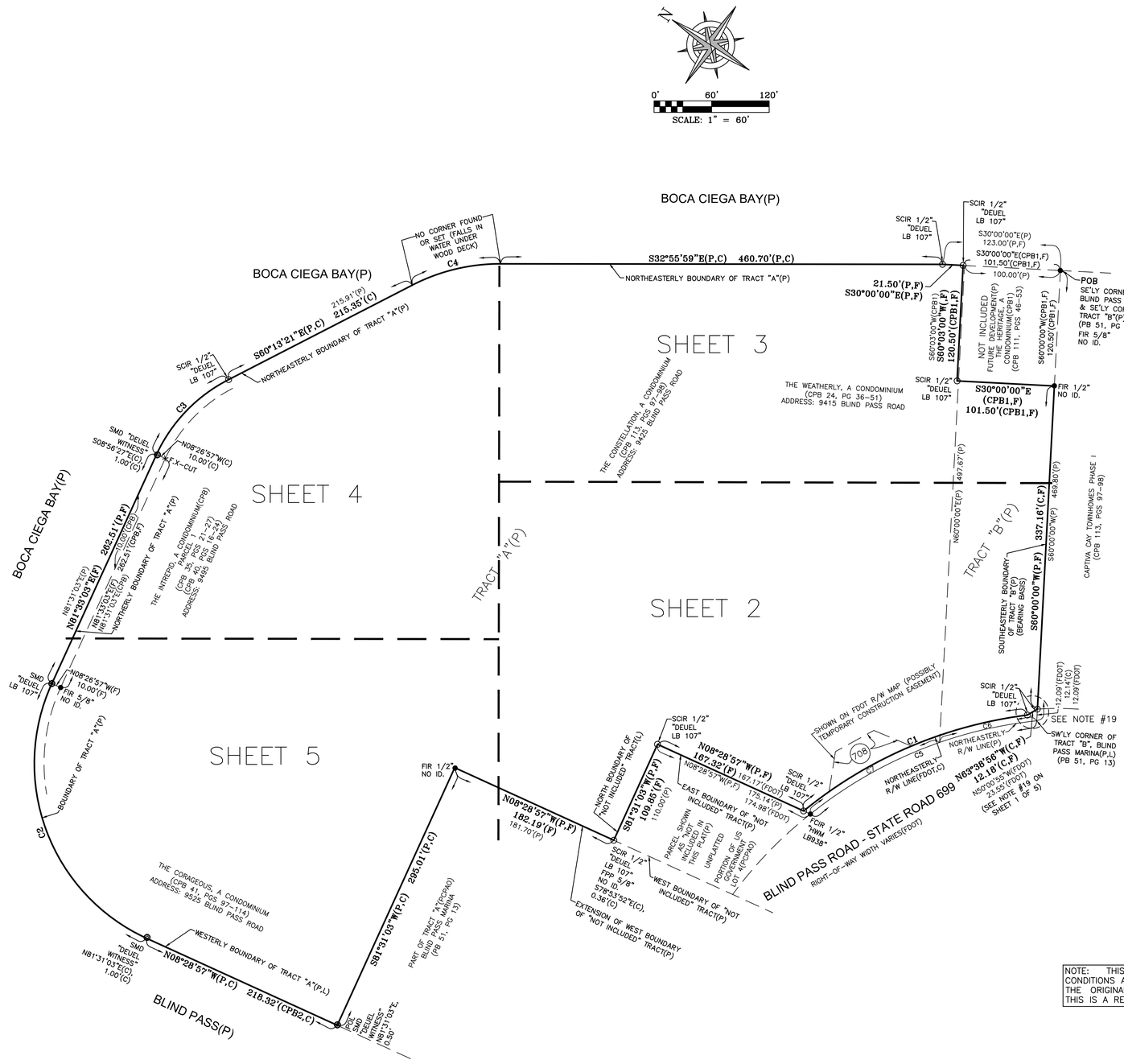
E-ROM
SUP087

SEC. 25, TWP. 31 S., RNG. 15 E.

PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46–48 (THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18 (YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN–OUT
SMD	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE



BOUNDARY DETAIL

NOTE: THIS SURVEY REFLECTS THE CONDITIONS AS THEY WERE AT THE TIME OF THE ORIGINAL SURVEY, MARCH 20, 2017. THIS IS A RECERTIFICATION, NOT AN UPDATE.

DESCRIPTION:

YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH (CPB 24, PG 40)

THAT PART OF TRACTS "A" AND "B", BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEASTERLY CORNER OF BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, THE SAME BEING THE SOUTHEASTERLY CORNER OF TRACT "B", 469.80 FEET TO A POINT ON THE NORTHEASTERLY RIGHT–OF–WAY LINE CURVE OF GULF BOULEVARD, SAID POINT BEING THE SOUTHWESTERLY CORNER OF SAID TRACT "B", SAID CURVE BEING CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 450.28 FEET; THENCE ALONG THE ARC OF SAID RIGHT–OF–WAY LINE CURVE AND ALONG THE SOUTHWESTERLY BOUNDARY OF SAID TRACT "B" AND CONTINUATION THEREOF, A CHORD BEARING AND DISTANCE OF N.55°24'12"W., 255.12 FEET; THENCE N.8°28'57"W., ALONG THE EAST BOUNDARY OF A TRACT OF LAND NOTED ON THE PLAT OF SAID BLIND PASS MARINA AS "NOT INCLUDED IN THEI PLAT", A DISTANCE OF 175.14 FEET; THENCE S.81°31'03"W.,ALONG THE NORTH BOUNDARY OF SAID TRACT , A DISTANCE OF 110.00 FEET; THENCE N.8°28'57"W., ALONG THE EEXTENSION OF THE WEST BOUNDARY OF SAID TRACT, A DISTANCE OF 181.70 FEET; THENCE S.81°31'03"W., 295.01 FEET TO A POINT ON THE WESTERLY BOUNDARY OF TRACT "A" OF SAID BLIND PASS MARINA; THENCE N.8°28'57"W., ALONG SAID WESTERLY BOUNDARY, 218.32 FEET TO THE POINT OF CURVATURE FO A CURVE THAT IS CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 200.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND THE BOUNDARY OF SAID TRACT "A", A CHORD BEARING AND DISTANCE OF N.36°31'03"E., 282.84 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE N.81°31'03"E., ALONG THE NORTHERLY BOUNDARY OF SAID TRACT "A", 262.51 FEET TO THE POINT OF CURVATURE OF A CURVE THAT IS CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 166.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHERLY BOUNDARY, A CHORD BEARING AND DISTANCE OF S.79°21'09"E., 108.80 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.60°13'21"E., ALONG THE NORTHEASTERLY BOUNDARY OF SAID TRACT "A", 215.35 FEET TO THE POINT OF CURVATURE OF A CURVE THAT IS CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 200.00 FEET; THENCE ALONG THE ARC OF SAID CURVE AND ALONG SAID NORTHEASTERLY BOUNDARY, A CHORD BEARING AND DISTANCE OF S.46°34'40"E., 94.36 FEET TO THE POINT OF TANGENCY OF SAID CUVE; THENCE S.32°55'59"E., ALONG SAID NORTHEASTERLY BOUNDARY, 460.70 FEET; THENCE S.30°00'00"E., ALONG SAID NORTHEASTERLY BOUNDARY, 123.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO RIGHTS–OF–WAY OF RECORD.

LESS:

THE HERITAGE, A CONDOMINIUM AS RECORDED IN CONDOMINIUM BOOK 111, PAGES 46 THROUGH 53, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

SURVEYOR'S REPORT:

1. BEARINGS ARE BASED ON THE SOUTHEASTERLY BOUNDARY OF TRACT "B", BLIND PASS MARINA, AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING S60°00'00"W AS SHOWN ON SAID PLAT.
2. THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J–17.052(6) DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
3. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
4. NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES, ENCROACHMENTS, IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. UNDERGROUND UTILITY LINE LOCATIONS (IF SHOWN HEREON) ARE BASED UPON UTILITY PROVIDER ATLASES AND VISIBLE SURFACE EVIDENCE.
5. RE–USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE–USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTHING HEREIN SHALL BE CONSTRUED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE TO WHOM CERTIFIED.
6. THIS SURVEY IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE AREAS.
7. THE SITE APPEARS TO BE IN FLOOD ZONE AE (EL 11 & EL 12), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP 12103C0194G, COMMUNITY NUMBER 125149, EFFECTIVE DATE SEPTEMBER 3, 2003. TRANSYSTEMS AND THE SIGNING SURVEYOR HEREON ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS DETERMINATION. THE AUTHOR OF THE MAP, THE FEDERAL EMERGENCY MANAGEMENT AGENCY, OR THE LOCAL GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM" AND "THAT BASE FLOOD ELEVATIONS (BFEs) SHOWN REPRESENT ROUNDED WHOLE–FOOT ELEVATIONS AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT". THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.
8. FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE SCALED FROM SAID MAP.
9. SHOWN ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
10. UNLESS OTHERWISE INDICATED, THE PROPERTY DESCRIPTION AND EASEMENTS SHOWN WERE FURNISHED TO TRANSYSTEMS AND ARE PRESUMED TO BE CORRECT. NO SEARCH OF ANY PUBLIC RECORDS, FOR EASEMENTS, DEEDS, ETC., WAS PERFORMED BY THIS FIRM FOR THE COMPLETION OF THIS SURVEY AND THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
11. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RIGHTS–OF–WAY AND OTHER MATTERS OF RECORD.
12. ELEVATIONS ARE BASED ON NGS BENCHMARK "BLIND F" (PID# AG0343) HAVING AN ELEVATION OF 3.87 FEET NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).
13. TREES 4" IN DIAMETER AND LARGER HAVE BEEN LOCATED WITH COMMON NAME AND APPROXIMATE DIAMETER BREAST HIGH. SMALLER TREES, NON–PROTECTED SPECIES (INCLUDING ORNAMENTALS) AND TREES WITHIN JURISDICTIONAL AREAS (IF ANY) HAVE NOT BEEN LOCATED. TREES BY NATURE ARE IRREGULAR IN SIZE AND SHAPE. EVERY EFFORT IS MADE TO ACCURATELY LOCATE TREES. THE TREE LOCATION IS THE CENTER OF THE TREE. THIS LOCATION MAY BE DIFFERENT IF LOCATED FROM A DIFFERENT DIRECTION. ALL TREE LOCATIONS SHOULD BE FIELD CHECKED IF CRITICAL TO DESIGN.
14. INFORMATION FOR ADJOINING PROPERTIES WAS OBTAINED FROM PINELLAS COUNTY PROPERTY APPRAISERS WEBSITE AT WWW. PCPAO.ORG. ON 11/16/2016.
15. THE OVERALL BOUNDARY SHOWN HEREON WAS MONUMENTED FOR THE PURPOSES OF THIS SURVEY. THE INTERIOR CONDOMINIUM PARCEL BOUNDARIES HAVE NOT BEEN SURVEYED OR MONUMENTED AND ARE CONSIDERED INCIDENTAL.
16. THIS SURVEY CONSISTS OF FIVE(5) SHEETS. EACH SHEET IS INTENDED TO BE USED IN CONJUNCTION WITH ONE ANOTHER. THIS SURVEY IS NOT COMPLETE WITHOUT ALL FIVE (5) SHEETS.
17. THIS SURVEY IS BASED ON U.S. FEET.
18. THE SUBJECT PARCEL CONTAINS 552,578 SQUARE FEET, (12.685 ACRES) MORE OR LESS.
19. THE FDOT RIGHT–OF–WAY MAPS SHOW 10'± MORE ALONG THE RIGHT–OF–WAY OF BLIND PASS ROAD. THE WEST END OF THE RIGHT–OF–WAY AND THE CURVE DATA SHOWN ON THE FDOT RIGHT–OF–WAY SECTION MAPS WERE HELD TO CALCULATE THE RIGHT–OF–WAY LOCATION SHOWN HEREON. THE POSSIBILITY EXISTS THAT IF THE EAST END OF THE RIGHT–OF–WAY SHOULD BE HELD, THE LINE AND CURVE GEOMETRY WOULD NEED TO BE ADJUSTED.

SEE SHEETS 2 THROUGH 5 FOR DETAILED LOCATION AND TOPOGRAPHY.

CURVE TABLE

CURVE	ARC DISTANCE	RADIUS	CENTRAL ANGLE	CHORD BEARING	CHORD DISTANCE
C1	257.01'(FDOT,C)	457.28'(FDOT,C)	32°12'09"(C)	N56°11'51"W(F) S56°17'27"E(FDOT)	253.64'(FDOT,F)
C2	314.16'(P)	200.00'(P,C)		N36°31'03"E(P)	282.84'(P)
C2	314.71'(C)	200.00'(P,C)	90°09'29"(C)	N36°35'47"E(C)	283.23'(C)
C3	110.85'(P)	166.00'(P)		S79°21'09"E(P)	108.80'(P)
C3	110.27'(C)	166.00'(C)	38°03'36"(C)	S79°03'21"E(C)	108.25'(C)
C4	95.26'(P)	200.00'(P)		S46°34'40"E(P)	94.36'(P)
C4	95.26'(C)	200.00'(C)	27°17'22"(C)	S46°31'40"E(C)	94.36'(C)
C5	258.66'(C)	450.28'(C)	32°54'48"(C)	N55°24'12"W(C)	255.12'(C)
C6	104.04'(P)	450.28'(P)		N45°33'58"W(P)	103.81'(P)
C7	154.62'(P)	450.28'(P)		N62°01'21"W(P)	153.86'(P)

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
CH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
x0.00 x0.00	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET	D	STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
W	IRRIGATION WATER VALVE	YD	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA

CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:

YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

FREDERICK S. BACHMANN
PROFESSIONAL LAND SURVEYOR
STATE OF FLORIDA, LS 5174

WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 60'
SHEET NO.	1 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BTT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
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EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN–OUT
SMD	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
TEH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
+0.00	ELEVATION		RAILROAD SAFETY ARM
+0.00 X 0.00	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST		SANITARY MANHOLE
	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET		STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
W	IRRIGATION WATER VALVE		YARD DRAIN

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 3 THROUGH 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J–17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	2 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BPT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46–48 (THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18 (YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
℄	CENTERLINE
CLF	CHAIN LINK FENCE
CONC.	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
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FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
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H/C	HANDICAP PARKING SIGN
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HR	HANDRAIL (METAL)
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R/W	RIGHT–OF–WAY
SAN.	SANITARY
SEC.	SECTION
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SCO	SANITARY CLEAN–OUT
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VCP	VITRIFIED CLAY PIPE
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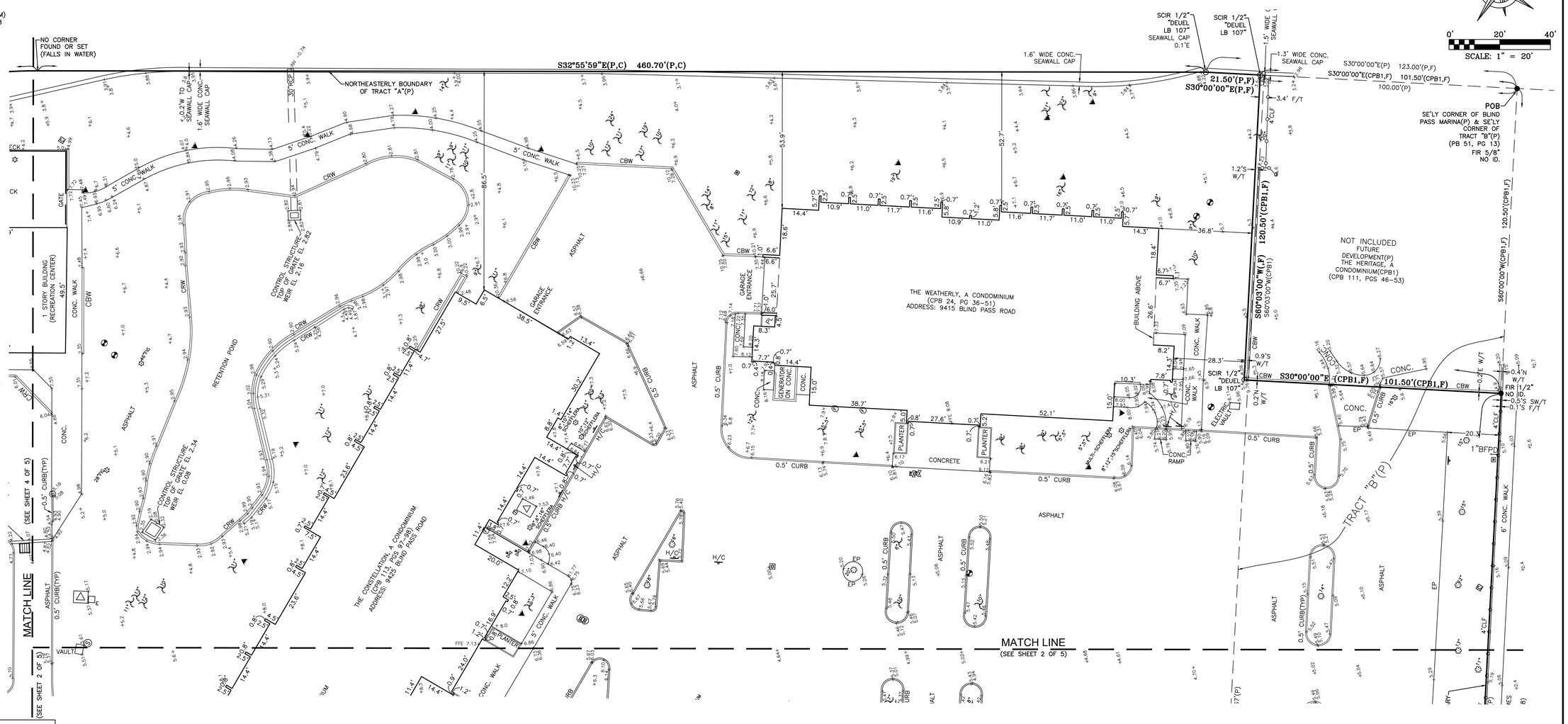
W/T	WALL TIE



SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
DH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
x0.00 BOC	ELEVATION BACK OF CURB FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
G	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET	D	STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
IW	IRRIGATION WATER VALVE	YD	YARD DRAIN

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 4 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

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WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	3 OF 5

Oct 29, 2024 – 11:16am X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-BTT recert.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21–27 CONDO PLAT BOOK 40, PGS 16–24 BOTH (THE INTREPID, A CONDOMINIUM)
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CONC.	CONCRETE
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C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ.	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID.	IDENTIFICATION
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LB	LICENSED BUSINESS
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R/W	RIGHT–OF–WAY
SAN.	SANITARY
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SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
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VCP	VITRIFIED CLAY PIPE
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W/T	WALL TIE

SYMBOL LEGEND

	BACK FLOW PREVENTION DEVICE		LIGHT POLE
	BOLLARD		MAGNOLIA
	CABLE TV BOX		MISCELLANEOUS TREE
	CLEANOUT	MW	MONITORING WELL
	CONCRETE LIGHT POLE		NAIL AND DISK (SET)
	CONCRETE MONUMENT (FOUND)		OAK TREE
	CONCRETE MONUMENT (SET)		PALM TREE
	CROSS WALK POLE		PINE TREE
	CYPRESS		PK NAIL & DISK (SET)
DH	ELECTRIC HAND HOLE		PK NAIL & DISK (FOUND)
E	ELECTRIC METER		POWER & LIGHT POLE
	ELECTRIC TRANSFORMER		POWER/UTILITY WOOD POLE
x0.00	ELEVATION		RAILROAD SAFETY ARM
x0.00	ELEVATION BACK OF CURB / FLOW LINE		RECLAIMED WATER METER
	ELM		RECLAIMED WATER VALVE
	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST		SANITARY MANHOLE
	FIRE DEPARTMENT CONNECTION		SANITARY SEWER CLEANOUT
	FLOOD/YARD LIGHT		SIGN
	GRATE INLET		STORM SEWER MANHOLE
	GUY WIRE ANCHOR		TELEPHONE PEDESTAL
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	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
	IRON ROD (FOUND)		WATER METER
	IRON ROD (SET)		WATER VALVE
	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
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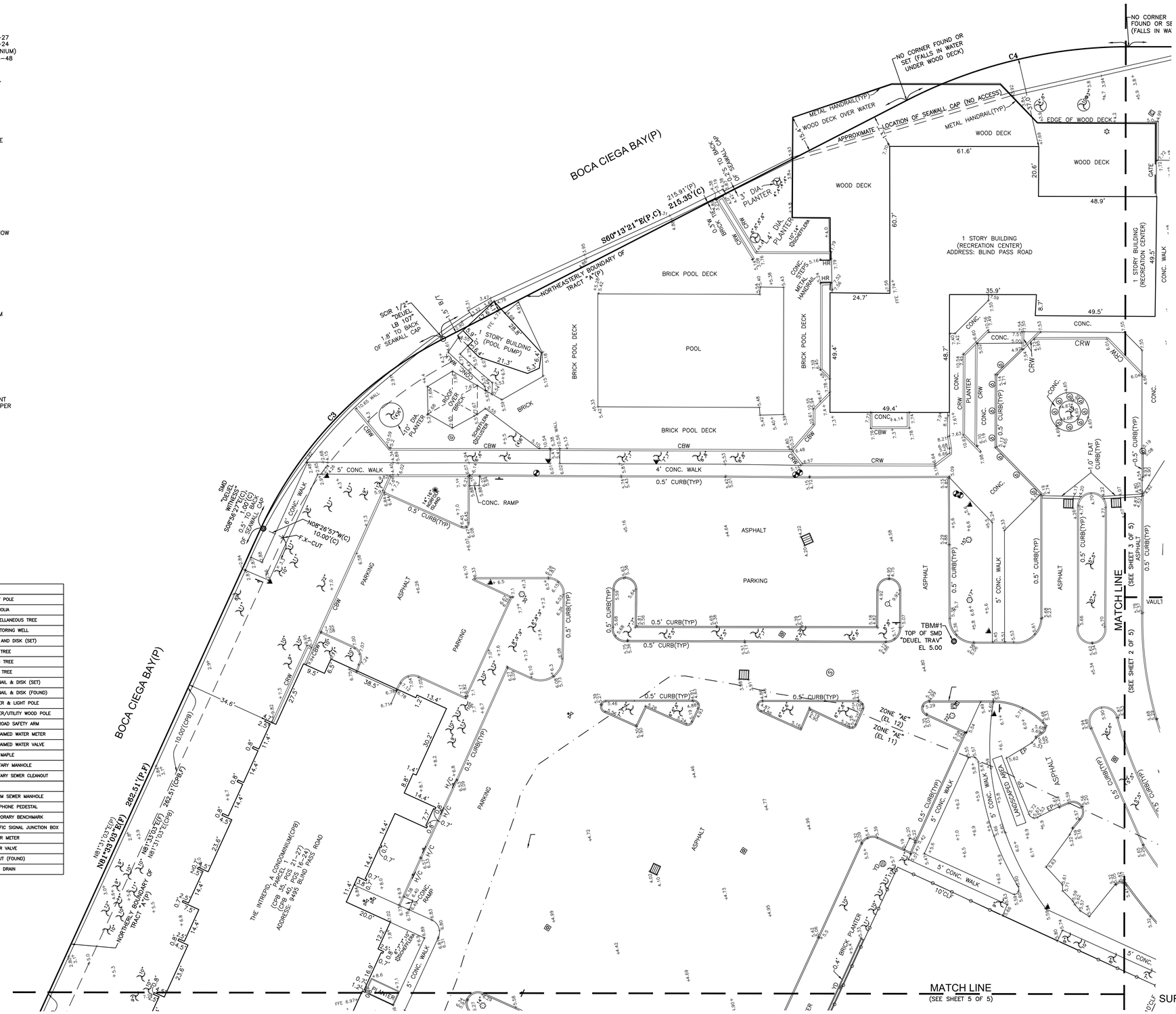

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS
565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH — FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
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WORK ORDER NO.	2016–122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	4 OF 5

Oct 29, 2024 – 11:17pm X:\2016\2016-122 Yacht & Tennis Club SPB Blind Pass\Survey\Acad\2016-122-EFT report.dwg

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT DETECTIBLE SURFACE
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SYMBOL LEGEND

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x10.00	ELEVATION		RAILROAD SAFETY ARM
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	FIRE HYDRANT		RED MAPLE
	GAS MARKER POST	S	SANITARY MANHOLE
F	FIRE DEPARTMENT CONNECTION	SC	SANITARY SEWER CLEANOUT
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	GRATE INLET	D	STORM SEWER MANHOLE
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	HANDICAP PARKING SPACE		TEMPORARY BENCHMARK
	IRON PIPE (FOUND)		TRAFFIC SIGNAL JUNCTION BOX
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	IRRIGATION CONTROL VALVE		X–CUT (FOUND)
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SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 4 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
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FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	5 OF 5

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