



**BOARD OF ADJUSTMENT MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS**

155 Corey Avenue
St. Pete Beach, FL 33706

Wednesday, January 29, 2025
2:00 PM

Call to Order
Pledge of Allegiance
Roll Call

REGULAR MEETING

1. Approval of the Agenda -

Action Request: Motion to approve the January 29, 2025 agenda.

2. Audience Comments -

Comments shall be limited to 3 minutes or general and agenda items. Public comment on agenda items will be allowed when that item is called. Please complete and submit a comment card to the Clerk.

3. Approval of Minutes

a. Meeting Minutes November 20, 2024

4. Action Items -

a. Preliminary Plat No. 24098: 3511 Gulf Boulevard

Julio C. Rodriguez of Global Projects Surveying, LLC and James Devito of Devito's Contracting LLC for Jimmy Jerge of 3511 Gulf Blvd LLC request recommendation of a preliminary plat for the replatting of 3511 Gulf Boulevard to three fee-simple townhouse parcels.

b. Case No. 24104 - Blind Pass Rd., Parcel: 25-31-15-09234-000-0001

Unnecessary and Undue Hardship Variance: Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condo Assn, Inc., requests a variance for replacement/installation of two (2) 160 sq. ft, 10'x16', 10'h storage structures where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b)).

c. Case No. 24105 - Blind Pass Rd., Parcel: 25-31-15-95319-000-0001

Unnecessary and Undue Hardship Variance: Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condo Assn, Inc., The Constellation Condo Assn., Inc., The Intrepid Condo Assn., Inc., The Courageous Condo Assn., Inc., and The Heritage Condo Assn., Inc. requests a variance for replacement/installation of a 160 sq. ft, 10'x16', 10'h storage structure utilized for tennis/recreational storage where a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b).

5. **Adjournment – Next meeting February 26, 2025**

APPEAL: In accordance with 286.0105, Florida Statute (Notices of meetings and hearings must advise that a record is required to appeal), if a person decides to appeal any decision made by this committee, board, agency, or commission with respect to any matter considered at this meeting or hearing, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

AMERICANS WITH DISABILITIES ACT (ADA): In accordance with the Americans with Disabilities Act and Florida Statutes, if any person with a disability defined by the ADA needs special accommodation to participate in this proceeding, then not later than two business days prior to the proceeding, he or she should contact City Hall at (727) 367-2735.

The public is cordially invited to attend this meeting.

All agenda material is available for review at City Hall or www.stpetebeach.org.

DRAFT BOARD OF ADJUSTMENT MINUTES
November 20, 2024 – 2:00 P.M.
Commission Chambers

PRESENT: Denise Chase, Chair
Kathy Garchow, Vice Chair
Chris Core, Member
Dan Small, Member

ABSENT: Al Causey, Member

STAFF PRESENT: Kristin Coman, Senior Planner; Nancy Stuparich, Interim City Attorney, Vose Law; Ginny Bodkin, Deputy City Clerk; Brandon Berry, Senior Planner; Adam Poirrier, Acting Assistant City Manager

Chair Chase called the meeting to order at 2:00 P.M.

1. Approval of the Agenda -

Motion: Chair Chase moved, and Member Small seconded the approval of the November 20, 2024 agenda as presented; the motion carried unanimously.

2. Audience Comments – There were no comments.

3. Approval of Minutes – October 30, 2024

Motion: Vice Chair Garchow moved, and Member Core seconded the approval of the October 30, 2024 meeting minutes as presented; the motion carried unanimously.

The Deputy Clerk swore in all those who would be testifying before the Board.

4. Action Items

a. Case No. 24061 - 1950 Pass-a-Grille Way

Continued from October 30, 2024 meeting

Unnecessary and Undue Hardship Variances: Dustin Ballard, P.E. of Kimley Horn and Associates Inc. for the City of St. Pete Beach requests a five-part variance to:

a) reduce the front building setback along 20th Avenue to 1.5 feet 1.2 feet where 25 feet is required, the secondary front building setback along Pass A Grille Way to 2 feet 8.4 feet where 15 feet is required, the western side building setback to one foot where 10 feet is required, and the southern rear building setback to 0.5 feet where 15 feet is required, to permit the construction of a new two-story fire station (LDC Sec. 17.7); b) permit the site impervious surface coverage to be no greater than 85% of the lot area where no greater than 80% is permitted (LDC Sec. 17.12); c) permit the property-wide vegetated coverage to be 14% Page 1 of 71 where 16% minimum is required (LDC Sec. 22.4.(f)); d) Reduce the required northern frontage landscaping buffer to zero feet along a portion where five feet is required, and the required southern landscaping buffer adjacent the driveway to 2.5 feet along a portion where six feet is required (LDC Sec. 22.7.(a)(1) & (b)(1)), and; e)

Permit the rooftop chimney training element to be located at 15 feet above the maximum height of the roof, or 45 feet above required design flood elevation, where 10 feet and 40 feet respectively is the maximum allowable (LDC Sec. 7.2.(k)).

Senior Planner Kristin Coman summarized that during the course of the October hearing, some necessary alterations to the primary and secondary front yard setbacks were identified due to the design changes; today's hearing is to ensure that the appropriate setback variance requests are on the record. She confirmed that necessary noticing was completed for today. Attorney Stuparich added that as this is a continuation, the testimony that was heard in October is part of this record.

Chair Chase testified that she watched the video of the part of the October meeting that took place after she left and declared no ex-parte communications. Vice Chair Garchow visited the site again and spoke to some of the City Commissioners regarding the project.

Ms. Coman explained to the Board that the staff findings in the meeting packet were updated slightly from the previous month to update the requested setbacks.

Architect Cole Mears of Sweet Sparkman entered a presentation and additional exhibits for the Applicant into the record to show how the design will impact the streetscape. Dustin Ballard of Kimley Horn Engineering appeared with him. The exhibits and presentation are part of the meeting record. Messrs. Mears and Ballard reviewed the updates and new exhibits:

- Setbacks - Northeast corner overhang
- Impervious surface ratio (ISR) at Northeast corner (driveway shrunk by 6" and landscaping added)
- General massing of the project is constrained with setbacks
- Existing and proposed street views looking North and West

Board questions followed. Acting Assistant City Manager Poirrier explained that State appropriations of approximately \$2 million dedicated to this project have been received and since the hurricanes other funding sources are being identified and will be evaluated in the coming weeks. Mr. Mears testified that the greenspace on the roof will be up to or above building standards for hurricanes. Mr. Berry addressed Vice Chair Garchow's concerns about reduced setbacks.

Mr. Mears used the scale model they brought to illustrate the actual layout. The alleyway is still useable.

Resident Maria Contreras of 104 20th Ave. was sworn in and expressed concerns on the visual impact and massiveness and fears a precedent for residents to reduce their setbacks. She also had concerns for privacy.

Resident Mickey Parson of 102 20th Ave., the closest home to the project, supports a rebuild, but expressed concerns about the multiple variances from Code and reduced property values; their property will be overshadowed on three sides.

Architect Todd Sweet was sworn in and requested to respond to some of the concerns expressed. The current North setback is 1.5' and will remain so and they are within the ISR of what was originally on the site. Nothing in the sizing of the building is non-permissible.

Mr. Mears testified that given the program requirements of this building and the lot as it is, a building the same size will not work and therefore the only option is to build up. The proposal is not exceeding height requirements except the training tower; the remainder of the building is within code for massing standards in terms of height limitations.

Mr. Poirrier testified that the current building is more unsafe to the neighborhood as it stands because it does not meet the modern code for fire suppression.

The Chair closed public hearing and opened Board deliberation. Concerns were expressed about the impact of the size of the building.

Ms. Coman reviewed the staff recommended conditions:

- 1) The applicant shall provide a green roof, cool roof, or additional frontage landscaping of at least five percent of the lot area (538 square feet).
- 2) Unless demonstrated to be technically unviable, the applicant shall pursue “Sustainable Sites” credit through LEED Silver certification at the time of building permitting.
- 3) Due to significant façade alterations since the request was shared with the Historic Preservation Board, this item shall be re-presented to the Board at time of site plan permitting for design consideration. Alterations from the plan set shared April 2023 shall be clearly noted and recommendations from the Historic Preservation Board that are not contrary to the Land Development Code or any variance approved through Development Order 24061 shall be included to the extent viable.

Ms. Coman read the five requested variances:

- 1) Reduce the front building setback along 20th Avenue to 1.2 feet 1.5 feet where 25 feet is required, the secondary front building setback along Pass A Grille Way to 8.4 feet 2 feet where 15 feet is required, the western side building setback to one foot where 10 feet is required, and the southern rear building setback to 0.5 feet where 15 feet is required, to permit the construction of a new two-story fire station (LDC Sec. 17.7);
- 2) Permit the site impervious surface coverage to be no greater than 85% of the lot area where no greater than 80% is permitted (LDC Sec. 17.12);
- 3) Permit the property-wide vegetated coverage to be 14% where 16% minimum is required (LDC Sec. 22.4.(f));
- 4) Reduce the required northern frontage landscaping buffer to zero feet along a portion where five feet is required, and the required southern landscaping buffer adjacent the driveway to 2.5 feet along a portion where six feet is required (LDC Sec. 22.7.(a)(1) & (b)(1)), and;
- 5) Permit the rooftop training tower element to be located at 15 feet above the maximum height of the roof, or 45 feet above required design flood elevation, where 10 feet and 40 feet respectively is the maximum allowable (LDC Sec. 7.2.(k)).

Motion: Member Small moved and Chair Chase seconded to approve the five variances requested for Case #24061 with the three recommended conditions in the staff report; motion carried 3-1 with Vice Chair Garchow voting No.

5. Items for Discussion – There were none.

A discussion led by Attorney Stuparich followed regarding rules and procedures for the Board of Adjustment. Absent official procedures, the Board would follow Roberts Rules. Ms. Stuparich indicated that she would be able to create simple procedural rules for the Board. The previous Board training workshops were discussed. It was decided to add rules and procedures to the January agenda and Ms. Stuparich will follow up on a City-wide Ethics and Sunshine training with management.

6. Adjournment – The next meeting is scheduled for January 29, 2025 as there were no cases for December.

Vice Chair Garchow moved to adjourn at 2:50 PM; all were in favor.

These minutes will be considered for approval at the January 29, 2025 Board of Adjustment meeting.

**BOARD OF ADJUSTMENT MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS**

Agenda Report

Agenda Title Name: Preliminary Plat No. 24098: 3511 Gulf Boulevard

Action Request: Motion to recommend approval of Preliminary Plat No. 24098 to the City Commission.

Strategic Objective:

Date: January 29, 2025

Prepared By: Brandon Berry, Senior Planner

Through: Denise Sanderson, Community Development Director

Summary of Issue: The request accompanies Site Plan Case No. 24037, and if approved in conjunction will permit the owner to subdivide and develop the existing lot with three townhouse lots owned fee-simple. The subdivision and development meet the minimum standards in the Land Development Code for administrative approval and no special exceptions or code amendments are proposed. Due to the arrangement of the subdivision proposed, Staff has provided a list of documents the applicant will need to supply at time of final plat, which are referenced in the staff report.

Funding: N/A

Attachments:

1. Preliminary Plat 24098 Staff Report
2. 24098 - Application
3. 24098 - Topo Survey with Proposed Subdivision
4. 24098 - Topo Survey
5. 24098 - Plat
6. Floor Plan with Proposed Lot Line Overlay



**PLANNING DIVISION
PRELIMINARY PLAT
STAFF REPORT TO THE
CITY OF ST. PETE BEACH BOARD OF ADJUSTMENT**

CASE NO.: 24098
APPLICANT/AGENT:

HEARING DATE: January 29, 2025
Julio C. Rodriguez of Global Projects Surveying, LLC and James Devito of Devito's Contracting LLC for Jimmy Jerge of 3511 Gulf Blvd LLC

PREPARED BY: Brandon Berry, Senior Planner

This application is a request for Preliminary Plat approval:

REQUEST:	Replat of DON CE-SAR PLACE BLK 8, LOT 6 & N'LY 25 FT OF LOT 5 & S'LY 25 FT OF LOT 7 LESS RD to create three fee-simple parcels each supporting one townhouse unit and surrounding outdoor area.
LOCATION:	3511 Gulf Blvd; Parcel #07-32-16-21852-008-0060; DON CE-SAR PLACE BLK 8, LOT 6 & N'LY 25 FT OF LOT 5 & S'LY 25 FT OF LOT 7 LESS RD.0
ACREAGE:	Approximately 0.23 acres (10,000 sq. ft.)
EXISTING LAND USE/ZONING CLASSIFICATION	This parcel has a Future Land Use designation of RM – Residential Medium and a zoning of RM – Residential District. This zoning permits attached-single family residences as a use by right.
SURROUNDING FUTURE LAND DESIGNATIONS:	North – RM – Residential Medium South – RM – Residential Medium East – RU – Residential Urban West – Gulf Boulevard & RM – Residential Medium
SURROUNDING ZONING MAP DESIGNATIONS:	North – RM – Residential District South – RM – Residential District East – RU-2 – Residential District West – Gulf Boulevard & RM – Residential District
SURROUNDING EXISTING USES:	North – Residential condominiums South – Single-family residence East – Single-family residences West – Gulf Boulevard

BACKGROUND

The property is currently vacant following the demolition of a two-unit building at the subject property in 2021. The owner applied in early 2024 for a site plan (Case No. 24037) to construct a new three-unit townhouse development, which this plat supports. The site plan is currently pending, with remaining comments pertaining to drainage, fire access and landscaping, which do not directly affect the approval of this plat.

ANALYSIS

The lot is sufficiently sized to support up to three residential units, with 15 units per acre permitted in the subject zoning district. The applicant is proposing three attached single-family townhouse residential units which will collectively meet the required lot area for the proposed density. Year-round transient occupancy is not permitted in the subject zoning and is not proposed by the applicant.

The existing parcel is being split in whole to individual fee-simple ownership parcels and will lack any common area. Each of the three parcel owners will own to the centerline of the party wall shared between units as well as a portion of the grounds of the existing lot, with the two endcap units having exterior front, side and rear yards and the center unit having front and rear yards. Each individual lot will contain the minimum 30% greenspace required by Land Development Code (LDC) Section 24.9.(b). All other codified administrative requirements of the LDC have been met for this proposed development.

While the subdivision arrangement proposed by the applicant is permitted by the LDC, and the default for lots of the subject size, Staff has notified the applicant that supporting documents will need to be submitted with the final plat to ensure that the development meets other code requirements for lot maintenance and access. These requirements include the following:

- 1) As the sole curb cut on the property is contained entirely within the proposed center parcel, the applicant will need to supply an access easement for both outer parcels to ensure that vehicular access to these units remains unencumbered.
- 2) The applicant has not yet supplied a drainage plan for review. If the detention area spans multiple proposed parcels, the applicant will need to provide for common maintenance of the drainage area. If the area is contained entirely on one parcel, the applicant must address whether the affected parcel owner is the sole responsible party, or if there will be shared maintenance responsibilities between property owners.
- 3) As landscaping spans the entire lot and is a necessary element of development approval, the applicant must supply a covenant or other document deemed sufficient to the City Attorney to ensure that liability arising from failure to comply with the code for any development-wide required element is assumed by all three unit owners.
- 4) The applicant has supplied a boundary and topographic survey, but it has not been prepared to the standards of ALTA/NSPS, and a title report is not included. While the City's administrative guidelines do not require such a survey for a preliminary plat, one is required for the corresponding site plan and staff requests the survey if available to ensure the survey accurately depicts all easements and entitlements.
- 5) The preliminary plat does not depict all platted property lines and streets on adjoining land within 150 feet, as stated in the City's administrative requirements for preliminary plats.

FINDINGS

Staff finds the proposed preliminary plat meets the minimum standards and is in general compliance with the Land Development Code as proposed, and meets general administrative procedures for preliminary plats with the exception of item 5) in the preceding section. The applicant is aware that they will need to retain the services of a surveyor to prepare the final plat, if the preliminary plat is approved, in compliance with Chapter 177 of Florida Statutes.

RECOMMENDATION

Staff recommends the positive recommendation of Preliminary Plat 24098 to the City Commission.

RECOMMENDED MOTION

"Motion to recommend approval of Preliminary Plat 24098 to the City Commission."

APPLICATION FEE: \$500.00

DATE STAMP:

RECEIVED BY:

**APPLICATION FOR PRELIMINARY
SUBDIVISION PLAT
CITY OF ST. PETE BEACH, FLORIDA**

OWNER'S INFORMATION

Applicant(s): 3511 GULF BLVD LLC

Applicant's Address: 2103 BAYSHORE BLVD, TAMPA FL 33606

Telephone Number: 716-445-9473

Email Address: Jimmy.jerge@gmail.com

AGENT'S INFORMATION:

Agent name: JAMES DEVITO, DEVITO'S CONTRACTING LLC

Agent's Address: 4923 W SAN RAFAEL ST, TAMPA FL 33629

Telephone Number: 954-816-2777

Email Address: devitocontracting@gmail.com

APPLICANT'S REGISTERED LAND SURVEYOR/ENGINEER

Name: JULIO C. RODRIGUEZ

Company: GLOBAL PROJECTS SURVEYING, LLC

Address: 6528 US HWY 301, UNIT 106, RIVERVIEW, FL 33578

Telephone Number: 813-423-3483

Email Address: plats@gpsflorida.net

Property Information:

5. Project Name: DON CESAR VILLAS

6. Street Address: 3511 GULF BLVD, ST PETE BEACH, FL 33706

7. Proposed Lot Numbers: 3 Proposed Block Number:

8. Proposed Subdivision Name: GULF TOWNHOMES SUBDIVISION

9. Section: 07 Township: 32S Range: 16E

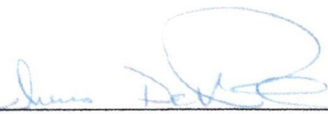
10. Nearest Street Intersection: 36TH AVE - GULF BLVD

11. Parcel Identification Number(s): 07-32-16-21852-008-0060

12. Area: 10,000 Acres: 0.23 Number of Lots/Parcels:

13. Existing Zoning Classification: _____
14. Existing Future Land Use Classification: _____
15. Existing Land Use: **0000 Vacant Residential - lot & acreage less than 5 acres**
16. Previous Planning/Zoning Approvals: _____

The undersigned having been duly sworn on oath states the above information is true and correct as (s) he is *informed and believes*.



Signature of Owner(s) or Agent

Print name of Owner(s) or Agent

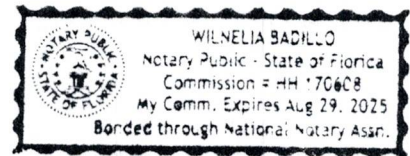
STATE OF FLORIDA
COUNTY OF Hillsborough
Subscribed and sworn to before me this 6 day of November, 2024.



Notary Public: Signature

Wilnelia Badillo

Printed Name



My Commission Expires:
Individual making statement is
☒ personally known or
☐ produced identification.

Type of identification produced: personally known

Please review your application. No applications will be accepted as "Complete and filed" until all the requested information has been supplied and the required fee has been paid.

BOUNDARY & TOPOGRAPHIC SURVEY WITH PROPOSED SUBDIVISION

SECTION 07, TOWNSHIP 32S, RANGE 16E. PINELLAS COUNTY

PROPERTY ADDRESS:
3511 GULF BLVD,
ST PETE BEACH, FL 33706
(FOLIO NO. 07-32-16-21852-008-0060)

DESCRIPTION:
LOT 5, LESS THE SOUTHERLY 25.00 FEET THEREOF, THE SOUTH 1/2 OF LOT 7 AND ALL OF LOT 6 OF BLOCK 8 OF "DON CE-SAR PLACE", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 13 AT PAGES 15 THROUGH 20 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; LESS THAT PART OF ABOVE DESCRIBED PROPERTY LYING WITHIN 40.00 FEET OF SURVEY LINE OF S.R. 699, SECTION 15100, AS SAID SURVEY LINE IS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN O.R. BOOK 1347, PAGE 250, AS CLERK'S INSTRUMENT NO. 913787A, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY: CITY OF ST. PETE BEACH - 125149
MAP/PANEL NO. 12103C0278H
SUFFIX: H
FIRM DATE: 08/24/2021
FLOOD ZONE: AE + 9'

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PINELLAS COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A TOPOGRAPHIC SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

BENCH MARK: GPS - NAIL ELEVATION: 3.37 FEET (NAVD88)

INACCESSIBLE CORNERS WERE CALCULATED USING BOUNDARY PRINCIPLES AND PRACTICES. PHYSICAL MARKERS WILL BE PLACED AT OWNER'S REQUEST AT THE EXACT LOCATION OF EACH PROPERTY CORNER, UNLESS FIELD CONDITIONS ARE NOT FAVORABLE; IN WHICH CASE, THE OWNER SHOULD GUARANTEE ACCESS TO THE CORNERS OR OFFSET MONUMENTATION WILL BE SET.

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON AN ASSUMED VALUE OF S10°21'20"E FOR THE EAST RIGHT OF WAY LINE OF GULF BLVD AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

PHYSICAL COPIES ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ELECTRONIC FILES ARE VALID ONLY WITH THE DIGITAL THIRD-PARTY APPROVED SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

NO TREES FOUND 20' AWAY FROM PROPERTY UNLESS DEPICTED ON THIS MAP.

CERTIFY TO:

3511 GULF BLVD LLC
JAMES DEVITO

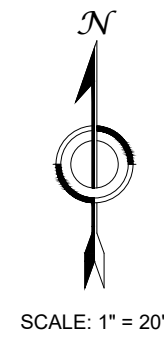
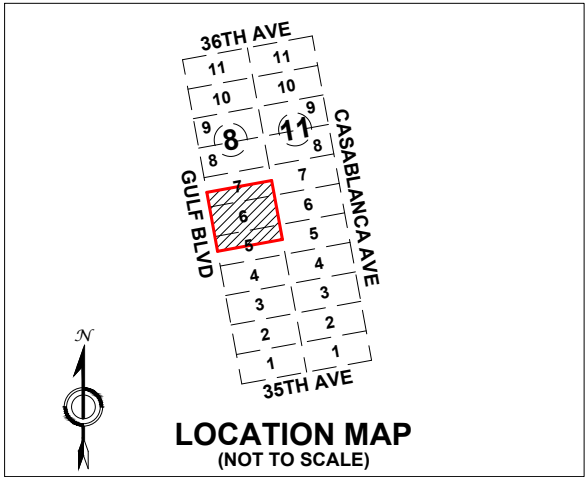
SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC SURVEY" AND THE MAP OF SURVEY RESULTING THERE FROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "TOPOGRAPHIC SURVEY" MEETS THE INTENT OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

ABBREVIATIONS

BC=BLOCK CORNER
(C)=CALCULATED
(M)=MEASURED
(R)=RECORD
(P)=PRORATED
TYP.= TYPICAL
P.B. = PLAT BOOK
P.G. = PAGE
F.I.R. = FOUND IRON ROD
F.I.P. = FOUND IRON PIPE
F.N&D = FOUND NAIL & DISK
S.I.R. = SET IRON ROD
I.D. = IDENTIFICATION
F/C = FENCE CORNER
B.M. = BENCHMARK

- LEGEND
- CENTER LINE
 - PROPERTY CORNER
 - PROPERTY LINE
 - PALM & TRUNK TREE
 - CANOPY & TRUNK TREE
 - PINE & TRUNK TREE
 - MANHOLE (SANITARY SEWER)
 - GROUND ELEVATION
 - PAVEMENT ELEVATION
 - CATCH BASIN
 - UTILITY POLE
 - METER (WATER)
 - A/C UNIT
 - MANHOLE (DRAINAGE)
 - LIGHT POLE
 - TRAFFIC SIGNAL
 - FOUND OR SET MONUMENT



6528 U.S. 301 UNIT 106
RIVERVIEW, FL. 33578
L.B. 8195 - L.S. 6919
contact@gpsflorida.net

PROFESSIONAL
SURVEYOR AND MAPPER
PHONE: (813) 423-3483
FAX: (813) 398-0111
www.gpsflorida.net

GPS
GLOBAL PROJECTS SURVEYING

ORIGINAL FIELD DATE	09/19/2024	JOB NO.	24-8035
REVISIONS:	10/15/2024	DRAWN	C.A.R.
		SHEET	1/1

BOUNDARY & TOPOGRAPHIC SURVEY

SECTION 07, TOWNSHIP 32S, RANGE 16E. PINELLAS COUNTY

PROPERTY ADDRESS:
3511 GULF BLVD,
ST PETE BEACH, FL 33706
(FOLIO NO. 07-32-16-21852-008-0060)

DESCRIPTION:
LOT 5, LESS THE SOUTHERLY 25.00 FEET THEREOF, THE SOUTH 1/2 OF LOT 7 AND ALL OF LOT 6 OF BLOCK 8 OF "DON CE-SAR PLACE", ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 13 AT PAGES 15 THROUGH 20 OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; LESS THAT PART OF ABOVE DESCRIBED PROPERTY LYING WITHIN 40.00 FEET OF SURVEY LINE OF S.R. 699, SECTION 15100, AS SAID SURVEY LINE IS DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN O.R. BOOK 1347, PAGE 250, AS CLERK'S INSTRUMENT NO. 913787A, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

FLOOD ZONE INFORMATION:
COMMUNITY: CITY OF ST. PETE BEACH - 125149
MAP/PANEL NO. 12103C0278H
SUFFIX: H
FIRM DATE: 08/24/2021
FLOOD ZONE: AE + 9'

THERE MAY BE LEGAL RESTRICTIONS ON THE SUBJECT PROPERTY THAT ARE NOT SHOWN ON THE MAP OF SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF PINELLAS COUNTY, OR THE RECORDS OF ANY OTHER PUBLIC AND PRIVATE ENTITIES AS THEIR JURISDICTIONS MAY APPEAR.

THE MAP OF SURVEY IS INTENDED TO BE DISPLAYED AT THE STATED GRAPHIC SCALE IN ENGLISH UNITS OF MEASUREMENT. ATTENTION IS BROUGHT TO THE FACT THAT SAID DRAWING MAY BE ALTERED IN SCALE BY THE REPRODUCTION PROCESS

THIS SURVEY WAS CONDUCTED FOR THE PURPOSE OF A TOPOGRAPHIC SURVEY ONLY AND IS NOT INTENDED TO DELINEATE THE REGULATORY JURISDICTION OF ANY FEDERAL, STATE, REGIONAL OR LOCAL AGENCY BOARD, COMMISSION OR OTHER ENTITY.

THE ELEVATIONS OF WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 1/10 FOOT FOR NATURAL GROUND SURFACES AND 1/100 FOOT FOR HARDSCAPE SURFACES, INCLUDING PAVEMENTS, CURBS AND OTHER MAN-MADE FEATURES AS MAY EXIST.

BENCH MARK: GPS - NAIL ELEVATION: 3.37 FEET (NAVD88)

INACCESSIBLE CORNERS WERE CALCULATED USING BOUNDARY PRINCIPLES AND PRACTICES. PHYSICAL MARKERS WILL BE PLACED AT OWNER'S REQUEST AT THE EXACT LOCATION OF EACH PROPERTY CORNER, UNLESS FIELD CONDITIONS ARE NOT FAVORABLE; IN WHICH CASE, THE OWNER SHOULD GUARANTEE ACCESS TO THE CORNERS OR OFFSET MONUMENTATION WILL BE SET.

LEGAL DESCRIPTION WAS FURNISHED BY THE CLIENT.

WELL-IDENTIFIED FEATURES AS DEPICTED ON THIS SURVEY AND MAP WERE MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 1/10 FOOT UNLESS OTHERWISE SHOWN.

BEARINGS AS SHOWN HEREON ARE BASED UPON AN ASSUMED VALUE OF S10°21'20"E FOR THE EAST RIGHT OF WAY LINE OF GULF BLVD AS DEPICTED ON THE MAP OF SURVEY.

LEGAL DESCRIPTION SUBJECT TO ANY DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR RECORDED EASEMENTS.

THE SURVEYOR MAKES NO REPRESENTATION AS TO OWNERSHIP, POSSESSION OR OCCUPATION OF THE SUBJECT PROPERTY BY ANY ENTITY OR INDIVIDUAL.

SUBSURFACE IMPROVEMENTS AND/OR ENCROACHMENTS WITHIN, UPON, ACROSS, ABUTTING OR ADJACENT TO THE SUBJECT PROPERTY WERE NOT LOCATED AND ARE NOT SHOWN.

PHYSICAL COPIES ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ELECTRONIC FILES ARE VALID ONLY WITH THE DIGITAL THIRD-PARTY APPROVED SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS AND DELETIONS TO THIS MAP OF SURVEY BY OTHER THAN THE SIGNING PARTY ARE PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE SIGNING PARTY.

THIS MAP OF SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREIN AND THE CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTY.

NO TREES FOUND 20' AWAY FROM PROPERTY UNLESS DEPICTED ON THIS MAP.

CERTIFY TO:

3511 GULF BLVD LLC
JAMES DEVITO

SURVEYOR'S CERTIFICATION:

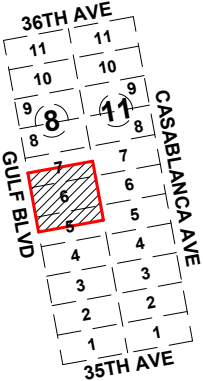
I HEREBY CERTIFY: THAT THIS "TOPOGRAPHIC SURVEY" AND THE MAP OF SURVEY RESULTING THERE FROM WAS PERFORMED UNDER MY DIRECTION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND FURTHER, THAT SAID "TOPOGRAPHIC SURVEY" MEETS THE INTENT OF THE "MINIMUM TECHNICAL STANDARDS FOR LAND SURVEYING IN THE STATE OF FLORIDA", PURSUANT TO RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE AND ITS IMPLEMENTING RULE, CHAPTER 472.027 OF THE FLORIDA STATUTES.

ABBREVIATIONS

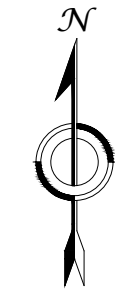
BC=BLOCK CORNER
(C)=CALCULATED
(M)=MEASURED
(R)=RECORD
(P)=PRORATED
TYP.= TYPICAL
P.B. = PLAT BOOK
P.G. = PAGE
F.I.R. = FOUND IRON ROD
F.I.P. = FOUND IRON PIPE
F.N&D = FOUND NAIL & DISK
S.I.R. = SET IRON ROD
I.D. = IDENTIFICATION
F/C = FENCE CORNER
B.M. = BENCHMARK

LEGEND

- CENTER LINE
- PROPERTY CORNER
- PROPERTY LINE
- PALM & TRUNK TREE
- CANOPY & TRUNK TREE
- PINE & TRUNK TREE
- MANHOLE (SANITARY SEWER)
- GROUND ELEVATION
- PAVEMENT ELEVATION
- CATCH BASIN
- UTILITY POLE
- METER (WATER)
- A/C UNIT
- MANHOLE (DRAINAGE)
- LIGHT POLE
- TRAFFIC SIGNAL
- FOUND OR SET MONUMENT



LOCATION MAP
(NOT TO SCALE)



SCALE: 1" = 20'

6528 U.S. 301 UNIT 106
RIVERVIEW, FL. 33578
L.B. 8195 - L.S. 6919
contact@gpsflorida.net



PROFESSIONAL
SURVEYOR AND MAPPER
PHONE: (813) 423-3483
FAX: (813) 398-0111
www.gpsflorida.net

ORIGINAL
FIELD DATE 09/19/2024
REVISIONS: 10/15/2024

JOB NO. 24-8035

SHEET

1/1

DRAWN C.A.R.

GULF TOWNHOMES SUBDIVISION

A REPLAT OF PART OF LOT 5, ALL LOT 6 AND PART OF LOT 7 OF BLOCK 8 OF "CE-SAR PLACE " P.B.13 - P.G.15

SECTION 7, TOWNSHIP 32 SOUTH, RANGE 16 EAST,
CITY OF SAINT PETERSBURG, PINELLAS COUNTY, FLORIDA.

P.B. _____ P.G. _____

LEGAL DESCRIPTION:

A PARCEL OF LAND WHICH IS A LAYOUT OF PART OF LOT 5, ALL OF LOT 6 AND PART OF LOT 7 OF BLOCK 8 OF "CE-SAR PLACE" P.B.13 - P.G.15 IN SECTION 7, TOWNSHIP 32 SOUTH, RANGE 16 EAST, CITY OF ST. PETERSBURG, PINELLAS COUNTY, FLORIDA AND WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF LOT 1 BLOCK 8 ALSO BEING THE SOUTHWEST CORNER OF LOT 1 BLOCK 11 "DON CE-SAR PLACE" PLAT BOOK 13 ON PAGE 15; THENCE RUN N10°21'40"W ALONG THE EAST LINE OF BLOCK 8 ALSO BEING THE WEST LINE OF BLOCK 11 "DON CE-SAR PLACE" PLAT BOOK 13 ON PAGE 15 A DISTANCE OF 225.13 FEET TO POINT OF BEGINNING. THENCE RUN S79°38'40"W A DISTANCE OF 100.00 FEET; THENCE RUN N10°21'20"W ALONG THE EAST RIGHT-OF-WAY LINE OF GULF BLVD; THENCE RUN N79°38'40"E A DISTANCE OF 100.00 FEET; THENCE RUN S10°21'20"E ALONG THE EAST LINE OF BLOCK 8 ALSO BEING THE WEST LINE OF BLOCK 11 "DON CE-SAR PLACE" PLAT BOOK 13 ON PAGE 15 FOR A DISTANCE OF 100.00 FEET TO THE POINT OF BEGINNING.

SAID PARCEL OF LAND CONTAINS 10,000 SQUARE FEET OR 0.23 ACRES MORE OR LESS.

DEDICATION:

- 3511 GULF BLVD LLC HEREBY CERTIFIES THAT IT IS THE OWNER OF THE TRACT OF LAND DESCRIBED HEREON AS "GULF TOWNHOMES", AND THAT THIS PLAT REPRESENTS ITS INTENTION TO SUBDIVIDE THE PROPERTY AS DESCRIBED IN THE LEGAL DESCRIPTION, AND DOES HEREBY DEDICATE THIS PLAT FOR RECORD.
- 3511 GULF BLVD LLC AS OWNER OF THE LANDS PLATTED HEREIN DO(ES) HEREBY DEDICATE THIS PLAT OF (GULF TOWNHOMES) FOR RECORD.
- 3511 GULF BLVD LLC ALSO HEREBY CONFIRM THE LIMITS OF THE PUBLIC RIGHT OF WAY AS SHOWN HEREON.
- THE CITY WILL NOT OWN, CONSTRUCT, OR MAINTAIN ANY WATER, STORMWATER, AND WASTEWATER FACILITIES LOCATED ON PRIVATE PROPERTY. ALL WATER, STORMWATER, AND WASTEWATER UTILITIES LOCATED WITHIN THE PLAT SHALL BE PRIVATELY OWNED AND MAINTAINED. EACH LOT OWNER WILL MAINTAIN THE PRIVATE UTILITY EASEMENT ON THEIR RESPECTIVE LOT.

NOTES:

- 1) SUBDIVISIONS PLATS BY NO MEANS REPRESENT A DETERMINATION ON WHETHER PROPERTIES WILL OR WILL NOT FLOOD. LAND WITHIN THE BOUNDARIES OF THE PLAT MAY OR MAY NOT BE SUBJECT TO FLOODING. THE CITY HAS INFORMATION REGARDING FLOODING AND RESTRICTIONS ON DEVELOPMENT.
- 2) BEARINGS SHOWN HEREON ARE BASE UPON AN ASSUMED VALUE OF S10°21'40"E FOR THE EAST LINE BLOCK 8 ALSO BEING THE WEST LINE OF "DON CE-SAR PLACE" P.B. 13 - P.G. 15, AS DEPICTED ON THE MAP OF SURVEY, SAID LINE TO BE CONSIDERED A WELL ESTABLISHED AND MONUMENTED LINE.
- 3) THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY AN OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF CITY AND COUNTY.
- 4) NORTHING AND EASTING DATA (INDICATED IN FEET) AS SHOWN HEREON REFER TO THE STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN HORIZONTAL DATUM OF 1983 (NAD83-2007 ADJUSTMENT) FOR THE WEST ZONE OF FLORIDA. ORIGINATING COORDINATES FROM STATION PCDSM GPS 44 & PCDSM GPS 43. THE COORDINATE VALUES ARE INTENDED FOR INFORMATIONAL PURPOSES ONLY AND HAVE BEEN ESTABLISHED TO A MINIMUM OF THIRD ORDER ACCURACY
- 5) THE BEARINGS SHOWN ON THE PLAT ARE BASED ON THE FLORIDA WEST TRANSVERSE MERCATOR STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM OF 1983 (NATIONAL SPATIAL REFERENCE SYSTEM 2007 ADJUSTMENT)

OWNERS

THE UNDERSIGNED HEREBY CERTIFY THAT THEY ARE THE OWNER OF THE PARCEL OF LAND HEREBY PLATTED AS "GULF TOWNHOMES SUBDIVISION".

OWNER: 3511 GULF BLVD. _____ SIGNATURE: _____

WITNESS: _____ WITNESS: _____
NAME: _____ NAME: _____

ACKNOWLEDGMENT:

STATE OF FLORIDA
COUNTY OS HILLSBOROUGH

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME BY MEANS OF ☐ PHYSICAL PRESENCE OR ☐ ONLINE NOTARIZATION, THIS _____, DAY OF _____, 2024, BY _____, WHO IS PERSONALLY KNOW TO ME OR WHO PROVIDED _____ AS IDENTIFICATION.

SIGNATURE OF NOTARY NAME: _____
(PRINT OR TYPE NAME)

NOTARY PUBLIC: STATE OF FLORIDA
MY COMMISSION EXPIRES: _____

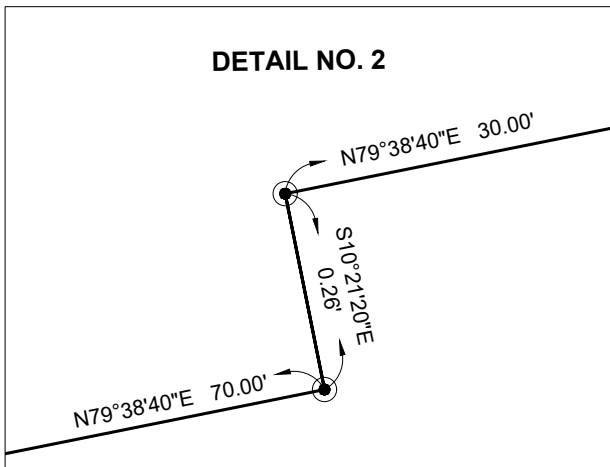
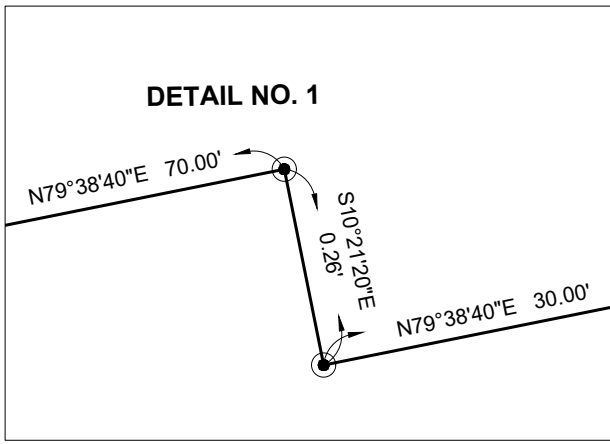
SURVEYOR'S CERTIFICATE:

I, THE UNDERSIGNED SURVEYOR, HEREBY CERTIFY THAT THIS PLATTED SUBDIVISION IS A CORRECT REPRESENTATION OF THE LAND BEING SUBDIVIDED; THAT THIS PLAT WAS PREPARED UNDER MY DIRECTION AND SUPERVISION; THAT THIS PLAT COMPLIES WITH ALL THE REQUIREMENTS OF CHAPTER 177, PART I, FLORIDA STATUTES, AND THE CITY OF ST. PETE BEACH, FLORIDA LAND DEVELOPMENT CODE; THAT PERMANENT REFERENCE MONUMENTS (PRM'S) WERE SET ON THE _____ DAY OF _____, 2024 AS SHOWN HEREON; AND THAT PERMANENT CONTROL POINTS (PCP'S) AND LOT CORNERS HAVE BEEN OR WILL BE SET PER REQUIREMENTS OF FLORIDA STATUTE.

JULIO C. RODRIGUEZ
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER NO. 6919
GLOBAL PROJECTS SURVEYING LLC
6528 US HWY 301 S, UNIT 106 RIVERVIEW, FL 33578
CERTIFICATE OF AUTHORIZATION NO. LB-8195

SIGNATURE: _____
DATE: _____

PSM SEAL



LEGEND

- P.O.C. - DENOTES POINT OF COMMENCEMENT
- P.O.B. - DENOTES POINT OF BEGINNING
- NW - DENOTES NORTHWEST
- SW - DENOTES SOUTHWEST
- P.B. - DENOTES PLAT BOOK
- P.G. - DENOTES PAGE
- L.S. - DENOTES LICENSED SURVEYOR
- L.B. - DENOTES LICENCE BUSINESS
- DENOTES 4"x4" CONCRETE MONUMENT, PERMANENT CONTROL POINT (PRM)
- DENOTES SET IRON ROD WITH CAP L.B. #8195

CITY OF ST. PETE BEACH:

THIS PLAT IS HEREBY ACCEPTED AND APPROVED FOR RECORD BY THE CITY COUNCIL OF THE CITY OF ST. PETE BEACH, FLORIDA.

DATE: _____
CHAIRMAN: _____
RESOLUTION NUMBER: _____

CITY CLERK:

I HEREBY CERTIFY THAT THE MAYOR OF THE CITY OF ST. PETE BEACH, FLORIDA, APPROVED THIS PLAT ON _____ 2024.

CITY CLERK/DEPUTY CLERK.

SURVEYOR'S REVIEW:

THIS PLAT HAS BEEN REVIEWED IN ACCORDANCE WITH THE FLORIDA STATUTES, SECTION 177.081 FOR CHAPTER CONFORMITY. THE GEOMETRIC DATA HAS NOT BEEN VERIFIED.

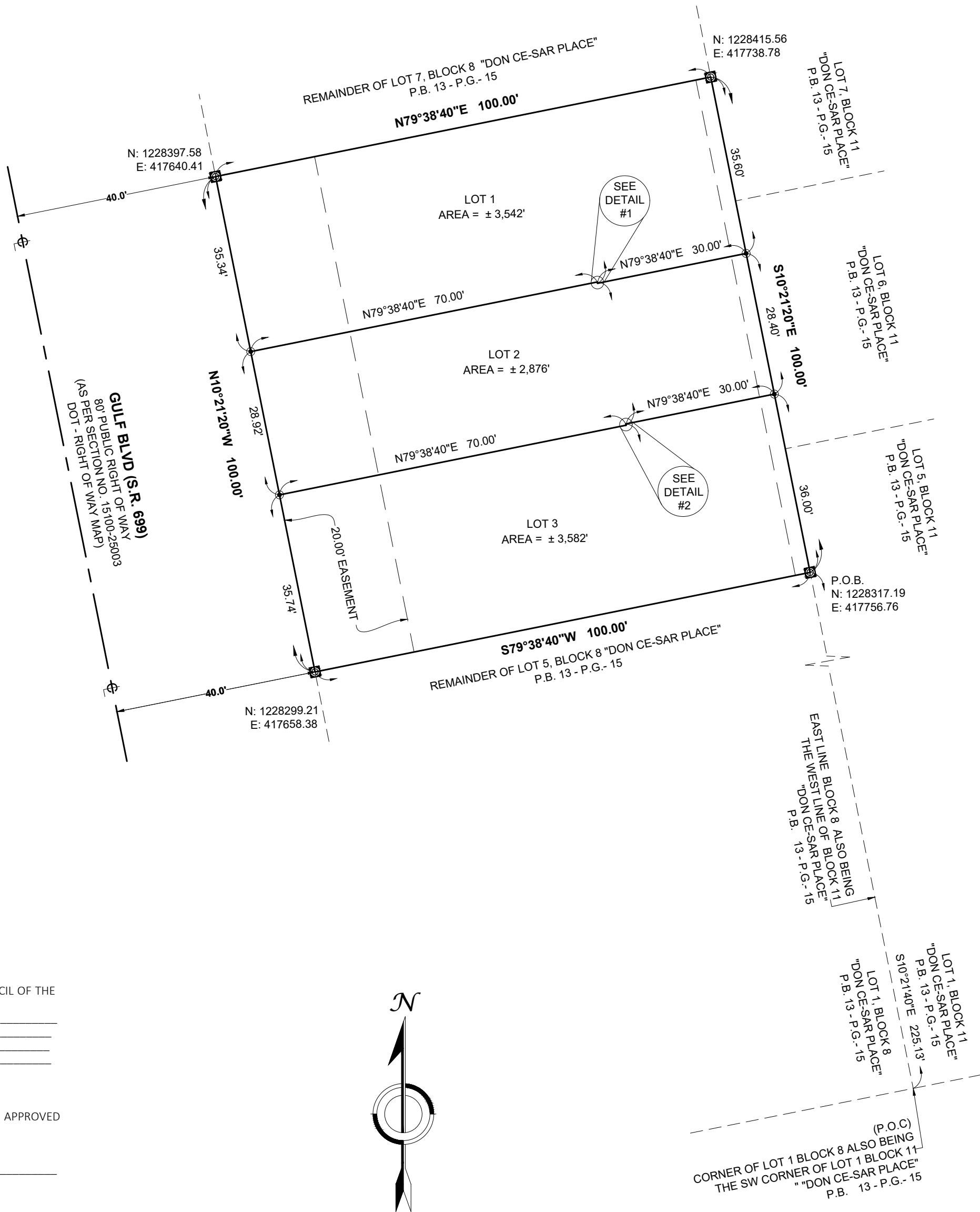
REVIEWED BY: _____
DATE: _____
FLORIDA PROFESSIONAL SURVEYOR AND MAPPER, LICENSE #. _____
CITY OF ST. PETE BEACH, FLORIDA.

CLERK OF THE CIRCUIT COURT:

COUNTY OF PINELLAS, STATE OF FLORIDA.

I HEREBY CERTIFY THAT THIS PLATTED SUBDIVISION HAS BEEN FILED FOR THE RECORD THIS _____ DAY OF _____ 2024, IN PLAT BOOK _____, PAGE _____, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

BY: _____ BY: _____
CLERK OF THE CIRCUIT COURT DEPUTY CLERK
CLERK FILE NUMBER: _____, THIS _____ DAY OF _____, 2024.
TIME: _____ NUMBER: _____



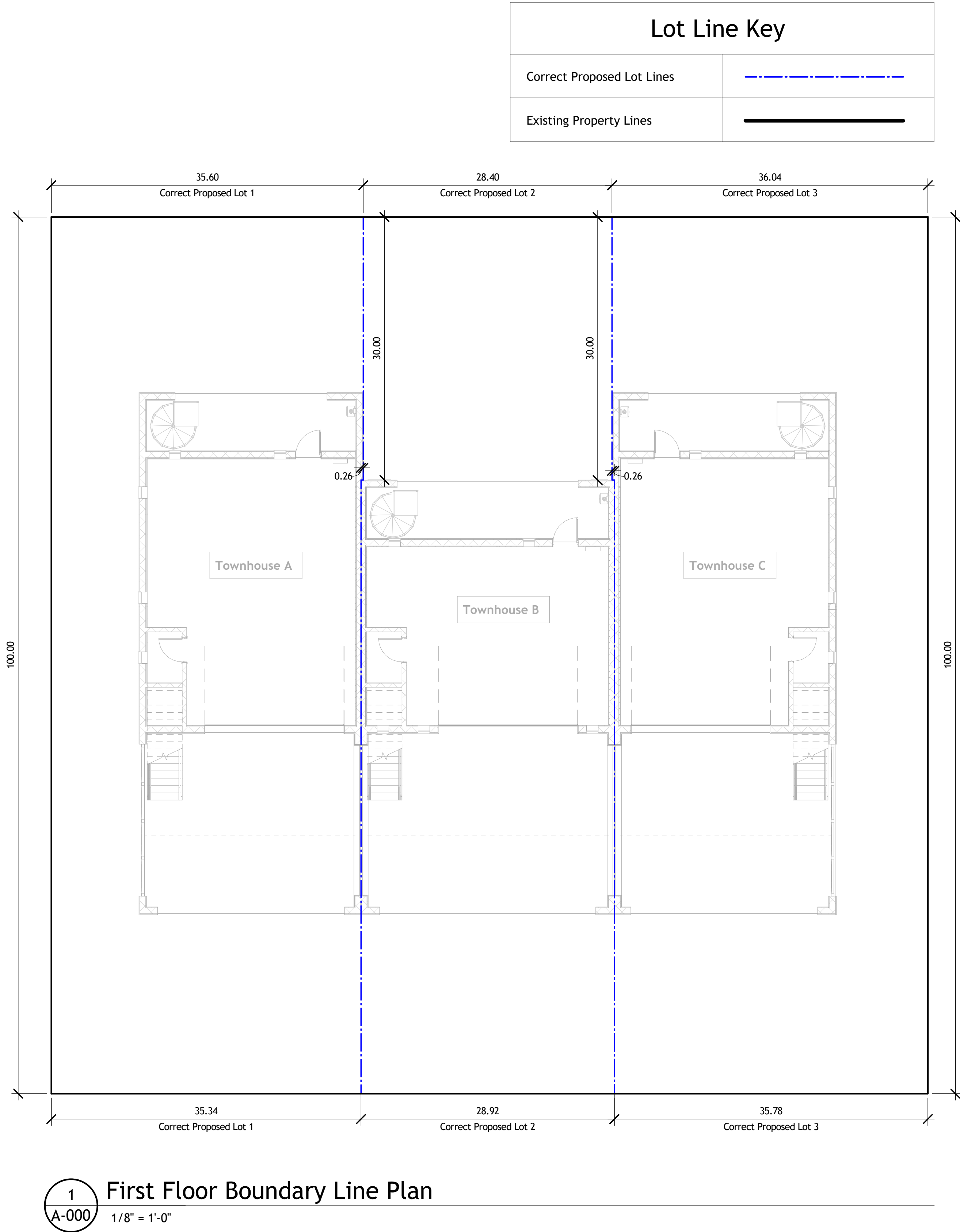
PREPARED BY:
GLOBAL PROJECTS SURVEYING LLC
PROFESSIONAL SURVEYOR AND MAPPER
LB 8195
6528 US HWY 301 S UNIT 106, RIVERVIEW, FL 33578
PHONE: (813) 423-3483 FAX: (813) 398-0111
DECEMBER 2024

SHEET 1 OF 1

All Rights Reserved. Reuse of these documents without the expressed written permission of Carmina Wood Design is prohibited. WARNING: It is a violation of article 145 of the Revised Statutes of the State of New York to alter, modify, or change in any manner the content of any drawing or document created by a professional engineer or architect without the express written consent of the professional engineer or architect. The undersigned shall affirm his or her seal, signature, the date the notation "Altered By" and a specific description of the alteration.

© Carmina Wood Design

Autodesk Docs: //24-1046 3511 Gulf Blvd./24-1046_3511 Gulf Blvd.rvt
10/9/2024 3:25:39 PM



**BOARD OF ADJUSTMENT MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS**

Agenda Report

Agenda Title Name: **Case No. 24104 - Blind Pass Rd., Parcel: 25-31-15-09234-000-0001**

Action Request: As directed by the Board of Adjustment.
Options:
Motion to approve Case No. 24104 with recommended staff condition(s) as included in the Staff Report and/or board conditions,
OR
Motion to approve Case No. 24104 as proposed
OR
Motion to deny Case No. 24104

Strategic Objective:

Date: January 29, 2025

Prepared By: Kristin Coman, Community Development Director

Through: Denise Sanderson, Community Development Director

Summary of Issue: *Unnecessary and Undue Hardship Variance:* Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condo Assn, Inc., requests a variance for replacement/installation of two (2) 160 sq. ft, 10'x16', 10'h storage structures where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b)).

Funding: n/a

Attachments:

1. 24104 - Blind Pass Rd., Certificate of Completeness with Submittal Documents
2. 24104 - Staff Report
3. 24104 - Letters rec'd as of 01.20.25



Memo To: Board of Adjustment
From: Kristin Coman, Senior Planner
Date: 12/20/2024
Re: **CERTIFICATE OF COMPLETENESS**

Please be advised that on this date, the following application has been deemed complete and will be scheduled for the Board of Adjustment and placed on the agenda for **January 29, 2025**.

Please note that this case does require TRC review prior to the hearing, tentatively to be held on 1/22/25.

Variance Case Number: 24104
Application Type: Unnecessary and Undue Hardship
Owner(s): WEATHERLY, THE CONDO ASSN INC
Applicant/Agent: Dan Nelson
Parcel Number: 25-31-15-95319-000-0001
Address: Blind Pass Rd., St. Pete Beach, FL 33706
Zone: RM

Submittal Documents:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of existing hobby and maintenance buildings
4. Photo package submitted by applicant, consisting of 4 sheets with no dates provided.
5. Proposals for both buildings prepared by Wally Watt, Inc., no date, consisting of 3 pages.
6. Compliance letter dated 1/24/2024 from Intertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/20/2022 consisting of 10 sheets.

The application and submittal documents will be forwarded to the following agents for review and/or comment:

City/Board Professionals:

- | | |
|--|--|
| ☒ Board of Adjustment Attorney <i>via email</i> | ☒ TRC Committee <i>via email</i> |
| ☐ Code Enforcement Manager <i>via email</i> | ☐ Historic Preservation Board <i>via email</i> |



Board Members:

- | | |
|---|--|
| ☒ Denise Chase, Chair | ☒ Chris Core |
| ☒ Kathy Garchow, Vice Chair | ☒ Dan Small |
| ☒ Al Causey | |

Cc: Dan Nelson, Applicant **via email** (dnelsonytcbod@gmail.com)

CASE #:

24104

SUBMITTAL DATE:

11-8-24

AMOUNT DUE:

362.06

PAYMENT DATE:

462.06

H-25-31-15-38257-000-1010

C-25-31-15-18649-000-0001

I-25-31-15-43209-000-0001

C-25-31-15-17855-000-0001

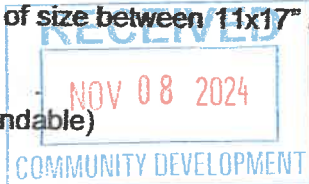
W-25-31-15-95319-000-0001

500.00 PARCEL #

UNNECESSARY AND UNDUE HARDSHIP VARIANCE APPLICATION

The following items are to be submitted, along with this application, at least 30 days prior to the public hearing:

- Two (2) copies of the property survey, completed in the last ten years, which contains the legal description, land area, and existing improvements on the site that has been signed and sealed by a surveyor licensed in the State of Florida;
- Seven (7) copies of a site plan showing the request, drawn to scale, of size between 11x17" and 36x48";
- Emailed copy of the survey and site plan to
- The Application Fee, payable to the City of St. Pete Beach (non-refundable)

**OWNER/AGENT INFORMATION:**

The Weatherly Condominium Assoc. 4131 Gurney Hwy, Tampa, FL 33618-6725

Identification	Name	Address	Phone #
Owner	YACHT + TENNIS ASSOC. INC.	9445 BLIND PASS RD. ST. PETE BEACH, FL 33706	(727) 367-5659
Applicant/ Agent	DANIEL R. NELSON	9425 BLIND PASS RD #1201 ST. PETE BEACH, FL 33706	(443) 496-0880
Owner Email Address:		Applicant/Agent Email Address:	
YTCMANAGER@GREENACRE.COM		DNELSONYTCBOD@GMAIL.COM	

PROPERTY FOR PROPOSED VARIANCE:

Zoning Designation AE RM	Future Land Use Designation PM	Lot Area 1.72 AC 13 ACRES
Legal Description: Weatherly, The Condo Common Elements		
Address: PLAT BOOK 51, PG. 13, PUBLIC RECORDS PINELLAS CO.		
Address: 9415, 9425, 9495, 9525 BLIND PASS RD. ST. PETE BEACH, FL 33706		
Explanation of Request: REMOVAL AND REPLACEMENT OF 2 STORAGE SHEDS THAT MEASURE 10X16X10. ALL SHEDS WILL BE SHIELDED BY A COMBINATION OF 6' CHAIN LINK FENCE AND/OR A 6' CINDER BLOCK WALL. REQUESTING A VARIANCE TO ALLOW FOR PROPER MAINTENANCE OF CONDOMINIUM OPERATIONS.		

Findings Necessary for Granting Request: In order for an application for a unnecessary and undue hardship variance to be approved or approved with conditions, the Board of Adjustment must make a positive finding with regard to each of the provisions below, which are also located in Division 3 of the Land Development Code. The applicant has the burden of proof demonstrating that the application for the variance complies with each of these requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;
2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;
3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;
4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Comprehensive Plan or the Land Development Code, nor will it permit an increase in development density;

5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;
6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;
7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and
8. The requested variance is in harmony with the general intent and purpose of the Comprehensive Plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Signature of Applicant

Date

Daniel R. Nelson 10/21/24

Signature of Authorized Agent

Date

The following are answers to the “Findings Necessary for Granting Request” in our application for a variance under the “unnecessary and undue hardship” variance application from the City of St. Pete Beach

1. The St. Pete Beach Yacht & Tennis Club (YTC) is a large residential condominium complex located on approximately 13+/- acres that have four (4) thirteen (13) story condominium towers consisting of 353 individual units. We have a full-time maintenance staff to care for the property and its amenities. These amenities include green space, 2 shuffleboard courts, 7 tennis/pickleball courts, a large swimming pool, clubhouse, pro shop, and fitness center. We had 3 sheds on the property and since hurricane Helene, we now have just one shed.
2. The current sheds were erected in approximately the late 1990's. Three sheds were built to accommodate maintenance and homeowners as an amenity. These sheds were all slated for replacement in accordance with our reserve studies in 2023. It is recommended that all the sheds be replaced every 25 years. These sheds are as follows:
 - General Maintenance shed
 - Tennis/Pickleball court maintenance shed
 - Owners Hobby shed
3. Storage space on the YTC property is very limited, and therefore these sheds are necessary, not only to properly maintain the property, but so as not to violate any zoning codes pertaining to appearances. In addition, having seven HARTRU tennis courts requires an immense amount of labor and we have situated a shed between the two sections of courts to allow the court maintenance employee to access all courts in an efficient and safe manner. In addition, the tennis shed stores play aggregate for dressing the courts as is required on a regular basis. This material needs to be protected from the rain to allow it to be utilized properly when needed. YTC also lists as an amenity, an owner hobby shop where owners can make minor repairs or work on larger crafts that require additional space. This space has grown to become a focal point of the community.
4. This hardship request has not deliberately or knowingly been created, which is inconsistent with a Comprehensive Plan or the Land Development Code. Since these sheds are only to be used to store equipment and tools, there will be no increase in the development density of Saint Pete Beach.
5. There is no intent to achieve any financial return, or any financial gain for this property in the request of this hardship. The request to replace these sheds is merely in keeping with the property standards, and to allow for proper maintenance and upkeep of the property.

6. We understand that the granting of a variance is treated the same for any applicant. As such granting such a variance would satisfy the needs of a large residential community, such as ours, and not affect neighboring communities in any manner. In addition, the location of our sheds is shielded from our neighboring communities by a 6' cinderblock wall and 6' chain-link fencing.
7. It is our belief that the requested variance is a minor deviation to the current code, and will continue to make reasonable use of the land especially since our sheds have been in these places for at least the past 25 years with no adverse effects. It can't be understated that we need proper storage areas to keep our tools and equipment in proper working order, out of sight and to ensure the safety of our owners.
8. It is understood that limiting the size of sheds on a single family residential lot in St. Pete Beach is necessary for several reasons, however our property sits on over 13 acres and is a significantly larger property than a single family residence and is what we consider a "controlled access" community, meaning we utilize private security to grant access. We believe that granting this variance will be in keeping with harmony of the area and surrounding neighborhoods and will not diminish or impair property values within the neighborhood.

VARIANCE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

DN I understand that the City will not accept or process an incomplete application.

DN I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a variance. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a variance.

DN On all variances except for administrative (de-minimis) variances, a majority vote is required. Action on this application by the BOA/City Commission may be continued to a later meeting.

DN I understand that if a variance is approved by the BOA, City Commission or City Manager, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval becomes voided.

DN I understand that if any application filed under the provisions of this Code is denied, no subsequent application seeking substantially the same or similar approval shall be filed within six months of the final decision on the original application.

DN I understand that any person aggrieved by the final decision of the Board of Adjustment or City Commission has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Appeals of decisions made by the City Manager for administrative variances are to a hearing officer designated by the City Commission and must be made within 30 days from the date of the final administrative decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

DN I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application if applicable.

After acknowledgement of these conditions, complete the application form on the following pages.

David R. Nelson
Signature of Applicant

10/21/24
Date

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St Pete Beach, FL 33706
(443) 496-0880
dnelsonytcbo@gmail.com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President Kathy Shirley

18/12/2024

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President _____

Name: ARON ZIONSKY

Building President Aron Zionsky Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report

2024-12-18

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMVx36DzHqOm1wIPWJOA_ENk-y2IZJACm

"2024_1218 YTC - Variance Request Presidents Signature" History

 Document created by Allen Baum (ytcmanager@greenacreproperties.com)

2024-12-18 - 10:21:21 PM GMT

 Document emailed to Kathy Shirley (garykathy@hotmail.com) for signature

2024-12-18 - 10:21:25 PM GMT

 Email viewed by Kathy Shirley (garykathy@hotmail.com)

2024-12-18 - 10:30:28 PM GMT

 Document e-signed by Kathy Shirley (garykathy@hotmail.com)

Signature Date: 2024-12-18 - 10:33:45 PM GMT - Time Source: server

 Agreement completed.

2024-12-18 - 10:33:45 PM GMT

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St. Pete Beach, FL 33706
(443) 496-0880
dnelsonytcbod@gmail.com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President _____

Name: Robert Lemaster

Building President Robert Lemaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President Karen Strykowski
Karen Strykowski (Dec 18, 2024 20:11 EST)

12/1
18/12/2024

Name: ARON ZIONSKY

Building President Arion Zionsky Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report

2024-12-19

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAaKfzY2dxHcB51NPTYEadsGDGpqtVut44

"2024_1218 YTC - Variance Request Presidents Signature" History

 Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 9:25:07 PM GMT

 Document emailed to Karen Strykowski (kstryk2@gmail.com) for signature
2024-12-18 - 9:25:10 PM GMT

 Email viewed by Karen Strykowski (kstryk2@gmail.com)
2024-12-18 - 10:53:20 PM GMT

 Document e-signed by Karen Strykowski (kstryk2@gmail.com)
Signature Date: 2024-12-19 - 1:11:31 AM GMT - Time Source: server

 Agreement completed.
2024-12-19 - 1:11:31 AM GMT

Owner's Authorization for Agent

Community Development Department

City of St. Pete Beach, Florida

I/WE

Yacht + Tennis Club Association, Inc.
(print name of property owner)

hereby authorize

DANIEL R. NELSON
(print name of agent)

to represent me/us in an application for

UNNECESSARY + UNDOVE HARSHIP
(type of application: variance, conditional use, zoning, etc.)

Signature of Owner

Signature of Owner

Jane McCroary, President
Print Name of Owner

Print Name of Owner

The forgoing instrument was acknowledged before me this 6th day of

November 2021 by Jane McCroary or who is

personally

known

produced

as identification.

Tracey Katherine Bishop
(Notary Signature)

11/6/2021
(Date)

My Commission Expires 10/13/2027

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824

PUBLIC HEARING SIGN POSTING AFFIDAVIT

Applicant, DANIEL R. NELSON, agrees to post the sign(s) in a conspicuous place, at the principal access to the property, in full view of the public, and not more than five (5) feet from the nearest street right of way or easement a minimum of seven (7) days in advance of the Public Hearing for unnecessary or undue hardship variances and practical difficulty variances, or seven (7) days in advance of the final administrative decision for administrative (de-minimis) variances, and remain in place until the requested action has been heard and decided. Multiple sign postings shall not be more than three hundred (300) feet apart. If the subject parcel(s) abut more than one (1) street, notices shall be posted along each street. When the subject parcel(s) does not front a public road, the sign shall be posted at the point on a public road by which the property is, or can be, reached.

The sign shall be maintained in good readable condition by the applicant. If the said sign is destroyed, lost, or becomes unreadable, the applicant or applicant's representative shall obtain a replacement sign. Any sign posted in accordance with these requirements shall be removed from the property and disposed of by the applicant or applicant's agent not later than 24 hours following the final decision.

Applicant/Agent (must fill out agent authorization form):

Name (print): DANIEL R. NELSON

Address: 9425 BUND PASS RD. #1201 ST. PETE BEACH, FL 33706

Daniel R. Nelson

Signature

Date

11-6-24

STATE OF FLORIDA

PINELLAS COUNTY

)
) SS:
)

The foregoing instrument was acknowledged before me this 6th day of November, 2021 by: Daniel R. Nelson who appeared before me, and is personally known to me, or has produced as identification, and did take an oath.

My commission Expires:

10/13/2027

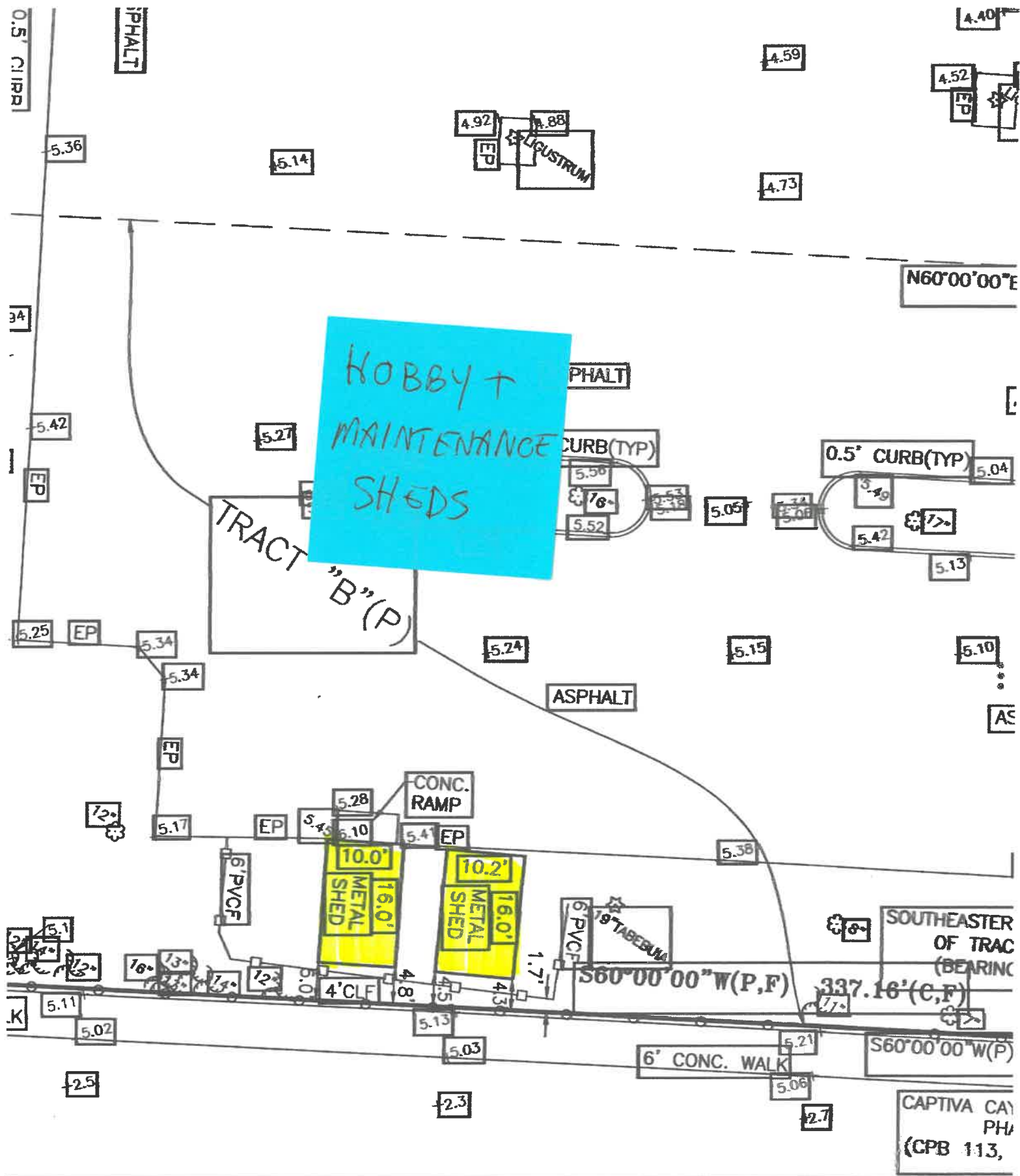
NOTARY:

Print Name: Tracey Katherine Bishop Notary

Public, State of Florida

(Notarial Seal)

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824



24104



HOBBY SHED

DESTROYED BY HURRICANE



HOBBY SHED - SIDE -

DESTROYED BY HURRICANE

24104



BETWEEN SHEDS



MAINT. SHED

24104

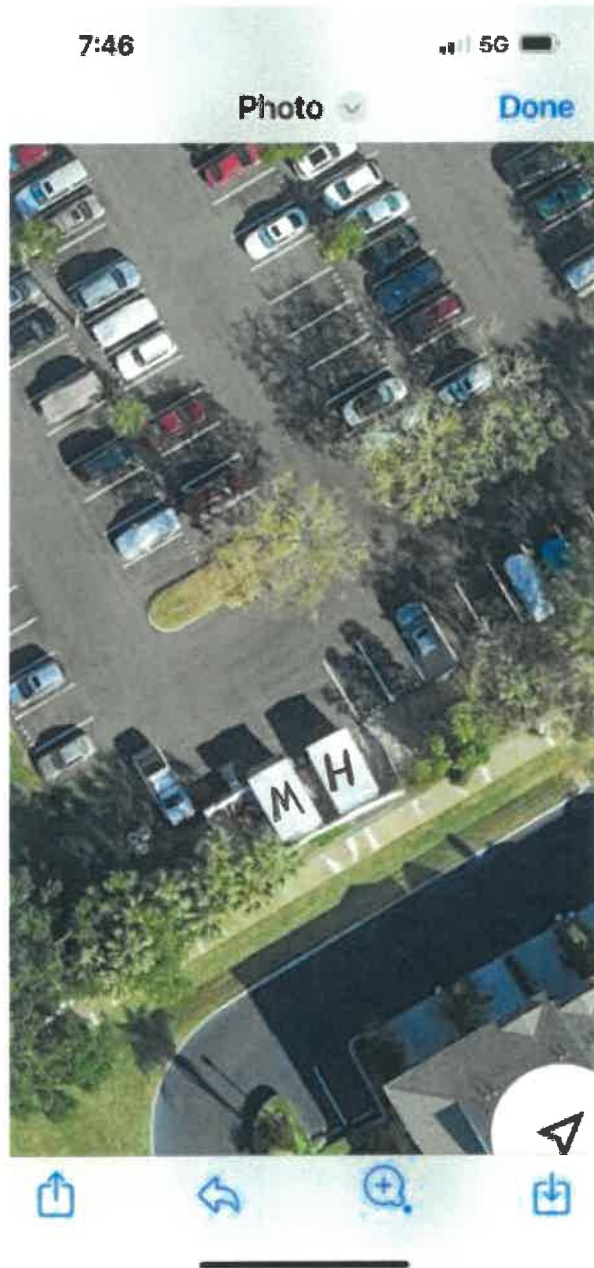


HOBBY SHED - REAR -



MAINT. SHED - REAR -

- HOBBY + MAINT. SHEDS - 24104



M = MAINTENANCE SHED
H = HOBBY SHED

Wally Watt, Inc.

PROPOSAL 24104

3569 Tyrone Boulevard
St. Petersburg, FL 33710 C-9875
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman _____
Order Date _____

First Last Name

Address

City, State, Zip

Phone Numbers

Authorized By

Maintenance Shed (A11)
9445 Blinds Pass Rd
SP Beach 33706

Classic Wally Watt

Bungalow

Roof Option

Peak
Shed

Pitch Back/Forward
Pitch Right/Left

Classic Color

White
Cream

Classic Trim Color

White
Cream
Black
Brown

Floor Options

24" On Center
16" On Center
PT Plywood

Door Options

Single Door
Double Doors

Door Hinge Option

34" Hinged Left/Right

Bungalow Color

Walls _____
Trim _____
Door _____
Roof _____

Shelves

(Extra fee)
Left/Right/Back

Build On Jobsite

(Extra fee)

Blocks/Anchors
Concrete Pad

Options

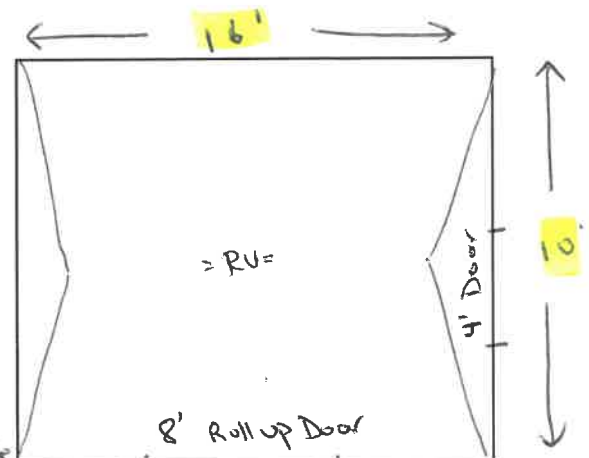
Window
Vents/ FEMA
Extra Door

Accessories

Chains/Stop
Key Lock

Building Size	Amount
10'x16'	\$9050.00
Rollup Door	\$1000.00
Window	\$175.00
Permit	\$350.00
Build on Jobsite (fee)	
Subtotal	\$10,050.00 \$10,575.00
Tax	\$703.50 \$740.25
Total Amount Due	\$10753.50 \$11,315.25
Deposit	
Balance Due	

changed
11-4-24



Visa/Master Card/Cash/Ck #

3569 Tyrone Boulevard
St. Petersburg, FL 33710 C-9875
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman Callin
Order Date 6-12-24

First Last Name _____

Address _____

City, State, Zip _____

Phone Numbers _____

Authorized By _____

Hobby Shed (A1+)
9445 Blinds Pass Rd
SP Beach 33706

Classic Wally Watt

Bungalow

Roof Option

Peak
Shed
Pitch Back/Forward
Pitch Right/Left

Classic Color

White
Cream

Classic Trim Color

White
Cream
Black
Brown

Floor Options

24" On Center
16" On Center
PT Plywood

Door Options

Single Door
Double Doors

Door Hinge Option

34" Hinged Left/Right

Bungalow Color

Walls _____
Trim _____
Door _____
Roof _____

Shelves

(Extra fee)
Left/Right/Back

Build On Jobsite

(Extra fee)
Blocks/Anchors
Concrete Pad

Options

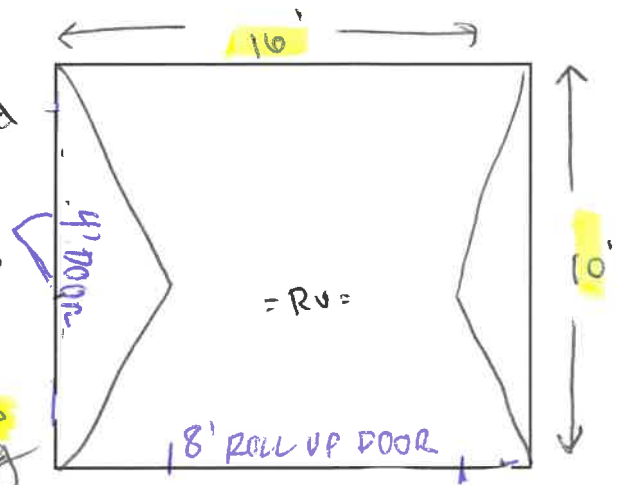
Window
Vents/ FEMA
Extra Door

Accessories

Chains/Stop
Key Lock

Building Size	Amount
10'x16'	\$9050.00
Roll up Door	\$1000.00
window	\$175.00
Permit	\$350.00
Build on Jobsite (fee)	
Subtotal	\$10,050.00 \$10,575.00
Tax	\$703.50 \$740.25
Total Amount Due	\$10,753.50 <u>\$11,315.25</u>
Deposit	
Balance Due	

changed
11-4-24



Visa/Master Card/Cash/Ck #

DONE RITE HAULING

Need it Hauled? Have it **DONE RITE!**



DoneRiteHauling.com

DoneRiteHauling@Gmail.com

727.365.7892



The Bungalow is a classically styled building with a gable roof. This building has a lap-sided aluminum exterior with a baked on enamel finish which is durable and has minimal maintenance. With over sixteen standard sizes to choose from and dozens of possible color combinations, **Wally Watt, Inc.** can provide the building you are looking for.

on you are

ings are
izes plus

WallyWatt
Aluminum Storage Buildings

COLLIN FEINBERG

3569 Tyrone Boulevard
St. Petersburg, FL 33710

(727) 381-3232

wallywattinc@gmail.com

www.wallywatt.com

Company Background

Wally Watt, Inc. is proud to be a third generation family owned and operated company.

Established in 1953 **Wally Watt, Inc.** has provided storage solutions to the residents of the west coast of Florida for over 65 years.

The companies founding principles are the cornerstone of our operations today. Using only the highest quality aluminum materials and skilled workmanship, **Wally Watt** provides rust proof, maintenance free buildings.

Our Bungalow Buildings and Garages are manufactured with pressure treated floor systems and feature an insulated mobile home door, and a window or a ridge vent for proper airflow and ventilation. They are 10 feet tall and provide maximum space for storage. These buildings are pre-built and need open access for installation.



www.wallywatt.com

805078

Bungalow Series



Wally Watt, Inc. Bungalow Series are available in the following sizes.

10x20

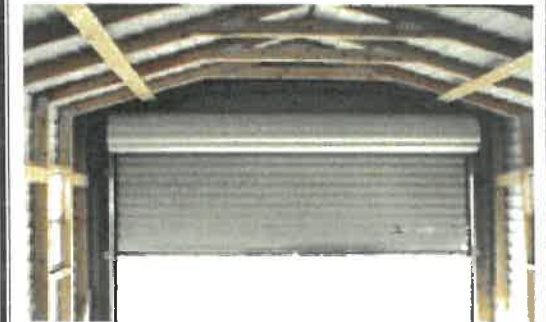
10x24

10x30

12x20

12x24

12x30



**Storage Solutions Since
1953**

Tel: (727) 381-3232

January 17, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road
Tallahassee, Florida 32399-0772

RE: Manufacturer: Superior Sheds
Agency Plan Number: SUP001-23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek¹ Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,



Ryan Knowles, SMP-64
Manager, Industrialized Buildings
Building Science Solutions

CC: Mr. Hector Llamas – hllamas@superiorsheds.com

⁽¹⁾ Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").
www.intertek.com/building

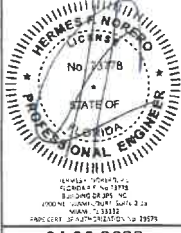




TITLE: THE SUPERIOR
FLOOR PLAN
PREPARED BY: BUILDING DROPS, INC.
1000 W. BROADWAY, SUITE 100
ORANGE CITY, FL 32763
(877) 439-7433

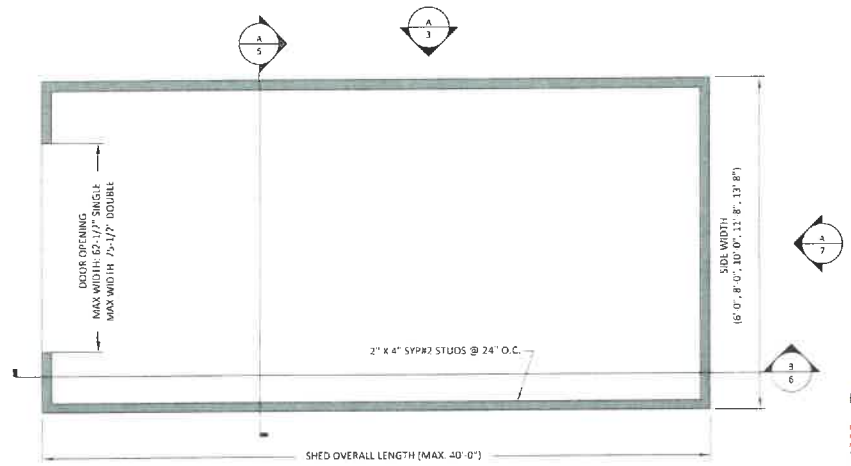
REMARKS: 2023 CODE CHANGE
BY: DK
DATE: 12/23

1. THIS INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE 2023 FLORIDA ELECTRICAL CODE (FEC) AND THE 2023 FLORIDA MECHANICAL CODE (FMC).
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE FLORIDA DEPARTMENT OF REVENUE (FDORE) AND THE FLORIDA DEPARTMENT OF AGRICULTURE (FDOA).
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE FLORIDA DEPARTMENT OF REVENUE (FDORE) AND THE FLORIDA DEPARTMENT OF AGRICULTURE (FDOA).



DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET:

2 OF 9



NOTE: SHOWN IS THE 10'0" X 20'0"

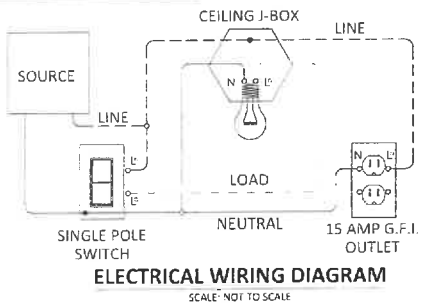
FLOOR PLAN

NOTE:
SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS. SUPPLEMENTAL STUDS TO BE INSTALLED AT EACH DOOR/WINDOW CONNECTION FOR REINFORCEMENT

- NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1,000 PSI OR GREATER
 2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
 3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
 4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

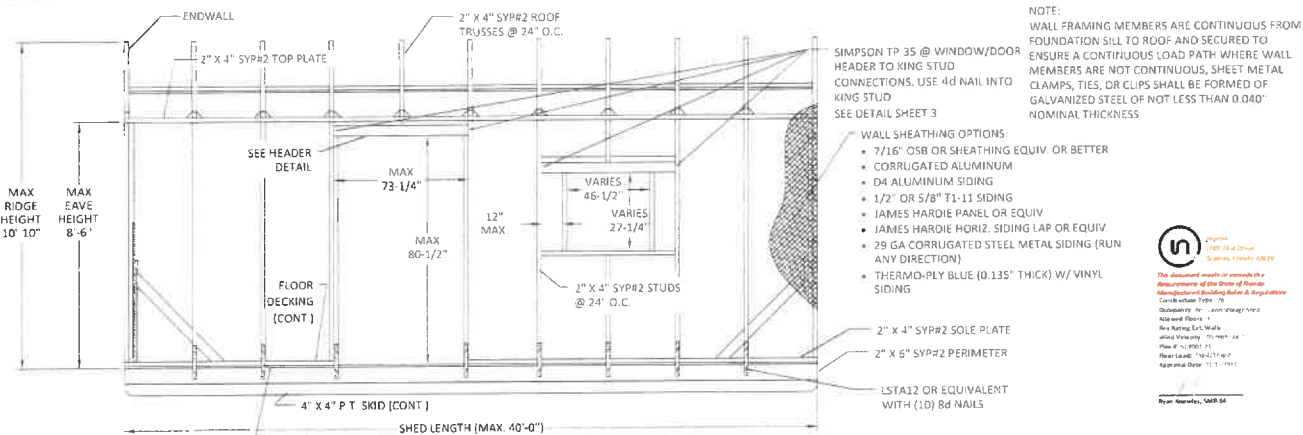
NOTE:
23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" x 48 HEX HEAD W/ WASHER SELF TAPPING SCREWS @ 6" ON EDGE & 12" IN FIELD

- ELECTRICAL NOTES & OPTIONS:
- AS PER NEC ARTICLE 330.30(8) SECURING OF MC TYPE CABLE: UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 8 FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO. LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION
 - ALL WIRING SHALL BE 14 GAUGE 3 WIRE MC CABLE
 - ENCASE IN ALL METAL BOXES
 - MAXIMUM NO. OF OUTLETS: 4
 - MAXIMUM NO. OF LIGHTS: 3



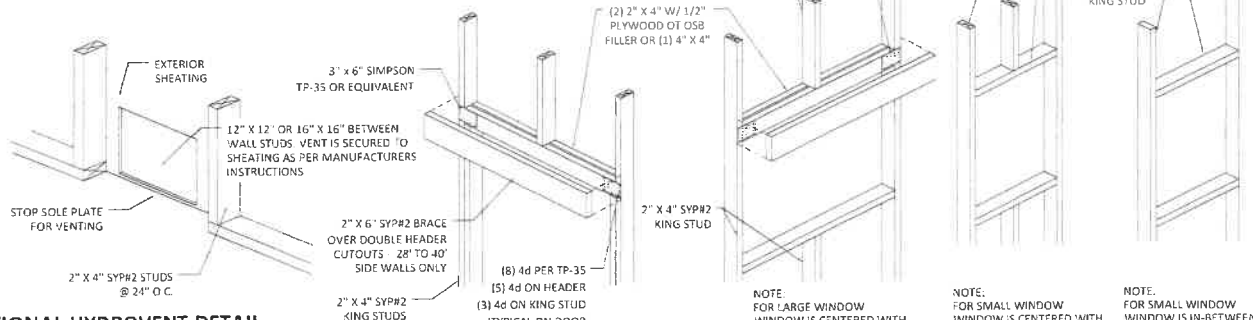
ELECTRICAL WIRING DIAGRAM

SCALE: NOT TO SCALE



ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LSTA 12 OR EQUIVALENT STRAP W/ (5) 8d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ (5) 8d NAILS (TYPICAL)

A 3 SIDEWALL FRAMING



REGISTERED PROFESSIONAL ENGINEER

THE DOCUMENT IS THE PROPERTY OF THE ENGINEER AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.

DATE: 04/20/2022

DWG. BY: LL

CHK. BY: HFN

SCALE: NTS

DWG. #: SUP001

SHEET 3 OF 9



THE SUPERIOR

SIDEWALL FRAMING

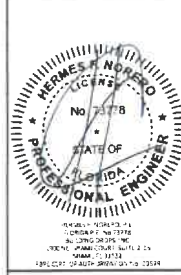
BUILDING DROPS, INC.

1000 N. MAIN STREET, SUITE 100
LAKE CHARLES, LA 70601
TEL: 337-533-1111
FAX: 337-533-1112

BD

REGISTERED PROFESSIONAL ENGINEER

REMARKS	BY	DATE
2023 CODE CHANGE	LL	12/23



DATE: 04.20.2022

DWG. BY: LL

CHK. BY: HFN

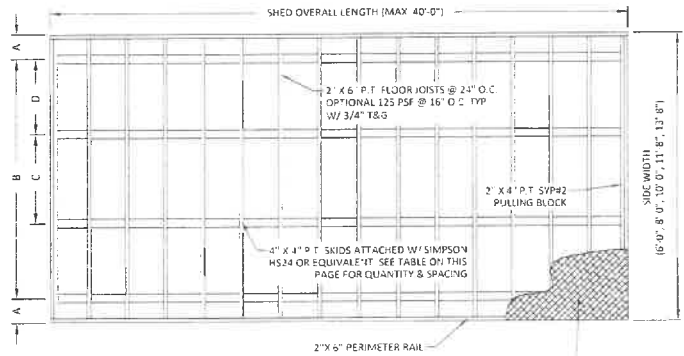
SCALE: NTS

DWG. #: SUP001

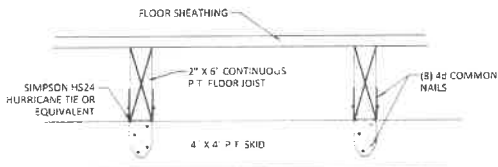
SHEET 3 OF 9

TABLE 2: SKID RUNNER SPACING*					
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	4'-4"	6'-6"	6'-10"	6'-4"	10'-11"
C	-	-	-	-	1'-10.5"
D	-	-	-	-	4'-0.25"

*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4" X 4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



FLOOR FRAMING PLAN
SCALE: 3/8" = 1'-0"



FLOOR JOIST TO SKID CONNECTION
SCALE: NOT TO SCALE



This document meets or exceeds the requirements of the State of Florida Manufactured Building Rules & Regulations. Construction Type: 2A Occupancy: 1000 - Single-Family Dwelling. Noted: None. Issued: 04/20/2022. Wind Velocity: 75 mph. Sign & Stamp: Yes. Date: 04/20/2022. Approval Date: 04/20/2022.



TITLE: THE SUPERIOR
FLOOR FRAMING
PREPARED BY: BUILDING DROPS, INC.
BUILDING DROPS, INC.
PHYSICAL MANUFACTURING, SUITE 215
1000 N. W. 10TH AVE.
FORT LAUDERDALE, FL 33304
WWW.BUILDINGDROPS.COM

REMARKS: 2023 CODE CHANGE
BY: JM
DATE: 12/23

THE INTENT AND DETAILS SHOWN HEREIN ARE CONSIDERED TO BE THE PROPERTY OF BUILDING DROPS, INC. AND MAY NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BUILDING DROPS, INC.



DATE: 04.20.2022
DWG BY: LL
CHK BY: HFN
SCALE: NTS
DWG #: SUP001
SHEET

4

OF 9



- NOTE
1. MIN. GRADE STUDS: 2" x 4 STUDS TO BE Fb=1200 PSI OR GREATER
 2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
 3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
 4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING



This document exists in accordance with the requirements of the State of Maryland Informational Building Sublet & Rental Act Construction Type III

Occupancy: 20 - 20 Storage 1000
Allowed Floors: 1
Fire Rating: 1.5 Hr Walls
Wind Velocity: 55 mph 100 ft
Plan # 5.1 (P) 11
Roof Load: 100 psf 40
Approval Date: 11/11/11

Pyronix, Inc., 5200 E. 12th Ave., Suite 100, Denver, CO 80231



THE SUPERIOR

ROOF FRAMING

BD
BUILDING DROPS

11000 AM BROADWAY SUITE 210
MIDLAND TX 79707
PH (806) 229-8676
FAX (806) 229-6738
WWW.BUILDINGDROPS.COM

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

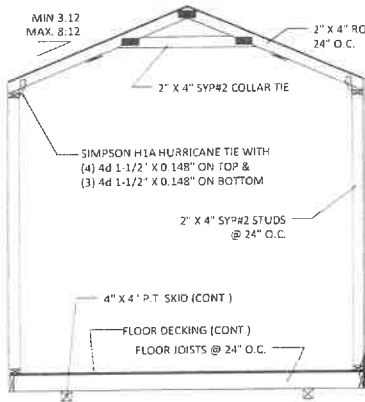
THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERAL
AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC
SITE. SITE CONDITIONS CAUSE INSTALLATION TO VARY.
*READ THE REQUIREMENTS OF ALL APPLICABLE AGENCIES,
ENGINEER OR ARCHITECT. *SMALL PREPARE SITE SPECIFIC
DOCUMENTS FOR USE WITH THIS DOCUMENT.



DATE: 04.20.2022	
DWG. BY: LL	CHK. BY: HFN
SCALE: NTS	
DWG. # SUP001	
SHEET:	

5

OF 9



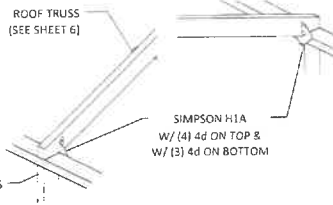
CROSS SECTION A

SCALE: 3/8"=1'-0"

ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LST-12 STRAP OR EQUIVALENT W/ 5-10d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ 5-10d NAILS (TYPICAL)

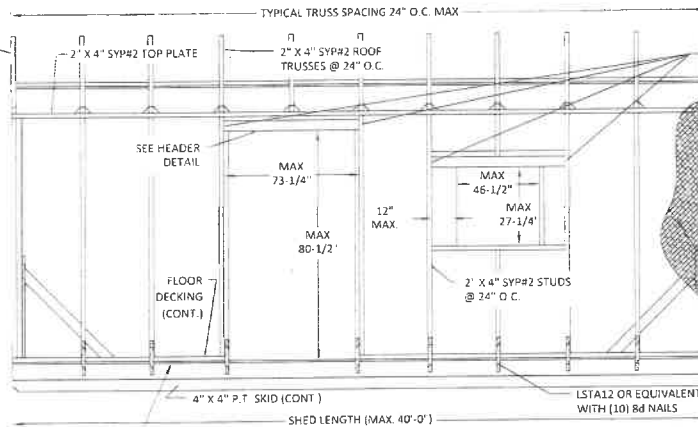
NOTE:
2" X 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.



ROOF TRUSS TO WALL CONNECTION

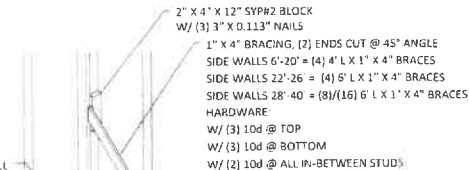
SCALE: NOT TO SCALE



CROSS SECTION B

SCALE: 3/8"=1'-0"

- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
 - CORRUGATED ALUMINUM
 - D4 ALUMINUM SIDING
 - 1/2" OR 5/8" T1-11 SIDING
 - JAMES HARDIE PANEL OR EQUIV
 - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV
 - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
 - THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING



BRACE TO WALL CONNECTION

SCALE: NOT TO SCALE

NOTE:
BRACE COUNT DEPENDS ON THE QUANTITY OF CUT-OUTS



TITLE: THE SUPERIOR CROSS SECTIONS

PREPARED BY: BUILDING DROPS, INC.
1000 N. WOODLAND AVE., SUITE 100
TALLAHASSEE, FL 32304
TEL: 904.244.1111
WWW.BUILDINGDROPS.COM

REMARKS: 2023 CODE CHANGE: BY: DATE: 12/23

OUR NOTES: ALL DIMENSIONS SHOWN ARE IN FEET AND INCHES. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.



DATE: 04.20.2022

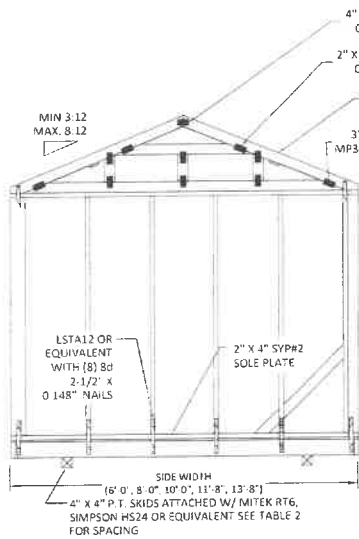
DWG. BY: LL CHK. BY: HFN

SCALE: NTS

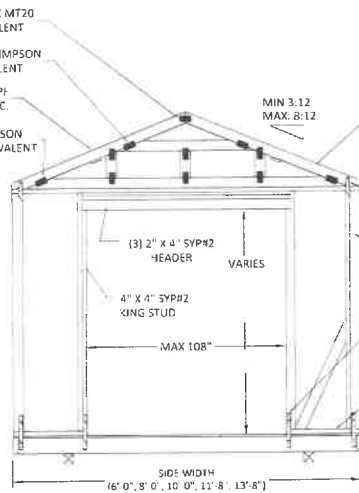
DWG. #: SUP001

SHEET: 3

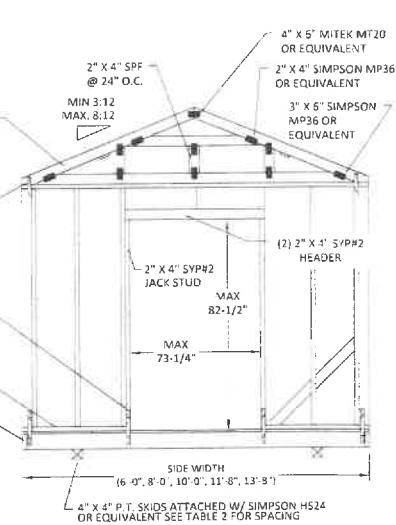
OF 9



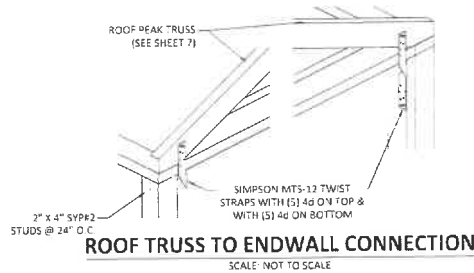
A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"



A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"
GARAGE DOOR



A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"
DOOR



NOTES

1. This document meets or exceeds the requirements of the State of Florida, Department of Building & Regulation, Construction Code, Chapter 6, Florida Building Code, 2018 Edition, and all applicable amendments.
2. All work shall be in accordance with the Florida Building Code, 2018 Edition, and all applicable amendments.
3. All work shall be in accordance with the Florida Building Code, 2018 Edition, and all applicable amendments.
4. All work shall be in accordance with the Florida Building Code, 2018 Edition, and all applicable amendments.
5. All work shall be in accordance with the Florida Building Code, 2018 Edition, and all applicable amendments.

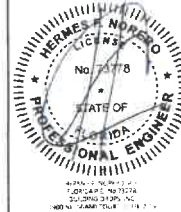
Prepared by: **LL**
Checked by: **LL**
Approved by: **LL**
Date: 04.20.2022



THE SUPERIOR
ENDWALL FRAMING
PREPARED BY: **BUILDING DROPS, INC.**
DATE: 04.20.2022
BY: **LL**
DATE: 04.20.2022

REMARKS	BY	DATE
2023 CODE CHANGE	LL	12/23

THIS INSTALLATION SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, 2018 EDITION, AND ALL APPLICABLE AMENDMENTS.



DATE: **04.20.2022**
DWG. BY: **LL** CHK. BY: **LL**
SCALE: **NTS**
DWG. # **SUP001**
SHEET **7** OF 9

ALTERNATE FASTENING SCHEDULE		
CONNECTION	FASTENING	
ALT 31-33 WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

STRAP & FASTENER SCHEDULE *				
PART#/DESC.	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
H1	2-1		6 - 8d X 1.5"	4 - 5d
H11Z	5-1		6 - 16d X 2.5"	6 - 16d X 2.5"
H2A	4-1	5 - 8d X 1.5"	5 - 8d X 1.5"	2 - 8d X 1.5"
H2.5A			5 - 8d	3 - 5d
H2.5	4-1	5 - 8d	5 - 8d	
H2.5H	5-1	5 - 8d	5 - 8d	
H2A	7-1	7 - 2c X 1.5"	5 - 8d X 1.5"	
H3		4 - 8d	4 - 8d	
H4		4 - 8d	4 - 8d	
H5		4 - 8d	4 - 8d	
LTS-12	4-2	6 - 10d X 1.5"	6 - 10d X 1.5"	
LTS-16	4-2	6 - 10d X 1.5"	6 - 10d X 1.5"	
LTS-18	4-2	6 - 10d X 1.5"	6 - 10d X 1.5"	
LTS-20		6 - 10d X 1.5"	6 - 10d X 1.5"	
MTS-12		7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-16	5-0	7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-18	5-0	7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-20	5-0	7 - 10d X 1.5"	7 - 10d X 1.5"	
PORCH	PART#/DESC.	UPLIFT	COLUMN FASTENER	RAFTER FASTENER
A21	2-1	2 - 10d X 1.5"	2 - 10d X 1.5"	
A23	2-1	4 - 10d X 1.5"	4 - 10d X 1.5"	
A33	2-1	4 - 10d	4 - 10d	
BTM PLATE	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER
LSTA-18	1-1	7 - 10d	7 - 10d	
HEADER (D)	PART#/DESC.	UPLIFT	STUD FASTENER	HEADER FASTENER
HP-35	N/R	5 - 3" X 0.131"	5 - 3" X 0.131"	
HP40,41,80,81		5 - 3" X 0.131"	5 - 3" X 0.131"	
TIE DOWNS	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER
20GA 1-1/4" WIDE		7 - 10d X 1.5"		
5/8" X 10" ANCHOR	1-1			

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS
B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16"
C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS
D. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS
E. HEADERS OVER 6' 0" SPAN

PRODUCT OPTIONS				
PRODUCT CAT	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FLR: 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FLR: 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	"	FLR: -
PANEL WALLS	SIDING	PLY GEM	"	FLR: -
PANEL WALLS	SIDING	ADVANCED ALUM.	"	FLR: -
PANEL WALLS	SIDING	SHAPESON LUMBER	"	FLR: -
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FLR: 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	200 9-LITE	FLR: -
EXTERIOR DOORS	ROLL-UP	JANUS INT'L	ROLL-UP	FLR: -
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FLR: 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FLR: 13527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FLR: 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FLR: 16153-R1
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FLR: 27202
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FLR: 28822
WINDOWS	HORIZ SLIDER	CROFT	HORIZ SLIDER	FLR: 30848

THE SUPERIOR SHEDS
23531 W. US 90 AVENUE
GRANDTOWN, FLORIDA 32721
(877) 439-7233

BUILDING DROPS INC.
10000 W. US 90 AVENUE
GRANDTOWN, FLORIDA 32721
(877) 439-7233

PROFESSIONAL ENGINEER
HERNANDEZ & MORENO
No. 75178
STATE OF FLORIDA

DATE: 04.20.2022
DWG. BY: LL **CHK. BY:** HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 3 OF 9

THE SUPERIOR SHEDS
23531 W. US 90 AVENUE
GRANDTOWN, FLORIDA 32721
(877) 439-7233

BUILDING DROPS INC.
10000 W. US 90 AVENUE
GRANDTOWN, FLORIDA 32721
(877) 439-7233

PROFESSIONAL ENGINEER
HERNANDEZ & MORENO
No. 75178
STATE OF FLORIDA

DATE: 04.20.2022
DWG. BY: LL **CHK. BY:** HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 3 OF 9

FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
CONNECTION	FASTENING	CONNECTION
1 JOIST TO SILL OR GIRDER	3-8d COMMON (2-1/2" X 0.131") 3-3" 14 GAUGE STAPLES	TOENAIL
2 BRINGING TO JOIST	2-8d COMMON (2-1/2" X 0.131") 2-8d COMMON (2-1/2" X 0.131") 2-3" 14 GAUGE STAPLES	TOENAIL EACH END
3 1"6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2-1/2" X 0.131")	FACE NAIL
4 WIDER THAN 1"6" SUBFLOOR TO EACH JOIST	3-8d COMMON (2-1/2" X 0.131")	FACE NAIL
5 7" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3-1/2" X 0.162")	BLIND AND FACE NAIL
6 SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" X 0.135") AT 16" O.C. 3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST AT BLOCKING AT BRACED WALL PANEL	3-16d COMMON (3-1/2" X 0.135") AT 16" O.C. 4-3" X 0.131" NAILS AT 16" O.C. 4-3" 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL
7 SOLE PLATE TO STUDS	2-16d COMMON (3-1/2" X 0.162") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	END NAIL
8 STUD TO SOLE PLATE	4-8d COMMON (2-1/2" X 0.131") 4-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	TOE NAIL
	2-16d COMMON (3-1/2" X 0.162") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	END NAIL
9 DOUBLE STUDS	16d (3-1/2" X 0.135") AT 24" O.C.	3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.
10 DOUBLE TOP PLATES	16d (3-1/2" X 0.135") AT 16" O.C.	3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.
DOUBLE TOP PLATES		8-16d COMMON (3-1/2" X 0.135") AT 16" O.C.
11 BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON (2-1/2" X 0.131") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	TOENAIL
12 RIM JOIST TO TOP PLATE	8d COMMON (2-1/2" X 0.131") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3" 14 GAUGE STAPLES AT 6" O.C.	TOENAIL
13 TOP PLATES, LAPS AND INTERSECTIONS	2-16d COMMON (3-1/2" X 0.162")	3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES
14 CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" X 0.162")	16" O.C. ALONG EDGE
15 CEILING JOISTS TO PLATE	3-16d COMMON (3-1/2" X 0.131") 5-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	TOE NAIL
16 RIM JOIST TO TOP PLATE	4-8d COMMON (2-1/2" X 0.131")	TOE NAIL
17 CEILING JOISTS, LAPS OVER PARTITIONS	3-16d COMMON (3-1/2" X 0.135") MIN. 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	FACE NAIL
18 CEILING JOISTS TO PARALLEL RAFTERS	3-16d COMMON (3-1/2" X 0.135") MIN. 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	FACE NAIL
19 RAFTER TO PLATE	3-8d COMMON (2-1/2" X 0.131") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	TOE NAIL
20 1" DIAGONAL BRACE TO EACH STUD & PLATE	2-8d COMMON (2-1/2" X 0.131") 2-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	FACE NAIL

FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
CONNECTION	FASTENING	CONNECTION
21 1"X8" SHEATHING TO EACH BEARING	3-8d COMMON (2-1/2" X 0.131")	FACE NAIL
22 WIDER THAN 1"X8" SHEATHING TO EA. BEARING	3-8d COMMON (2-1/2" X 0.131")	FACE NAIL
23 BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.
24 BUILT-UP GIRDER AND BEAMS	20d COMMON (3-1/2" X 0.192") AT 24" O.C. 3" X 0.131" NAILS AT 24" O.C. 2-20d COMMON (3-1/2" X 0.192") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
25 2" PLANKS	16d COMMON (3-1/2" X 0.162")	FACE NAIL AT ENDS AND AT EACH JOIST
26 COLLAR PIE TO RAFTER	3-16d COMMON (3-1/2" X 0.148") 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	FACE NAIL
27 JACK RAFTER TO H.P.	3-10d COMMON (3" X 0.148") 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	TOE NAIL
28 ROOF RAFTER TO 2-BY RIDGE BEAM	2-16d COMMON (3-1/2" X 0.162") 3-3" X 0.131" NAILS 3-3" 14 GAUGE STAPLES	FACE NAIL
29 JOIST TO BAND JOIST	3-16d COMMON (3-1/2" X 0.135") 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	FACE NAIL
30 LEDGER STRIP	3-16d COMMON (3-1/2" X 0.162") 4-3" X 0.131" NAILS 4-3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
31 WOOD STRUCTURAL PANELS AND PARTICLEBOARD (8) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 6d (C,I,Q) 2-3/8" X 0.113" NAIL (N) 1 3/4" 16 GAUGE (Q) 19/32" TO 3/4" 8d (D) OR 6d (E) 2-3/8" X 0.113" NAIL (N) 2 1/2" 16 GAUGE (P) 7/8" TO 1" 8d (C) 1 1/8" TO 1 1/4" 8d (D) OR 8d (D) 3/4" AND LESS 6d (C) 7/8" TO 1" 8d (C) 1 1/8" TO 1 1/4" 10d (D) OR 8d (D) 1/2" OR LESS 5d (F) 5/8" 8d (F) 1/2" AND LESS NO. 11 GAUGE ROOFING NAIL (H) 6d COMMON NAIL (2" X 0.113") NO. 16 25/32" STAPLE (I) NO. 11 GAUGE NAIL (H) 8d COMMON NAIL (2 1/2" X 0.131") NO. 16 GAUGE STAPLE (I) 1/4" 6d (K) 3/8" 6d (K)	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP & ZONE 3 (REFER TO FIG. 30 4-1 OF ASCE 7)
32 PANEL SIDING (TO FRAMING) (Q)	7/8" TO 1" 8d (C) 1 1/8" TO 1 1/4" 8d (D) OR 8d (D) 3/4" AND LESS 6d (C) 7/8" TO 1" 8d (C) 1 1/8" TO 1 1/4" 10d (D) OR 8d (D) 1/2" OR LESS 5d (F) 5/8" 8d (F) 1/2" AND LESS NO. 11 GAUGE ROOFING NAIL (H) 6d COMMON NAIL (2" X 0.113") NO. 16 25/32" STAPLE (I) NO. 11 GAUGE NAIL (H) 8d COMMON NAIL (2 1/2" X 0.131") NO. 16 GAUGE STAPLE (I) 1/4" 6d (K) 3/8" 6d (K)	6" O.C. EDGES AND INTERMEDIATE
33 FIBERBOARD SHEATHING (G,C)	1/2" AND LESS NO. 11 GAUGE ROOFING NAIL (H) 6d COMMON NAIL (2" X 0.113") NO. 16 25/32" STAPLE (I) NO. 11 GAUGE NAIL (H) 8d COMMON NAIL (2 1/2" X 0.131") NO. 16 GAUGE STAPLE (I) 1/4" 6d (K) 3/8" 6d (K)	6" O.C. EDGES AND INTERMEDIATE
34 INTERIOR PANELING	1/4" 6d (K) 3/8" 6d (K)	6" O.C. EDGES AND INTERMEDIATE

NOTES:

- COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAM'S AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- COMMON OR DEFORMED SHANK (6d - 2 1/2" X 0.113", 8d - 2 1/2" X 0.131", 10d - 3" X 0.148") D COMMON (6d - 2" X 0.113", 8d - 2 1/2" X 0.131", 10d - 3" X 0.148").
- DEFORMED SHANK (6d - 2" X 0.113", 8d - 2 1/2" X 0.131", 10d - 3" X 0.148").
- CORROSION-RESISTANT SIDING (6d - 1 7/8" X 0.106", 8d - 2 3/8" X 0.128") OR CASING (6d - 2" X 0.099", 8d - 2 1/2" X 0.113") NAIL.
- FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING, SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR SHEATHING CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHEATHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- PANEL SUPPORTS AT 24 INCHES, CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- SEE FASTENER ALTERNATE SCHEDULE.
- FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER.



THE SUPERIOR
SCHEDULES
PREPARED BY:
BUILDING DROPS, INC.
1000 N. W. 10th Ave., Suite 100
Fort Lauderdale, FL 33304
Tel: (954) 561-1111
Fax: (954) 561-1112
Web: www.bldgdrps.com

REMARKS BY DATE
2023 CODE CHANGE BY 12/23

THE INFORMATION CONTAINED HEREIN IS FOR GENERAL INFORMATION ONLY. IT IS NOT TO BE USED FOR SPECIFIC PROJECTS WITHOUT THE CONSULTATION OF THE ENGINEER. THE ENGINEER ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY RESULTING FROM THE USE OF THIS INFORMATION.

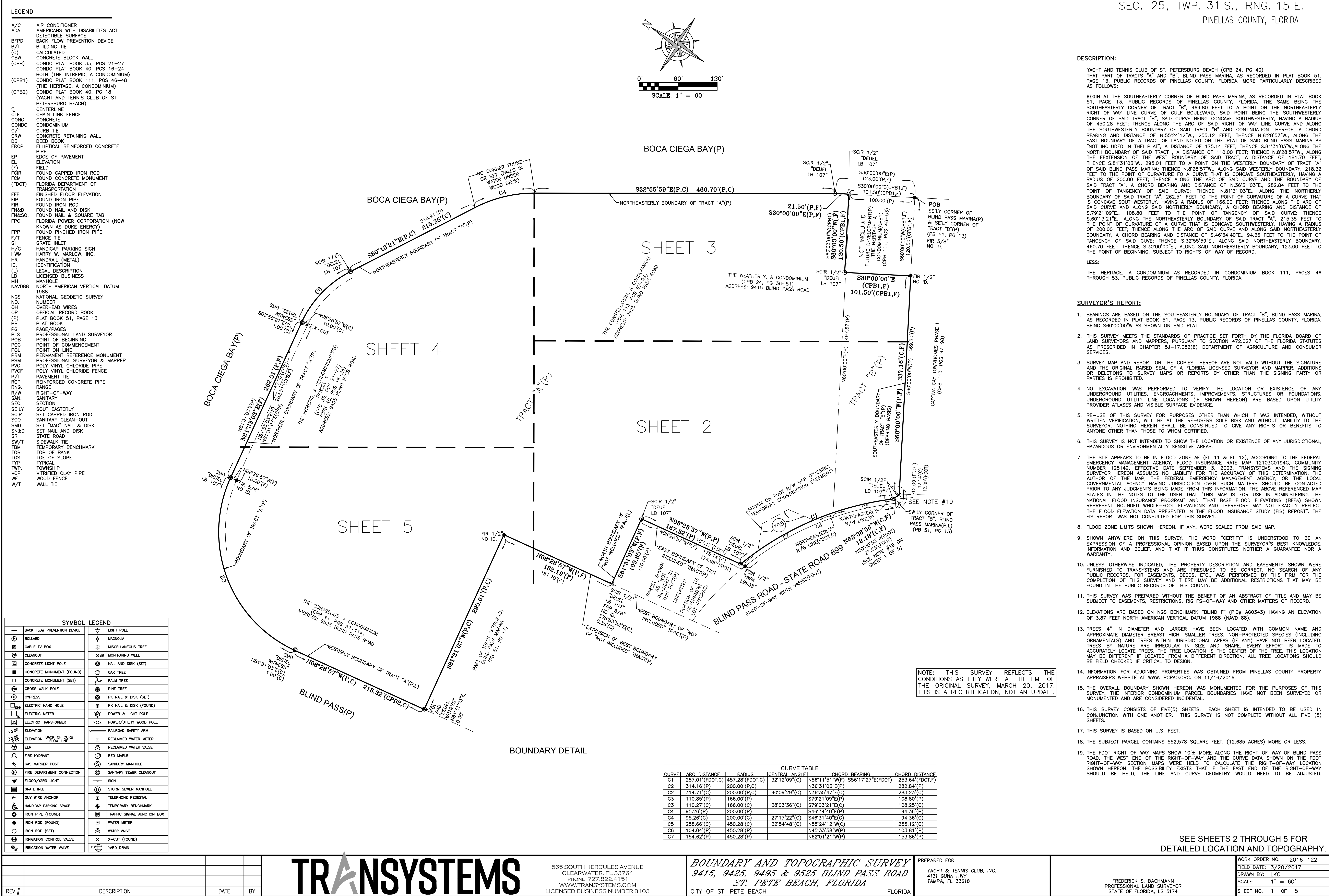


DATE: 04.20.2022
DWG BY: LL CHK BY: HFN

SCALE: NTS
DWG # SUP001

SHEET 9 OF 9

OF 9



Out 29, 2024 - 11:16am X:\2016\2016-122 Yacht & Tennis Club SHS Blind Pass Survey\Acad\2016-122-BIT.mxd

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21-27
(CPB1)	CONDO PLAT BOOK 40, PGS 16-24
(CPB2)	BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46-48
(CPB2)	(THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18
(CPB2)	(YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
C	CENTERLINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ	FOUND NAIL & SQUARE TAB
FFC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
G	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT-OF-WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN-OUT
SND	SET NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND	
---	BACK FLOW PREVENTION DEVICE
⊙	BOLLARD
⊠	CABLE TV BOX
⊕	CLEANOUT
⊞	CONCRETE LIGHT POLE
⊟	CONCRETE MONUMENT (FOUND)
⊠	CONCRETE MONUMENT (SET)
⊡	CROSS WALK POLE
⊢	CYPRESS
⊣	ELECTRIC HAND HOLE
⊤	ELECTRIC METER
⊥	ELECTRIC TRANSFORMER
⊦	ELEVATION
⊧	ELEVATION BACK OF CURB
⊨	ELM
⊩	FIRE HYDRANT
⊪	GAS MARKER POST
⊫	FIRE DEPARTMENT CONNECTION
⊬	FLOOD/YARD LIGHT
⊭	GRATE INLET
⊮	GUY WIRE ANCHOR
⊯	HANDICAP PARKING SPACE
⊰	IRON PIPE (FOUND)
⊱	IRON ROD (FOUND)
⊲	IRON ROD (SET)
⊳	IRRIGATION CONTROL VALVE
⊴	IRRIGATION WATER VALVE
⊵	LIGHT POLE
⊶	MAGNOLIA
⊷	MISCELLANEOUS TREE
⊸	MONITORING WELL
⊹	NAIL AND DISK (SET)
⊺	OAK TREE
⊻	PALM TREE
⊼	PINE TREE
⊽	PK NAIL & DISK (SET)
⊾	PK NAIL & DISK (FOUND)
⊿	POWER & LIGHT POLE
⊿	POWER/UTILITY WOOD POLE
⊿	RAILROAD SAFETY ARM
⊿	RECLAIMED WATER METER
⊿	RECLAIMED WATER VALVE
⊿	RED MAPLE
⊿	SANITARY MANHOLE
⊿	SANITARY SEWER CLEANOUT
⊿	SIGN
⊿	STORM SEWER MANHOLE
⊿	TELEPHONE PEDESTAL
⊿	TEMPORARY BENCHMARK
⊿	TRAFFIC SIGNAL JUNCTION BOX
⊿	WATER METER
⊿	WATER VALVE
⊿	X-CUT (FOUND)
⊿	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY
-------	-------------	------	----

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.522.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

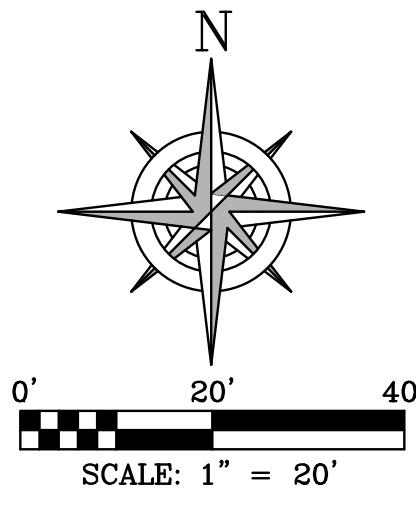
SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 3 THROUGH 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5A-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO. 2016-122
FIELD DATE: 3/20/2017
DRAWN BY: LKC
SCALE: 1" = 20'
SHEET NO. 2 OF 5

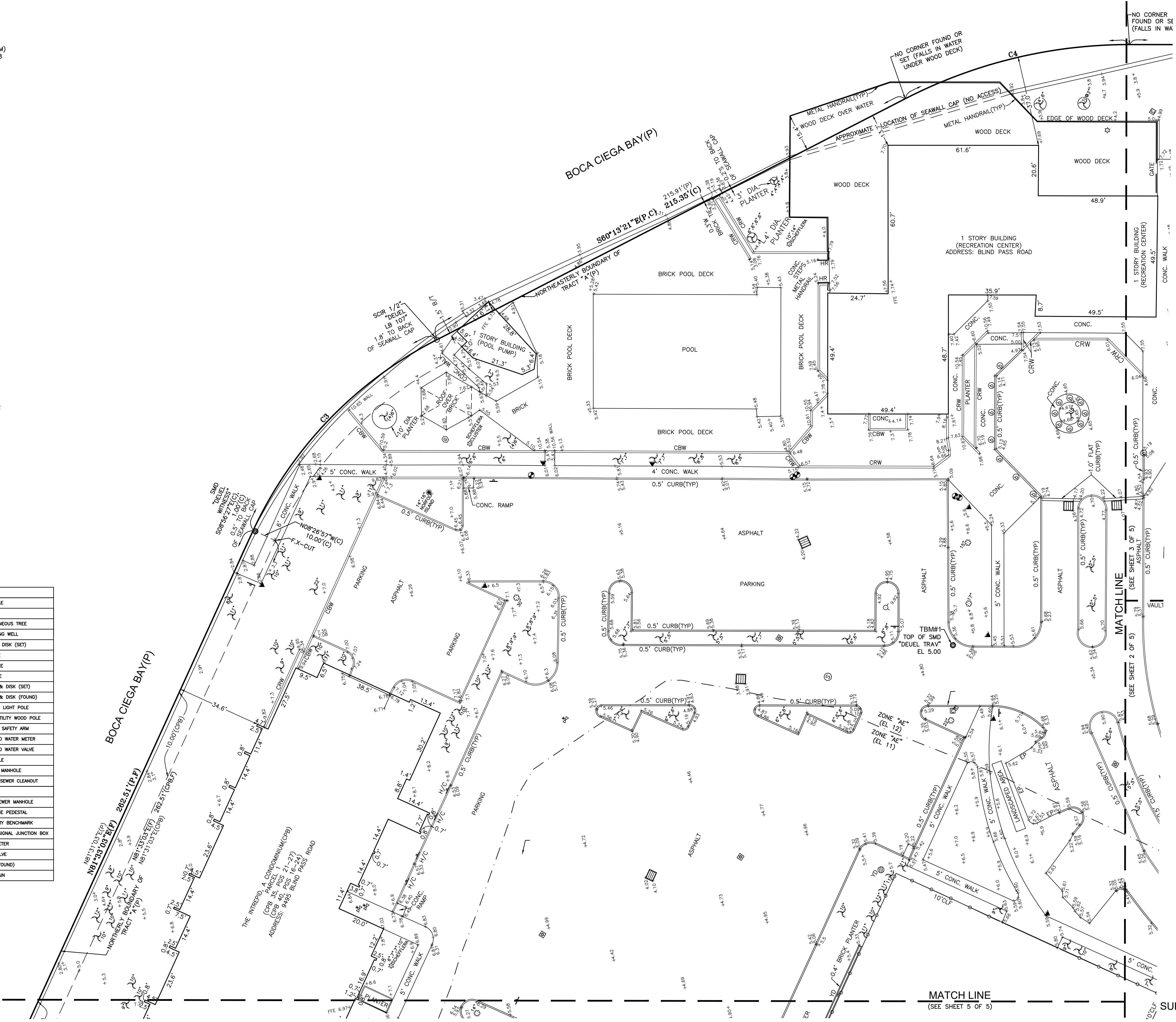
SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA



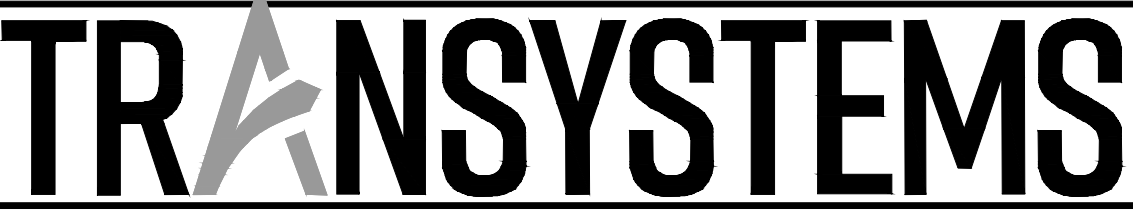


- LEGEND**
- A/C AIR CONDITIONER
ADA AMERICANS WITH DISABILITIES ACT
B/T BUILDING TIE
CBW CONCRETE BLOCK WALL
(CPB) CONDO PLAT BOOK 35, PGS 21-27
CONDO PLAT BOOK 40, PGS 16-24
BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1) CONDO PLAT BOOK 111, PGS 46-48
(THE HERITAGE, A CONDOMINIUM)
(CPB2) CONDO PLAT BOOK 40, PG 18
(YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
C CENTERLINE
CLF CHAIN LINK FENCE
CONC CONCRETE
CONDO CONDOMINIUM
C/T CURB TIE
CRW CONCRETE RETAINING WALL
DB DEED BOOK
ERCP ELLIPTICAL REINFORCED CONCRETE
PIPE
EP EDGE OF PAVEMENT
EL ELEVATION
(F) FIELD
FCIR FOUND CAPPED IRON ROD
FCM FOUND CONCRETE MONUMENT
(FDOT) FLORIDA DEPARTMENT OF TRANSPORTATION
FFE FINISHED FLOOR ELEVATION
FIP FOUND IRON PIPE
FIR FOUND IRON ROD
FN&D FOUND NAIL AND DISK
FN&SQ FOUND NAIL & SQUARE TAB
FPC FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP FOUND PINCHED IRON PIPE
F/T FENCE TIE
GI GRATE INLET
H/C HANDICAP PARKING SIGN
HWM HARRY W. MARLOW, INC.
HR HANDRAIL (METAL)
ID IDENTIFICATION
(L) LEGAL DESCRIPTION
LB LICENSED BUSINESS
MH MANHOLE
NAVD88 NORTH AMERICAN VERTICAL DATUM 1988
NGS NATIONAL GEODETIC SURVEY
NO. NUMBER
OH OVERHEAD WIRES
OR OFFICIAL RECORD BOOK
(P) PLAT BOOK 51, PAGE 13
PB PLAT BOOK
PG PAGE/PAGES
PLS PROFESSIONAL LAND SURVEYOR
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
POL POINT ON LINE
PRM PERMANENT REFERENCE MONUMENT
PSM PROFESSIONAL SURVEYOR & MAPPER
PVC POLY VINYL CHLORIDE PIPE
PVCF POLY VINYL CHLORIDE FENCE
P/T PAVEMENT TIE
RCP REINFORCED CONCRETE PIPE
RNG. RANGE
R/W RIGHT-OF-WAY
SAN. SANITARY
SEC. SECTION
SE'LY SOUTHEASTERLY
SCIR SET CAPPED IRON ROD
SCO SANITARY CLEAN-OUT
SND SET "MAG" NAIL & DISK
SN&D SET NAIL AND DISK
SR STATE ROAD
SW/T SIDEWALK TIE
TBM TEMPORARY BENCHMARK
TOB TOP OF BANK
TOS TOE OF SLOPE
TYP TYPICAL
TWP. TOWNSHIP
VCP VITRIFIED CLAY PIPE
WF WOOD FENCE
W/T WALL TIE

SYMBOL LEGEND	
—	BACK FLOW PREVENTION DEVICE
⊕	BOLLARD
⊞	CABLE TV BOX
⊞	CLEANOUT
⊞	CONCRETE LIGHT POLE
■	CONCRETE MONUMENT (FOUND)
□	CONCRETE MONUMENT (SET)
⊞	CROSS WALK POLE
⊞	CYPRESS
⊞	ELECTRIC HAND HOLE
⊞	ELECTRIC METER
⊞	ELECTRIC TRANSFORMER
x0.00	ELEVATION
x0.00	ELEVATION BACK OF CURB
x0.00	ELEVATION FLOW LINE
ELM	ELM
⊞	FIRE HYDRANT
⊞	GAS MARKER POST
⊞	FIRE DEPARTMENT CONNECTION
▼	FLOOD/YARD LIGHT
⊞	GRATE INLET
⊞	GUY WIRE ANCHOR
⊞	HANDICAP PARKING SPACE
⊞	IRON PIPE (FOUND)
⊞	IRON ROD (FOUND)
⊞	IRON ROD (SET)
⊞	IRRIGATION CONTROL VALVE
⊞	IRRIGATION WATER VALVE
☆	LIGHT POLE
⊞	MAGNOLIA
⊞	MISCELLANEOUS TREE
⊞	MONITORING WELL
⊞	NAIL AND DISK (SET)
⊞	OAK TREE
⊞	PALM TREE
⊞	PINE TREE
⊞	PK NAIL & DISK (SET)
⊞	PK NAIL & DISK (FOUND)
⊞	POWER & LIGHT POLE
⊞	POWER/UTILITY WOOD POLE
⊞	RAILROAD SAFETY ARM
⊞	RECLAIMED WATER METER
⊞	RECLAIMED WATER VALVE
⊞	RED MAPLE
⊞	SANITARY MANHOLE
⊞	SANITARY SEWER CLEANOUT
⊞	SIGN
⊞	STORM SEWER MANHOLE
⊞	TELEPHONE PEDESTAL
⊞	TEMPORARY BENCHMARK
⊞	TRAFFIC SIGNAL JUNCTION BOX
⊞	WATER METER
⊞	WATER VALVE
⊞	X-CUT (FOUND)
⊞	YARD DRAIN



SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.



565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.522.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5A-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016-122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	4 OF 5

- LEGEND
- A/C AIR CONDITIONER
ADA AMERICANS WITH DISABILITIES ACT
B/T BUILDING TIE
(C) CALCULATED
CBW CONCRETE BLOCK WALL
(CPB) CONDO PLAT BOOK 35, PGS 21-27
CONDO PLAT BOOK 40, PGS 16-24
BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1) CONDO PLAT BOOK 111, PGS 46-48
(THE HERITAGE, A CONDOMINIUM)
(CPB2) CONDO PLAT BOOK 40, PG 18
(YACHT AND TENNIS CLUB OF ST.
PETERSBURG BEACH)
C CENTERLINE
CLF CHAIN LINK FENCE
CONC CONCRETE
CONDO CONDOMINIUM
C/T CURB TIE
CRW CONCRETE RETAINING WALL
DB DEED BOOK
ERCP ELLIPTICAL REINFORCED CONCRETE
PIPE
EP EDGE OF PAVEMENT
EL ELEVATION
(F) FIELD
FCIR FOUND CAPPED IRON ROD
FCM FOUND CONCRETE MONUMENT
(FDOT) FLORIDA DEPARTMENT OF
TRANSPORTATION
FFE FINISHED FLOOR ELEVATION
FIP FOUND IRON PIPE
FIR FOUND IRON ROD
FN&D FOUND NAIL AND DISK
FN&SQ FOUND NAIL & SQUARE TAB
FPC FLORIDA POWER CORPORATION (NOW
KNOWN AS DUKE ENERGY)
FPP FOUND PINCHED IRON PIPE
F/T FENCE TIE
GI GRATE INLET
H/C HANDICAP PARKING SIGN
HWM HARRY W. MARLOW, INC.
HR HANDRAIL (METAL)
ID IDENTIFICATION
(L) LEGAL DESCRIPTION
LB LICENSED BUSINESS
MH MANHOLE
NAVD88 NORTH AMERICAN VERTICAL DATUM
1988
NGS NATIONAL GEODETIC SURVEY
NO. NUMBER
OH OVERHEAD WIRES
OR OFFICIAL RECORD BOOK
(P) PLAT BOOK 51, PAGE 13
PB PLAT BOOK
PG PAGE/PAGES
PLS PROFESSIONAL LAND SURVEYOR
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
POL POINT ON LINE
PRM PERMANENT REFERENCE MONUMENT
PSM PROFESSIONAL SURVEYOR & MAPPER
PVC POLY VINYL CHLORIDE PIPE
PVCF POLY VINYL CHLORIDE FENCE
P/T PAVEMENT TIE
RCP REINFORCED CONCRETE PIPE
RNG. RANGE
R/W RIGHT-OF-WAY
SAN. SANITARY
SEC. SECTION
SE'LY SOUTHEASTERLY
SCIR SET CAPPED IRON ROD
SCO SET "MAG" NAIL & DISK
SMD SET NAIL AND DISK
SN&D SET NAIL AND DISK
SR STATE ROAD
SW/T SIDEWALK TIE
TBM TEMPORARY BENCHMARK
TOB TOP OF BANK
TOS TOE OF SLOPE
TYP TYPICAL
TWP. TOWNSHIP
VCP VITRIFIED CLAY PIPE
WF WOOD FENCE
W/T WALL TIE

SYMBOL LEGEND	
	BACK FLOW PREVENTION DEVICE
	BOLLARD
	CABLE TV BOX
	CLEANOUT
	CONCRETE LIGHT POLE
	CONCRETE MONUMENT (FOUND)
	CONCRETE MONUMENT (SET)
	CROSS WALK POLE
	CYPRESS
	ELECTRIC HAND HOLE
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	ELEVATION
	ELEVATION BACK OF CURB FLOW LINE
	ELM
	FIRE HYDRANT
	GAS MARKER POST
	FIRE DEPARTMENT CONNECTION
	FLOOD/YARD LIGHT
	GRATE INLET
	GUY WIRE ANCHOR
	HANDICAP PARKING SPACE
	IRON PIPE (FOUND)
	IRON ROD (FOUND)
	IRON ROD (SET)
	IRRIGATION CONTROL VALVE
	IRRIGATION WATER VALVE
	LIGHT POLE
	MAGNOLIA
	MISCELLANEOUS TREE
	MONITORING WELL
	NAIL AND DISK (SET)
	OAK TREE
	PALM TREE
	PINE TREE
	PK NAIL & DISK (SET)
	PK NAIL & DISK (FOUND)
	POWER & LIGHT POLE
	POWER/UTILITY WOOD POLE
	RAILROAD SAFETY ARM
	RECLAIMED WATER METER
	RECLAIMED WATER VALVE
	RED MAPLE
	SANITARY MANHOLE
	SANITARY SEWER CLEANOUT
	SIGN
	STORM SEWER MANHOLE
	TELEPHONE PEDESTAL
	TEMPORARY BENCHMARK
	TRAFFIC SIGNAL JUNCTION BOX
	WATER METER
	WATER VALVE
	X-CUT (FOUND)
	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND
SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 4 FOR REMAINDER OF
DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY
THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION
AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA
BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF
THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J-17.05 DEPARTMENT OF
AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT
THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR
AND MAPPER.

WORK ORDER NO.	2016-122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	5 OF 5



City of St. Pete Beach · 155 Corey Avenue, St. Pete Beach, Florida 33706 727-367-2735 · www.stpetebeach.org

COMMUNITY DEVELOPMENT - PLANNING

Date: January 3, 2025
To: Board of Adjustment
Re: Staff Findings Report
Unnecessary and Undue Hardship Variance
Address: Blind Pass Rd.
Parcel Number: 25-31-15-09234-000-0001
Applicant: Dan Nelson for WEATHERLY, THE CONDO ASSN INC.
Variance Case No: 24104

Prepared by: Kristin Coman, Senior Planner

Hearing Date: 1/29/2025

Please be advised that staff has received and reviewed the following items submitted in support of the application:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of existing hobby and maintenance buildings
4. Photo package submitted by applicant, consisting of 4 sheets with no dates provided.
5. Proposals for both buildings prepared by Wally Watt, Inc., no date, consisting of 3 pages.
6. Compliance letter dated 1/24/2024 from Intertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/202/2022 consisting of 10 sheets.

Staff offers the following comments for the Board's consideration:

Site Description/Surrounding Land Uses

The subject site is an approximately 1.72 acre parcel located on Blind Pass Rd. known as parcel number 25-31-15-09234-000-0001 and legal description of WEATHERLY, THE CONDO COMMON ELEMENTS. The property is located within the RM Residential District and within the RM Residential Medium land use category on the future land use map and contains The Weatherly Condominiums, consisting of 70 units within a 14 floor building constructed in 1977 according to the Pinellas County Property Appraiser. It

also has the associated parking area accessed through a common drive serving the Yacht and Tennis Club of St. Pete Beach from Blind Pass Rd. It is a waterfront parcel located on the Boca Ciega Bay to the east, Captiva Cay Townhomes to the south, Blind Pass Rd. and Mc Kinney Park to the west and the companion buildings and additional parking to the Yacht and Tennis Club to the north.

Figure 1: Aerial Photography



Source: Pinellas County Property Appraiser

Figure 2: Zoning Map



Source: City of St. Pete Beach Official Zoning Map, dated 7/20/2012

Request

The applicant requests the requests a variance for replacement/installation of two (2) 160 sq. ft, 10'x16', 10'h storage structures where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b)).

Analysis

Variances required as a result of the proposed changes:

- a. **Number of storage structures:** Where 1 storage structure is permitted, 2 are proposed.
- b. **Maximum size:** Where 80 sq. ft. is the maximum square footage permitted and 160 sq. ft. (each) is proposed (LDC 6.13(b)(5)(a)). For each proposed structure, the applicant is requesting a square footage 2 times greater than what is permitted by code.
- c. **Maximum height:** Where a maximum height of 8' (measured grade to the highest point on the structure) is permitted and proposed height grade to peak is 10' (LDC Sec. 6.13(5)(b)).

Figure 3: Zoning Table			
Accessory Structure-Residential Storage Building	9415 Blind Pass Rd.		
	<u>RM Required</u>	<u>Existing</u>	<u>Proposed</u>
Size (Max.)	80 sq. ft. (each, max. 1 building permitted)	160 sq. ft.* , 2 buildings (v)	160 sq. ft. (v) , 2 buildings (v)
Front Yard Setback (Min.)	60'	96' (approx.)	no change
Side Yard Setback (Min.)	along property line	4.3' (min.)	no change
Height (Max.)	8'	10'*	10' structure (v)
*Denotes existing non-conformity (v) = Variance required			

Figure 4: Portion of Boundary Survey showing Existing and Proposed Location of Storage Structures (N.T.S.)

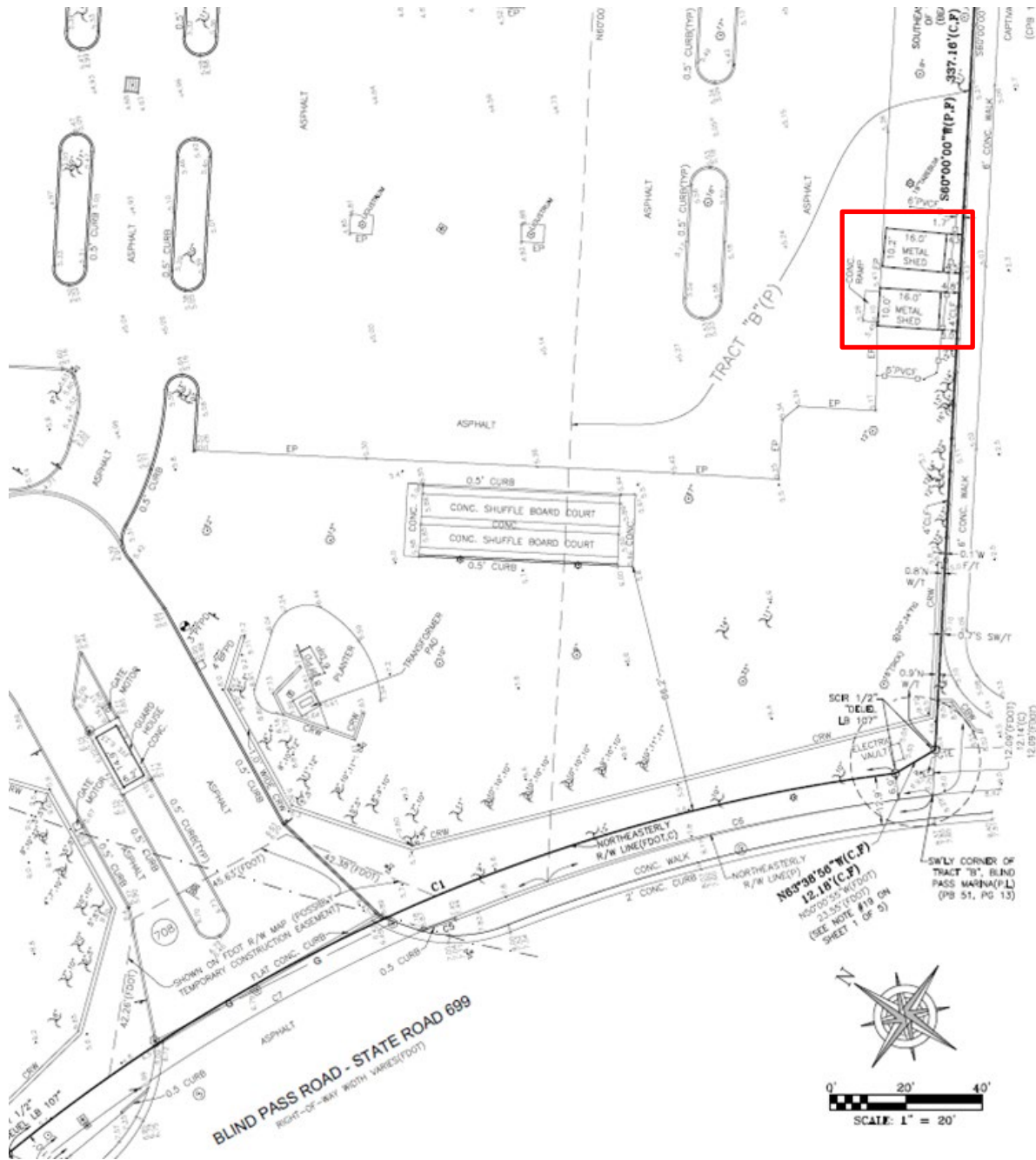


Figure 5: Aerial Photo



Source: Google Earth

Figure 6: Staff Photo Showing Current Conditions



Additional Comments

The Applicant should provide testimony regarding the necessity for the requested variances.

The Board has standards of review for a hardship variance and must make a positive finding with regards to the provisions located in Division 3 of the Land Development Code in order to grant the variance(s). The applicant should be prepared to provide their own testimony by answering the following items 1-8 **in addition** to staff comments below:

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or building in the same zoning district;
 - *The property is part of a multi-parcel development spanning over 13 acres, featuring condominiums with shared common areas, including recreational facilities maintained by the condominium associations. This setup is unique to the area.*
2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;
 - *A review of City records does not indicate when the storage buildings shown on the survey were installed. According to the applicant's submission, the existing structures were built in the late 1990s. While the request to replace the current structures stems from the applicant's actions, it was anticipated to replace the structures, the recent Hurricanes eliminated one storage structure completely and the other severely compromised. Their proposal aims to maintain the existing nonconforming size of each building.*
3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;
 - *Staff observes that nearby properties are not used in exactly the same way, specifically the southern property. The applicant shares the same zoning classification as the southern property, which does not appear to provide storage options or facilitate resident use in the same way. The applicant has indicated that these specific sheds serve as an amenity for residents and could better articulate to the board how they are an integral and necessary feature of the site, contributing to a hardship if removed.*
4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the comprehensive plan or the Land Development Code, nor will it permit and increase in development density;
 - *The request is for the replacement of existing storage buildings which are a permitted accessory structure in the property's zoning district and will not increase density.*
5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;
 - *Staff finds the request to be for the replacement of equal size storage buildings which does not appear to contain any additional direct income-generating activity as proposed.*

6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, building, or structures in the same zoning district;
 - *The property's southern neighbor is the only property in the same zoning district, within the area, that is not of similar character.*
7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and
 - *Staff finds the request is reasonable given the proposed sheds are a direct replacement of the structures that were present prior to damage incurred by Hurricane Helene and Milton and do not contain any additional square footage.*
8. The requested variance is in harmony with the general intent and purpose of the comprehensive plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.
 - *Staff finds that the request will not result in more imposing structures, as the proposed replacements match the existing structures in overall height and square footage. Staff recommends a condition requiring the installation of screening and landscape improvements to minimize disturbances to neighboring residents and enhance visual and noise mitigation.*

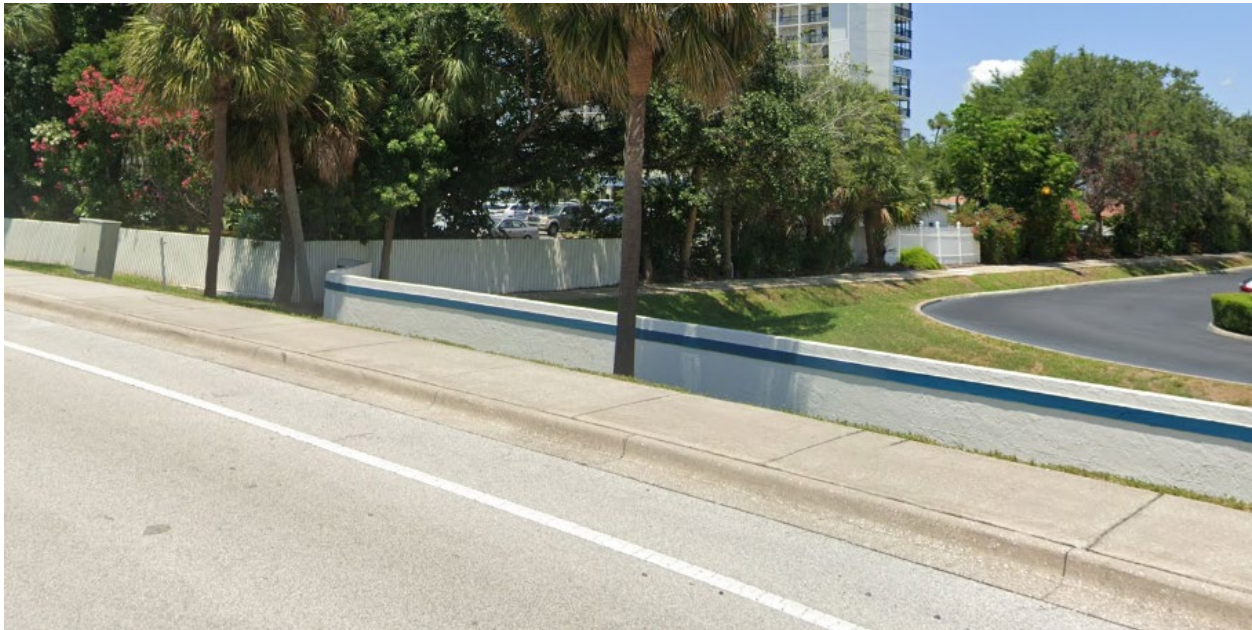
Technical Review Committee

The meeting is to be held on 2/22/25, after the publication of this report. If additional questions or comments are shared, Staff will present them to the Board of Adjustment at the hearing for this case.

Other

Staff finds that the applicant has addressed some of the hardship criteria but does request additional testimony be provided to demonstrate that denial would result in deprivation of an integral and necessary aspect of the use of the property in a manner that creates a hardship.

1. The applicant should provide further testimony as to the hardship faced in terms of necessity for the storage structures and what is to be stored within. In addition, should provide testimony if the proposed structures are adequate to store all materials within proposed building eliminating any goods or materials to be stored outside.
2. Details should be provided regarding any existing exterior lighting in the area, whether building-mounted or pole-mounted, as well as any lighting proposed as part of this request.
3. Prior to Hurricanes Helene and Milton, there was fencing and established vegetation which provided substantial screening from the adjacent southern development, Captiva Cay, and demonstrated in the photo below. The applicant should provide testimony on any plans for landscaping and details to replace any areas that were damaged or destroyed by the weather events.

Figure 7: Street View

Source: Google Earth Image, 2024

Summary

Staff finds that the applicant has addressed some of the hardship criteria but does request additional testimony be provided to demonstrate that denial would result in deprivation of an integral and necessary aspect of the use of the property in a manner that creates a hardship.

Should the applicant provide additional information to satisfy the Board that substantial and competent evidence has been provided and look favorably on the application on the relief request, the Board may wish to consider the following conditions and any additional conditions it deems necessary:

1. The applicant must install a solid fence with a minimum height of 6 feet, combined with landscaping along the property line in the area of the buildings, to provide adequate screening for the southern neighbors. A landscape plan and fence details must be submitted with the permit application for review and approval by Zoning.
2. All goods and materials must be stored within the storage buildings. Outdoor storage or display of goods and/or materials is not permitted.
3. Any proposed lighting must be installed on the front of the buildings, facing the parking lot.

Should the board look favorably on the application, the applicant should be advised that any variance granted hereunder shall expire one (1) year from the date of the development order providing such variance, unless a building permit for the construction authorized by such variance is obtained within such time and said building permit has not expired prior to the completion of construction in accordance therewith.

Respectfully submitted,

A handwritten signature in dark ink, appearing to be 'K Coman', with a horizontal line extending to the right.

Kristin Coman
Senior Planner

Cc: Dan Nelson, Applicant **via email** (dnelsonytcbod@gmail.com)
The Weatherly Condominium Assoc., Owner **via email** (ytcmanager@grenacre.com)
Board of Adjustment Attorney

Case No. 24104, L-1

From: [Debra McGuigan Seabers](#)
To: [Kristin Coman](#)
Cc: [Susan Rea](#)
Subject: Case 24104 and 24105 Blind Pass Rd
Date: Friday, January 17, 2025 4:36:14 PM

CAUTION: This message has originated from **Outside of the Organization**. Do Not Click on links or open attachments unless you are expecting the correspondence from the sender and know the content is safe

I received a notice of public hearing via USPS on January 17, 2025 regarding Parcels on St. Pete Beach Yacht and Tennis Club property directly in front of Captiva Cay Townhomes. This is an area that The Yacht Club has more or less abandoned as far as maintenance goes and sits directly in front of my home and that of my neighbors.

Without written assurances from the owner, manager and maintenance staff that this area will be kept up and an improvement, I am opposed to any additional encumbrances to our view. There are better places for storage on their property that will not be so intrusive. Since I am in Texas at the time this notice was received, I will not be able to attend the meeting. My neighbors will be there and I will stand with whatever decisions they make.
Will I be able to attend this hearing electronically?

Thanks so much,
Debra Seabers
9369 Blind Pass Rd
St. Pete Beach 33706

--
Debra Seabers
210-825-2257

**BOARD OF ADJUSTMENT MEETING
CITY OF ST. PETE BEACH
COMMISSION CHAMBERS**

Agenda Report

Agenda Title Name: **Case No. 24105 - Blind Pass Rd., Parcel: 25-31-15-95319-000-0001**

Action Request: As directed by the Board of Adjustment.
Options:
Motion to approve Case No. 24105 with recommended conditions,
OR
Motion to approve Case No. 24105 as proposed
OR
Motion to deny Case No. 24105

Strategic Objective:

Date: January 29, 2025

Prepared By: Kristin Coman, Community Development Director

Through: Denise Sanderson, Community Development Director

Summary of Issue: *Unnecessary and Undue Hardship Variance:* Dan Nelson, St. Pete Beach Yacht and Tennis Club for The Weatherly Condo Assn, Inc., The Constellation Condo Assn., Inc., The Intrepid Condo Assn., Inc., The Courageous Condo Assn., Inc., and The Heritage Condo Assn., Inc. requests a variance for replacement/installation of a 160 sq. ft, 10'x16', 10'h storage structure utilized for tennis/recreational storage where a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b)).

Funding: n/a

Attachments:

1. 24105 - Certificate of Completeness with Submittal Documents
2. 24105 - Staff Report



Memo To: Board of Adjustment
From: Kristin Coman, Senior Planner
Date: 12/20/2024
Re: **CERTIFICATE OF COMPLETENESS**

Please be advised that on this date, the following application has been deemed complete and will be scheduled for the Board of Adjustment and placed on the agenda for **January 29, 2025**.

Please note that this case does require TRC review prior to the hearing, tentatively to be held on 1/22/25.

Variance Case Number: 24105

Application Type: Unnecessary and Undue Hardship

Owner(s):

WEATHERLY, THE CONDO ASSN INC
CONSTELLATION, THE CONDO ASSN INC
INTREPID, THE CONDO ASSN INC
COURAGEOUS, THE CONDO ASSN INC
HERITAGE, THE CONDO ASSN INC

Applicant/Agent: Dan Nelson

Parcel Number: 25-31-15-09234-000-0001

Address: Blind Pass Rd., St. Pete Beach, FL 33706

Zone: RM

Submittal Documents:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of tennis building, 2 sheets.
4. Photo package submitted by applicant, consisting of 1 sheet with no date provided.
5. Proposals for buildings prepared by Wally Watt, Inc., no date, consisting of 2 pages.
6. Compliance letter dated 1/24/2024 from Inertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/20/2022 consisting of 10 sheets.

The application and submittal documents will be forwarded to the following agents for review and/or comment:

City/Board Professionals:

- ☒ Board of Adjustment Attorney *via email*
☐ Code Enforcement Manager *via email*

- ☒ TRC Committee *via email*
☐ Historic Preservation Board *via email*



Board Members:

- ✓ Denise Chase, Chair
- ✓ Kathy Garchow, Vice Chair
- ✓ Al Causey

- ✓ Chris Core
- ✓ Dan Small

Cc: Dan Nelson, Applicant ***via email (dnelsonytcbo@gmail.com)***

(25-31-15-09234-000-0001)

H-25-31-15-38257-000-1010
C-25-31-15-18649-000-0001
I-25-31-15-43209-000-0001
C-25-31-15-17858-000-0001
W-25-31-15-95319-000-0001

CASE #: 24105

PARCEL #:

SUBMITTAL DATE: 11-8-24

AMOUNT DUE: 500.00

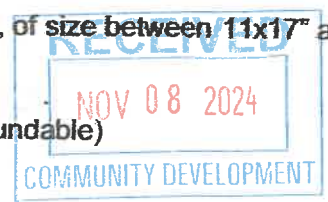
PAYMENT DATE:

(Mailing fee w/ Case No. 24104 (362.06))

UNNECESSARY AND UNDUE HARDSHIP VARIANCE APPLICATION

The following items are to be submitted, along with this application, at least 30 days prior to the public hearing:

- Two (2) copies of the property survey, completed in the last ten years, which contains the legal description, land area, and existing improvements on the site that has been signed and sealed by a surveyor licensed in the State of Florida;
- Seven (7) copies of a site plan showing the request, drawn to scale, of size between 11x17" and 36x48";
- Emailed copy of the survey and site plan to
- The Application Fee, payable to the City of St. Pete Beach (non-refundable)



OWNER/AGENT INFORMATION:

Weatherly, Constellation, Intrepid, Courageous, Heritage, The Condo Assoc Inc.

Identification	Name	Address	Phone #
Owner	YACHT + TENNIS ASSOC. INC.	9445 BLIND PASS RD. ST. PETE BEACH, FL 33706	(727) 367-5659
Applicant/Agent	DANIEL R. NELSON	9425 BLIND PASS RD #1201 ST. PETE BEACH, FL 33706	(443) 496-0880
Owner Email Address:		Applicant/Agent Email Address:	
YTCMANAGER@GREENACRE.COM		DNELSONYTCBOD@GMAIL.COM	

PROPERTY FOR PROPOSED VARIANCE:

Zoning Designation <u>AE RM</u>	Future Land Use Designation <u>RM</u>	Lot Area <u>4.610 AC</u> <u>13 ACRES</u>
Legal Description: <u>Blind Pass Marina (Common Elements) These parts of tracts A4 B ARA "Recreational" 1243'</u>		
Address: <u>9415, 9425, 9495, 9525 BLIND PASS RD. ST. PETE BEACH, FL 33706</u>		
Explanation of Request: <u>REMOVAL AND REPLACEMENT OF 1 STORAGE SHED THAT MEASURES 10X16X10. ALL SHEDS WILL BE SHIELDED BY A COMBINATION OF 6' CHAIN LINK FENCE AND/OR A 6' CINDER BLOCK WALL. REQUESTING A VARIANCE TO ALLOW FOR PROPER MAINTENCE OF CONDOMINIUM OPERATIONS.</u>		

Findings Necessary for Granting Request: In order for an application for a unnecessary and undue hardship variance to be approved or approved with conditions, the Board of Adjustment must make a positive finding with regard to each of the provisions below, which are also located in Division 3 of the Land Development Code. The applicant has the burden of proof demonstrating that the application for the variance complies with each of these requirements. Please explain in detail how your case meets these requirements (attach additional sheets if necessary):

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or buildings in the same zoning district;
2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;
3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;
4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the Comprehensive Plan or the Land Development Code, nor will it permit an increase in development density;

5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;

6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, buildings, or structures in the same zoning district;

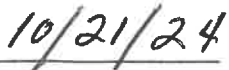
7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and

8. The requested variance is in harmony with the general intent and purpose of the Comprehensive Plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.

Signature of Applicant

Date


Signature of Authorized Agent


Date

The following are answers to the “Findings Necessary for Granting Request” in our application for a variance under the “unnecessary and undue hardship” variance application from the City of St. Pete Beach.

1. The St. Pete Beach Yacht & Tennis Club (YTC) is a large residential condominium complex located on approximately 13+/- acres that have four (4) thirteen (13) story condominium towers consisting of 353 individual units. We have a full-time maintenance staff to care for the property and its amenities. These amenities include green space, 2 shuffleboard courts, 7 tennis/pickleball courts, a large swimming pool, clubhouse, pro shop, and fitness center. We had 3 sheds on the property and since hurricane Helene, we now have just one shed.
2. The current sheds were erected in approximately the late 1990's. Three sheds were built to accommodate maintenance and homeowners as an amenity. These sheds were all slated for replacement in accordance with our reserve studies in 2023. It is recommended that all the sheds be replaced every 25 years. These sheds are as follows:
 - General Maintenance shed
 - Tennis/Pickleball court maintenance shed
 - Owners Hobby shed
3. Storage space on the YTC property is very limited, and therefore these sheds are necessary, not only to properly maintain the property, but so as not to violate any zoning codes pertaining to appearances. In addition, having seven HARTRU tennis courts requires an immense amount of labor and we have situated a shed between the two sections of courts to allow the court maintenance employee to access all courts in an efficient and safe manner. In addition, the tennis shed stores play aggregate for dressing the courts as is required on a regular basis. This material needs to be protected from the rain to allow it to be utilized properly when needed. YTC also lists as an amenity, an owner hobby shop where owners can make minor repairs or work on larger crafts that require additional space. This space has grown to become a focal point of the community.
4. This hardship request has not deliberately or knowingly been created, which is inconsistent with a Comprehensive Plan or the Land Development Code. Since these sheds are only to be used to store equipment and tools, there will be no increase in the development density of Saint Pete Beach.
5. There is no intent to achieve any financial return, or any financial gain for this property in the request of this hardship. The request to replace these sheds is merely in keeping with the property standards, and to allow for proper maintenance and upkeep of the property.

6. We understand that the granting of a variance is treated the same for any applicant. As such granting such a variance would satisfy the needs of a large residential community, such as ours, and not affect neighboring communities in any manner. In addition, the location of our sheds is shielded from our neighboring communities by a 6' cinderblock wall and 6' chain-link fencing.
7. It is our belief that the requested variance is a minor deviation to the current code, and will continue to make reasonable use of the land especially since our sheds have been in these places for at least the past 25 years with no adverse effects. It can't be understated that we need proper storage areas to keep our tools and equipment in proper working order, out of sight and to ensure the safety of our owners.
8. It is understood that limiting the size of sheds on a single family residential lot in St. Pete Beach is necessary for several reasons, however our property sits on over 13 acres and is a significantly larger property than a single family residence and is what we consider a "controlled access" community, meaning we utilize private security to grant access. We believe that granting this variance will be in keeping with harmony of the area and surrounding neighborhoods and will not diminish or impair property values within the neighborhood.

VARIANCE APPLICATION

Applicants must acknowledge understanding of the following. Initial each of the statements below. If you do not understand any of these, staff will explain them to you.

DN I understand that the City will not accept or process an incomplete application.

DN I understand that a non-conforming use or structure in a particular zoning district does not, in any way, provide justification for the granting of a variance. Furthermore, the existence of a permitted use or structure in adjacent districts does not constitute grounds for a variance.

DN On all variances except for administrative (de-minimis) variances, a majority vote is required. Action on this application by the BOA/City Commission may be continued to a later meeting.

DN I understand that if a variance is approved by the BOA, City Commission or City Manager, the applicant is required to obtain the appropriate building permits within 1 year from the date of the decision. If no permit is obtained within 1 year, the approval becomes voided.

DN I understand that if any application filed under the provisions of this Code is denied, no subsequent application seeking substantially the same or similar approval shall be filed within six months of the final decision on the original application.

DN I understand that any person aggrieved by the final decision of the Board of Adjustment or City Commission has the right to file a petition in the Pinellas County Circuit Court within 30 calendar days after the decision. Appeals of decisions made by the City Manager for administrative variances are to a hearing officer designated by the City Commission and must be made within 30 days from the date of the final administrative decision. Permits for construction may be granted prior to the expiration of this 30-day period, but an appeal will be grounds for revocation of the permit.

DN I understand that I, as the applicant, or my authorized representative must be present at all scheduled public meetings on the application if applicable.

After acknowledgement of these conditions, complete the application form on the following pages.

David R. Nelson
Signature of Applicant

10/21/24
Date

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St Pete Beach, FL 33706
(443) 496-0880
dnelsonytcbo@gmail.com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President Kathy Shirley

18/12/2024

Name: Robert Lemaster

Building President Robert Lemaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President _____

Name: ARON ZIONSKY

Building President Arzon Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report

2024-12-18

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAMVx36DzHqOm1wIPWJOA_ENk-y2IZJACm

"2024_1218 YTC - Variance Request Presidents Signature" History

 Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 10:21:21 PM GMT

 Document emailed to Kathy Shirley (garykathy@hotmail.com) for signature
2024-12-18 - 10:21:25 PM GMT

 Email viewed by Kathy Shirley (garykathy@hotmail.com)
2024-12-18 - 10:30:28 PM GMT

 Document e-signed by Kathy Shirley (garykathy@hotmail.com)
Signature Date: 2024-12-18 - 10:33:45 PM GMT - Time Source: server

 Agreement completed.
2024-12-18 - 10:33:45 PM GMT

Dan Nelson, YTC Vice President

9425 Blind Pass Rd. Unit 1201
St. Pete Beach, FL 33706
(443) 496-0880
dnelsonytcbo@gmail.com

December 17, 2024

Heritage Condominium Association

Weatherly Condominium Association

Constellation Condominium Association

Intrepid Condominium Association

Courageous Condominium Association

Dear Board Presidents,

As you are aware, the YTC has been actively pursuing the replacement of three (3) sheds on our property that were damaged by the recent hurricanes. We have submitted the variance packet and paid all fees to the City of St. Pete Beach for processing of this variance request. The city has determined through the Pinellas Property Appraiser's Office, that the sheds are located on at least one or more of the parcels listed to the YTC. Therefore, in order to proceed with the process we need authorization from all 5 condominium associations (listed above). We are replacing the sheds in the same locations as previous and of the same exact size. We have one (1) year from time of approval to complete the replacement of the sheds. PLEASE INDICATE YOUR APPROVAL BELOW AS QUICKLY AS POSSIBLE AS THIS IS A TIME SENSITIVE MATTER. The city had requested this be done by December 18, 2024, but with all that was going on here the letter was never drafted. Thanks for your understanding and cooperation.

It would be necessary to get the authorization from all boards since Case No. 24105 shows all 5 as owners, Case No. 24104 is for the 2 sheds and is located on parcel 25-31-15-95319-000-0001

Sincerely,

Daniel R. Nelson

Name: KATHY SHIRLEY

Building President _____

Name: Robert LeMaster

Building President Robert LeMaster - Pres

Name: MIKE BLOOM

Building President Michael Bloom

Name: KAREN STRYKOWSKI

Building President Karen Strykowski
Karen Strykowski (Dec 18, 2024 20:11 EST)

12/1
18/12/2024

Name: ARON ZIONSKY

Building President Arzon Pres.

2024_1218 YTC - Variance Request Presidents Signature

Final Audit Report

2024-12-19

Created:	2024-12-18
By:	Allen Baum (ytcmanager@greenacreproperties.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAaKfzY2dxHcB51NPTYEadsGDGpqtVut44

"2024_1218 YTC - Variance Request Presidents Signature" History

-  Document created by Allen Baum (ytcmanager@greenacreproperties.com)
2024-12-18 - 9:25:07 PM GMT
-  Document emailed to Karen Strykowski (kstryk2@gmail.com) for signature
2024-12-18 - 9:25:10 PM GMT
-  Email viewed by Karen Strykowski (kstryk2@gmail.com)
2024-12-18 - 10:53:20 PM GMT
-  Document e-signed by Karen Strykowski (kstryk2@gmail.com)
Signature Date: 2024-12-19 - 1:11:31 AM GMT - Time Source: server
-  Agreement completed.
2024-12-19 - 1:11:31 AM GMT



Owner's Authorization for Agent

Community Development Department

City of St. Pete Beach, Florida

I/WE

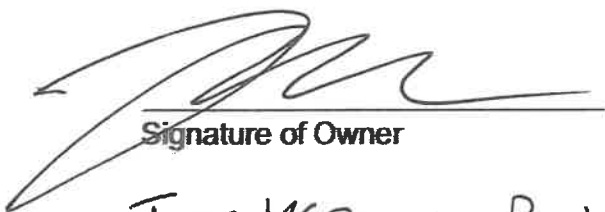
Yacht + Tennis Club Association, Inc.
(print name of property owner)

hereby authorize

DANIEL R. NELSON
(print name of agent)

to represent me/us in an application for

UNNECESSARY + UNDOE HARSHSHIP
(type of application: variance, conditional use, zoning, etc.)


Signature of Owner

Jane McCroary, President
Print Name of Owner

Signature of Owner

Print Name of Owner

The forgoing instrument was acknowledged before me this 6th day of

November 2021 by Jane McCroary or who is

personally

known

produced

//
as identification.

Tracey Katherine Bishop
(Notary Signature)

11/6/2021
(Date)

My Commission Expires 10/13/2027

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824

PUBLIC HEARING SIGN POSTING AFFIDAVIT

Applicant, DANIEL R. NELSON, agrees to post the sign(s) in a conspicuous place, at the principal access to the property, in full view of the public, and not more than five (5) feet from the nearest street right of way or easement a minimum of seven (7) days in advance of the Public Hearing for unnecessary or undue hardship variances and practical difficulty variances, or seven (7) days in advance of the final administrative decision for administrative (de-minimis) variances, and remain in place until the requested action has been heard and decided. Multiple sign postings shall not be more than three hundred (300) feet apart. If the subject parcel(s) abut more than one (1) street, notices shall be posted along each street. When the subject parcel(s) does not front a public road, the sign shall be posted at the point on a public road by which the property is, or can be, reached.

The sign shall be maintained in good readable condition by the applicant. If the said sign is destroyed, lost, or becomes unreadable, the applicant or applicant's representative shall obtain a replacement sign. Any sign posted in accordance with these requirements shall be removed from the property and disposed of by the applicant or applicant's agent not later than 24 hours following the final decision.

Applicant/Agent (must fill out agent authorization form):

Name(print): DANIEL R. NELSON

Address: 9425 BUND PASS RD. #1201 ST. PETE BEACH, FL 33706

Daniel R. Nelson

Signature

Date

11-6-21

STATE OF FLORIDA

PINELLAS COUNTY

)
) SS:
)

The foregoing instrument was acknowledged before me this 6th day of November, 2021 by: Daniel R. Nelson who appeared before me, and is personally known to me, or has produced as identification, and did take an oath.

My commission Expires:

10/13/2027

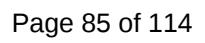
NOTARY:

Print Name: Tracey Katherine Bishop Notary

Public, State of Florida

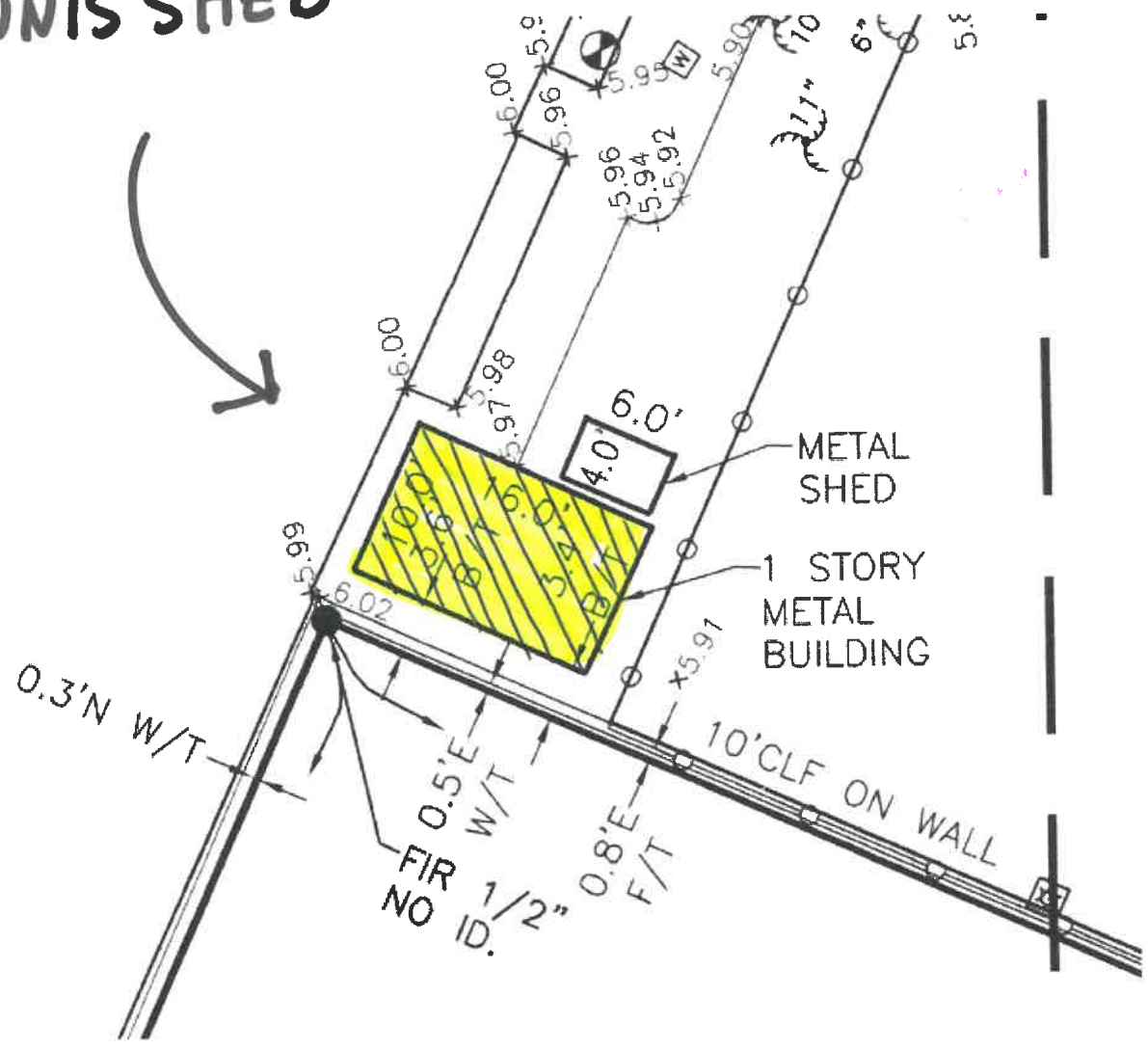
(Notarial Seal)

TRACEY KATHERINE BISHOP
Notary Public, State of Florida
My Comm. Expires Oct. 13, 2027
No. HH 441824



24105

-TENNIS SHED-



- TENNIS SHED -

24105



DESTROYED BY HURRICANE

3569 Tyrone Boulevard
St. Petersburg, FL 33710 C-9875
(727) 381-3232
wallywattinc@gmail.com
www.wallywatt.com

Delivery Day _____
Delivery Date _____
Salesman Collin
Order Date 6-12-24

First Last Name Tennis Court (SPYC)
Address 9445 Blind Pass Rd
City, State, Zip SP Beach 33706
Phone Numbers _____
Authorized By _____

Classic Wally Watt

Bungalow

Roof Option

Peak
Shed
Pitch Back/Forward
Pitch Right/Left

Classic Color

White
Cream

Classic Trim Color

White
Cream
Black
Brown

Floor Options

24" On Center
16" On Center
PT Plywood

Door Options

Single Door
Double Doors

Door Hinge Option
34" Hinged Left/Right

Bungalow Color

Walls _____
Trim _____
Door _____
Roof _____

Shelves (Extra fee)

Left/Right/Back

Build On Jobsite (Extra fee)

Blocks/Anchors
Concrete Pad

Options

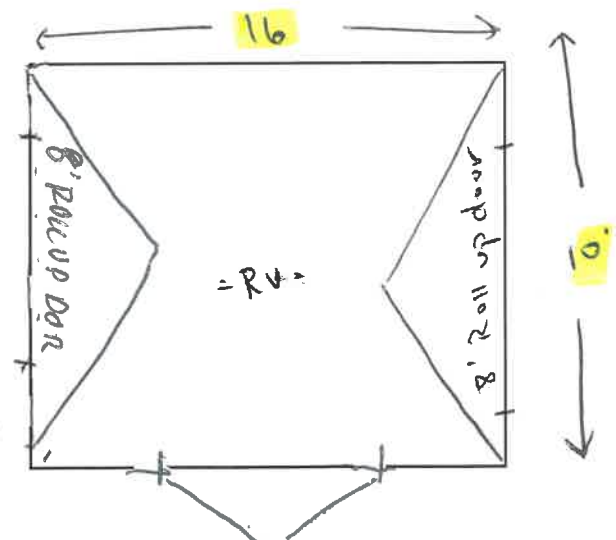
Window
Vents/ FEMA
Extra Door
Roll up Door

Accessories

Chains/Stop
Key Lock

Building Size	Amount
10'x16'	\$9050.00
2 Roll up Doors	\$2000.00
Double Door	\$250.00
Permit	\$350.00
Build on Jobsite (fee)	Build on Site
Subtotal	\$11,650.00
Tax	\$815.56
Total Amount Due	<u>\$12,465.56</u>
Deposit	
Balance Due	

Visa/Master Card/Cash/Ck #



DONE RITE HAULING

Need it Hauled? Have it **DONE RITE!**



DoneRiteHauling.com

DoneRiteHauling@Gmail.com

727.365.7892



The Bungalow is a classically styled building with a gable roof. This building has a lap-sided aluminum exterior with a baked on enamel finish which is durable and has minimal maintenance. With over sixteen standard sizes to choose from and dozens of possible color combinations.

Wally Watt, Inc.

on you are

ings are
izes plus

WallyWatt
Aluminum Storage Buildings

COLLIN FEINBERG

3569 Tyrone Boulevard
St. Petersburg, FL 33710
(727) 381-3232

wallywattinc@gmail.com

www.wallywatt.com

Company Background

Wally Watt, Inc. is proud to be a third generation family owned and operated company.

Established in 1953 **Wally Watt, Inc.** has provided storage solutions to the residents of the west coast of Florida for over 65 years.

The companies founding principles are the cornerstone of our operations today. Using only the highest quality aluminum materials and skilled workmanship, **Wally Watt** provides rust proof, maintenance free buildings.

Our Bungalow Buildings and Garages are manufactured with pressure treated floor systems and feature an insulated mobile home door, and a window or a ridge vent for proper airflow and ventilation. They are 10 feet tall and provide maximum space for storage. These buildings are pre-built and need open access for installation.



www.wallywatt.com

805078

Bungalow Series



Wally Watt, Inc. Bungalow Series are available in the following sizes.

10x20

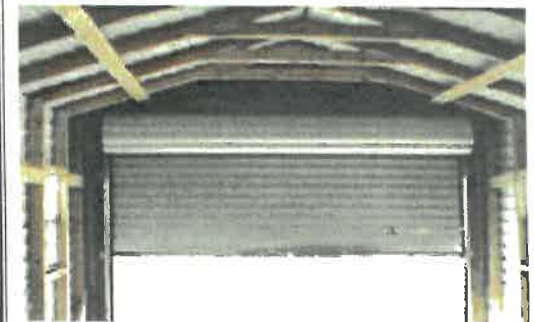
10x24

10x30

12x20

12x24

12x30



**Storage Solutions Since
1953**

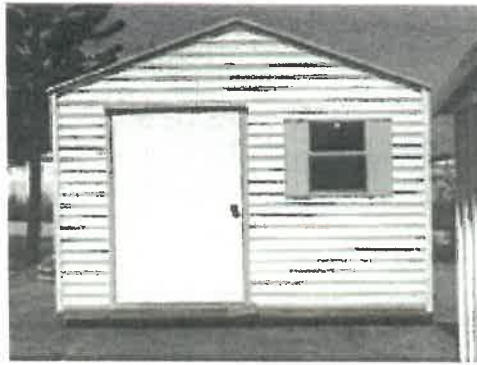
Tel: (727) 381-3232

Bungalow Buildings



The **Bungalow** Series of buildings and Garages are custom designed and manufactured to your specific needs.

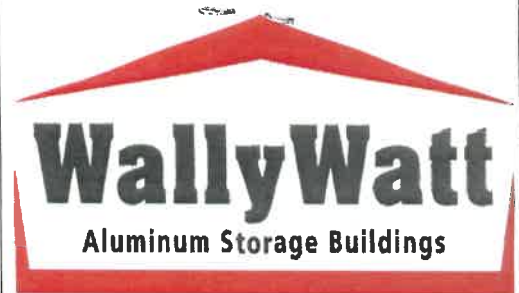
With over twenty standard sizes to choose from and fifty six possible color combinations, **Wally Watt, Inc.** can solve your storage needs.



3569 Tyrone Boulevard
St. Petersburg, Fl. 33710

Phone: (727) 381-3232

www.wallywatt.com



Bungalow Style



**Storage Solutions Since
1953**

Tel: (727) 381-3232

Monday-Friday 10 AM to 4:30 PM
Saturday 10 AM to 2 PM

January 17, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road
Tallahassee, Florida 32399-0772

RE: Manufacturer: Superior Sheds
Agency Plan Number: SUP001-23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek¹ Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,


Ryan Knowles, SMP-64
Manager, Industrialized Buildings
Building Science Solutions

CC: Mr. Hector Llamas – hllamas@superiorsheds.com

⁽¹⁾ Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group inc. ("INTERTEK-MT").
www.intertek.com/building



24105

SUPERIOR SHEDS

THE SUPERIOR

GENERAL NOTES

- 1 FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
- 2 BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
- 3 THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R 101.4.2.4, R402.1.
- 4 REFER TO THE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
- 5 ALL LUMBER FOR CONSTRUCTION WILL BE SYP#2 EXCEPT AS NOTED.
- 6 GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS
- 7 ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE
- 8 IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE"
- 9 IN ACCORDANCE WITH FBC 1610.1.1, EXCEPTION 10 | BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
- 10 IN ACCORDANCE WITH FLORIDA STATUTE 353.80(1)(d), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 353.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2023 FBC 8TH EDITION. SUCH BUILDINGS THAT DO NOT EXCEED 400 SQUARE FEET MAY BE DELIVERED AND INSTALLED WITHOUT NEED OF A CONTRACTOR'S OR SPECIALTY LICENSE.
- 11 FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP
- 12 AS PER FBC SECTION 1626.1 EXCEPTION (F) STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE
- 13 COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2023 FBC 8TH EDITION.
- 14 SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
- 15 IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- 16 WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
- 17 HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION OCCURS PER MANUFACTURER'S INSTRUCTIONS
- 18 FLOOD VENTS TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14.

WIND LOAD CRITERIA

- 1 WIND SPEED (MPH): 144 Vasd/185 Vult
- 2 RISK CATEGORY: I
- 3 BUILDING CATEGORY: II
- 4 ENCLOSURE CLASSIFICATION: ENCLOSED
- 5 INTERNAL PRESSURE COEFFICIENT: GCaf = 0.18
- 6 EXPOSURE FACTOR: C
- 7 WIND DIRECTIONALITY FACTOR (Kd): 0.85
- 8 GUST RESPONSE FACTOR (Gr): 0.85
- 9 MAIN FRAME STRUCTURE OVERTURNING LOAD: Pr = -93.0 PSF
- 10 COMPONENT & CLADDING LOAD
a. P+ ZONE 1: 116.4 PSF, ZONE 2: 154.2 PSF, ZONE 3: 202.2 PSF (ROOF)
b. PW = ZONE 4: +63.0/-58.4 PSF, ZONE 5: -63.0/-84.6 PSF (WALL)
- 11 THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT
- 12 SEISMIC LOAD: N/A
- 13 FLOOD LOAD: SHEDS LOCATED IN A FLOOD HAZARD AREA MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

TABLE OF CONTENTS	
SHEET	SHEET DESCRIPTION
1	COVER SHEET
2	FLOOR PLAN
3	SIDEWALL FRAMING
4	FLOOR FRAMING
5	ROOF FRAMING
6	CROSS SECTIONS
7	ENDWALL FRAMING
8	SCHEDULES
9	SCHEDULES

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORRERO, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

BUILDING CODE RESIDENTIAL CODE ELECTRICAL CODE	FBC, 8TH EDITION (2023) FBC, 8TH EDITION (2023) 2020 NATIONAL ELECTRICAL CODE (NEC/NFPA 70-20)
BUILDING TYPE MANUFACTURER AGENCY PLAN NUMBER CONSTRUCTION TYPE FIRE PROTECTION FIRE SUPPRESSION SYSTEM OCCUPANCY ALLOWABLE # OF STORIES WIND VELOCITY	RESIDENTIAL LAWN STORAGE SHED SUPERIOR SHEDS, LLC INTERTEK (INTERTEK ATI) SUP001 V-B NO NO UTIL/LTY 1 185 MPH, EXPOSURE C
FIRE RATING OF EXTERIOR WALLS FLOOR LIVE LOAD - STANDARD FLOOR LIVE LOAD - OPTIONAL FLOOR DEAD LOAD ROOF LIVE LOAD ROOF DEAD LOAD "R" RATING OF FLOOR, WALL, & ROOF MODULES PER BUILDING SQUARE FOOTAGE HURRICANE PROTECTION USAGE HURRICANE SHELTER USAGE HVHZ APPROVED	0 75 PSF 125 PSF 10 PSF 30 PSF 10 PSF N/A 1 719 SQ/FT MAX. NO NO YES

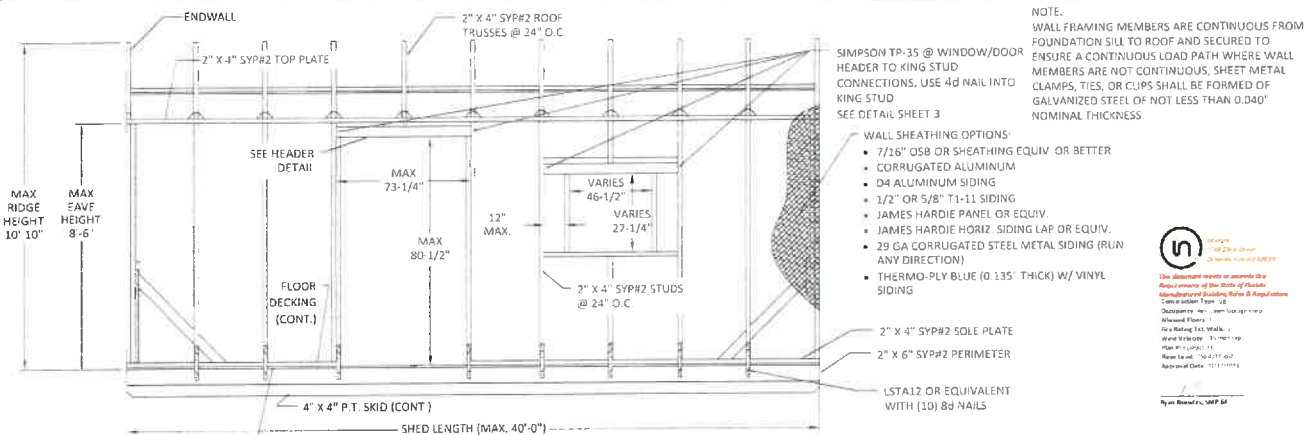


SUPERIOR SHEDS
1233 E. WILSON AVENUE
TAMPA, FL 33613
813.446.1111
WWW.SUPERIORSHEDS.COM

THE SUPERIOR
COVER SHEET
TITLE: **THE SUPERIOR**
PREPARED BY: **BUILDING DROPS, INC.**
TAMPA, FL 33613
813.446.1111
WWW.BUILDINGDROPS.COM

REMARKS: 2023 CODE CHANGE
BY: CH
DATE: 12/23

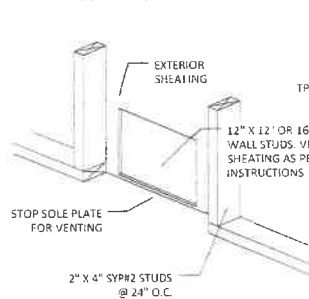
Digitally signed by Hermes F. Norrero, P.E.
Reason: I am approving this document
Date: 2024.01.10 10:20:00
HERMES F. NORRERO
P.E.
LICENSE NO. 73778
STATE OF FLORIDA
PROFESSIONAL ENGINEER
EXPIRES: 12/31/2024
RENEWAL DATE: 12/31/2024
DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. # SUP001
SHEET: 1 OF 9



ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LSTA-12 OR EQUIVALENT STRAP W/ (5) 8d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ (5) 8d NAILS (TYPICAL)

A
3

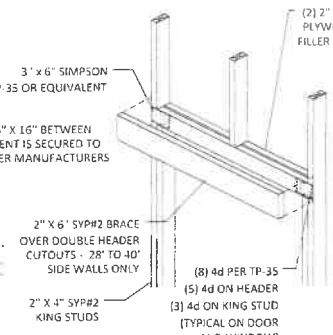
SIDEWALL FRAMING



OPTIONAL HYDROVENT DETAIL

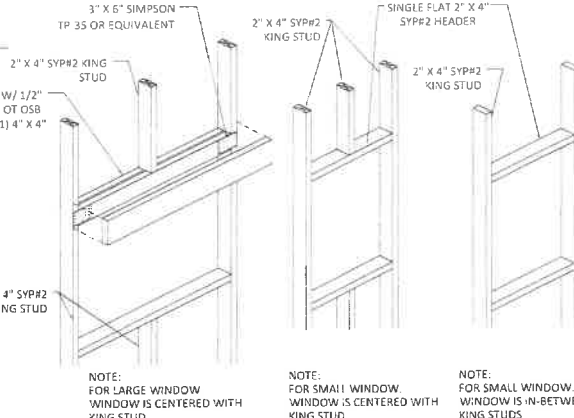
SCALE: NTS

FLOOD VENTS TO BE PROVIDED AND INSTALLED ON SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-10.



DOOR DETAIL (TYP)

SCALE: NTS



WINDOW DETAILS (TYP)

SCALE: NTS



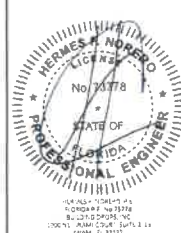
TITLE: THE SUPERIOR
SUBTITLE: SHED WALL FRAMING

PREPARED BY: BUILDING DROPS, INC.
1000 W. MAIN ST. SUITE 100
P.O. BOX 1000
P.O. BOX 1000
P.O. BOX 1000

REMARKS: 2023 CODE CHANGE

BY: DATE: 12/23

THIS SET OF DRAWINGS IS THE PROPERTY OF BUILDING DROPS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM BUILDING DROPS, INC.



DATE: 04.20.2022

DWG. BY: LL CHK. BY: HFN

SCALE: NTS

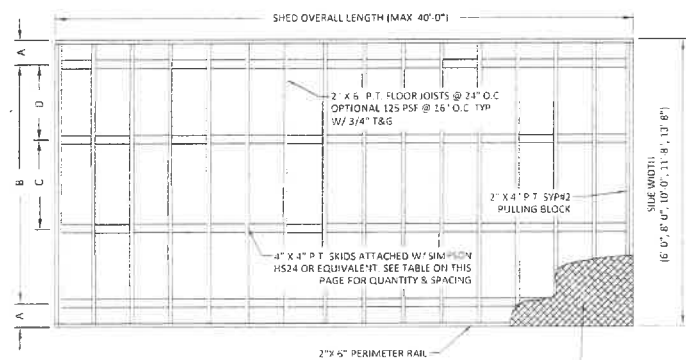
DWG. #: SUP001

SHEET: 3 OF 9

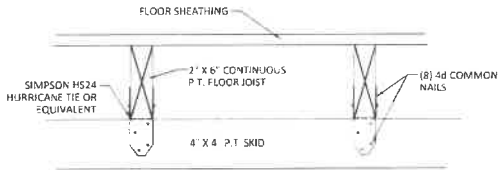


TABLE 2: SKID RUNNER SPACING*					
WIDTHS	6'-0"	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-10"	0'-9"	1'-7"	2'-8"	1'-10.5"
B	4'-4"	6'-6"	6'-10"	6'-4"	10'-11"
C	-	-	-	-	1'-10.5"
D	-	-	-	-	4'-0.25"

*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4" X 4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.



FLOOR FRAMING PLAN
SCALE 3/8" = 1'-0"



FLOOR JOIST TO SKID CONNECTION
SCALE: NOT TO SCALE

NOTES
1. SEE SHEET SUP001 FOR FOUNDATION DETAILS.
2. SEE SHEET SUP002 FOR ROOF FRAMING DETAILS.
3. SEE SHEET SUP003 FOR EXTERIOR WALL DETAILS.
4. SEE SHEET SUP004 FOR INTERIOR WALL DETAILS.
5. SEE SHEET SUP005 FOR DOOR & WINDOW DETAILS.
6. SEE SHEET SUP006 FOR FINISHES & MATERIALS.
7. SEE SHEET SUP007 FOR ELECTRICAL & PLUMBING DETAILS.
8. SEE SHEET SUP008 FOR MECHANICAL & HVAC DETAILS.
9. SEE SHEET SUP009 FOR SPECIALTY DETAILS.
10. SEE SHEET SUP010 FOR GENERAL NOTES & SPECIFICATIONS.

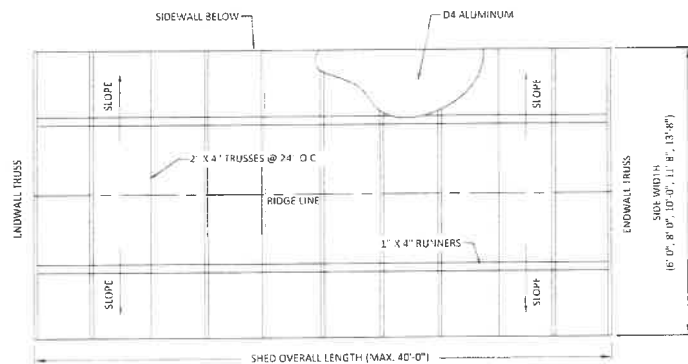
THE SUPERIOR
TITLE: FLOOR FRAMING
PREPARED BY: BUILDING DROPS, INC.
BUILDING DROPS, INC.
10000 N. 10TH AVENUE, SUITE 200
DENVER, CO 80231
TEL: 303.733.1111
WWW.BUILDINGDROPS.COM

REMARKS	BY	DATE
2023 CODE CHANGE	DI	12/23

OUR ANALYSIS IS BASED ON THE ASSUMPTIONS AND INFORMATION PROVIDED. WE DO NOT GUARANTEE THE ACCURACY OF THE ANALYSIS OR THE RESULTS. THE USER OF THIS DOCUMENT IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.



DATE: 04.20.2022
DWG. BY: LL CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 4 OF 9



ROOF FRAMING PLAN
SCALE: 3/8" = 1'-0"

- NOTE**
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE FB=1200 PSI OR GREATER
 2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
 3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
 4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

NOTES:

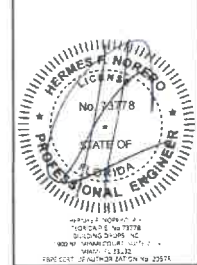
- 1. THIS DOCUMENT IS THE PROPERTY OF SUPERIOR SHEDS, INC. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SUPERIOR SHEDS, INC.
- 2. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. SUPERIOR SHEDS, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN.
- 3. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED HEREIN. SUPERIOR SHEDS, INC. MAKES NO WARRANTY, EXPRESS OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION PROVIDED HEREIN.



TITLE: THE SUPERIOR
ROOF FRAMING

PREPARED BY: BUILDING DROPS, INC.
1000 S. WILSON ROAD, WOODBRIDGE, GA 30097
770.328.5411
www.superiorsheds.com

REMARKS	BY	DATE
2023 CODE CHANGE	CH	12/23



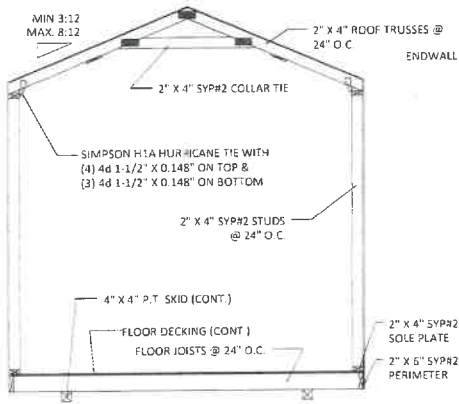
DATE: 04.20.2022

DWG. BY: LL **CHK. BY:** HFN

SCALE: NTS

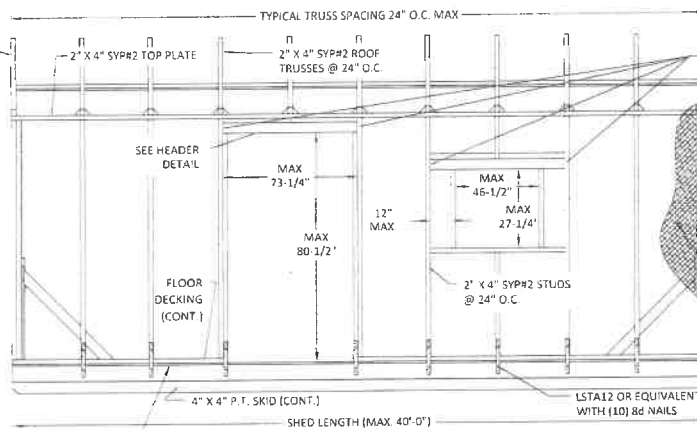
DWG. # SUP001

SHEET 1 OF 9



CROSS SECTION A

SCALE: 3/8"=1'-0"



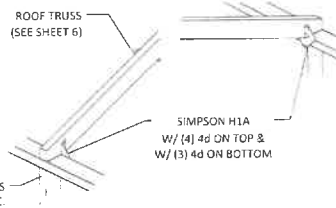
CROSS SECTION B

SCALE: 3/8"=1'-0"

- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
 - CORRUGATED ALUMINUM
 - D4 ALUMINUM SIDING
 - 1/2" OR 5/8" T1-11 SIDING
 - JAMES HARDIE PANEL OR EQUIV.
 - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
 - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
 - THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

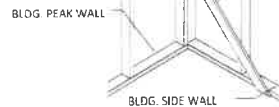
NOTE:
2" x 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS



ROOF TRUSS TO WALL CONNECTION

SCALE: NOT TO SCALE



BRACE TO WALL CONNECTION

SCALE: NOT TO SCALE

NOTE:
BRACE COUNT DEPENDS ON THE QUANTITY OF CUT-OUTS



TITLE: THE SUPERIOR

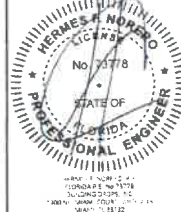
CROSS SECTIONS

PREPARED BY: BUILDING DROPS, INC.

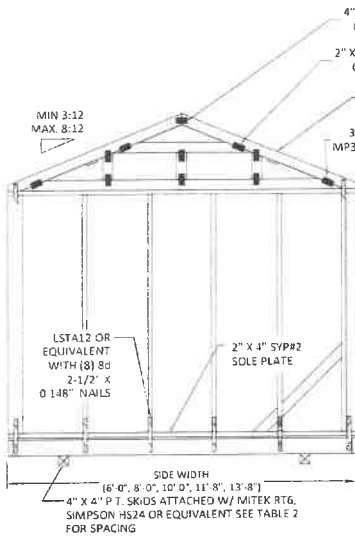
1000 N. KANAWHA BLVD., SUITE 100, FORT LAUDERDALE, FL 33304
TEL: (772) 377-8844
FAX: (772) 377-8844
WWW: www.bldgdrops.com

REMARKS: 2023 CODE CHANGE: BY: DATE: 12/23

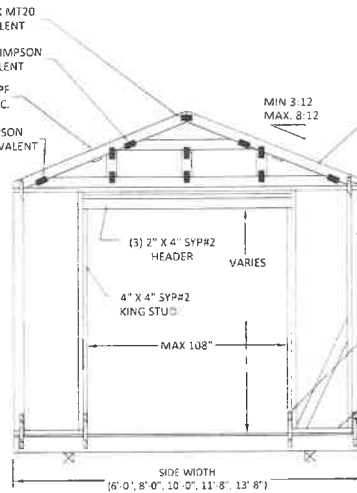
SEE METAL DECK DETAILS WITH INTERLOCK JOINTS AND INTERLOCK JOINTS MAY NOT BE USED ON METAL DECK JOINTS. SEE METAL DECK JOINTS FOR MORE INFORMATION. SEE METAL DECK JOINTS FOR MORE INFORMATION. SEE METAL DECK JOINTS FOR MORE INFORMATION.



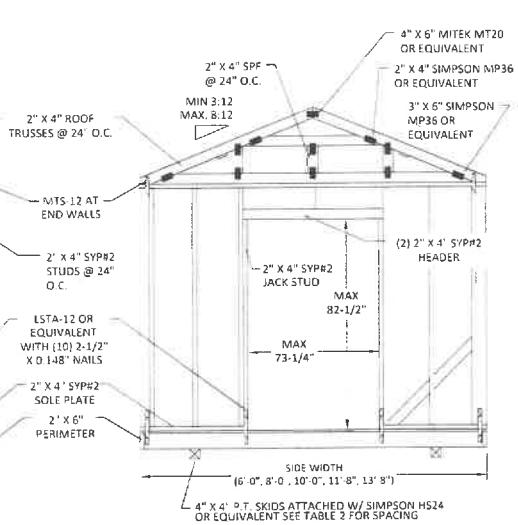
DATE: 04.20.2022
DWG. BY: LL CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 6 OF 9



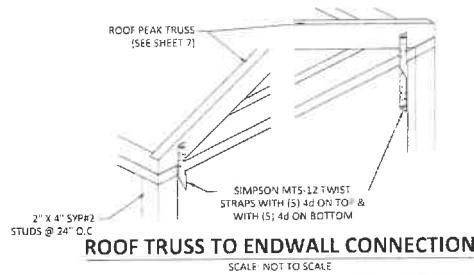
A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"



A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"
GARAGE DOOR



A 7 **ENDWALL FRAMING**
SCALE: 3/8"=1'-0"
DOOR



THE SUPERIOR
TITLE
UNIDWALL FRAMING
PREPARED BY
BUILDING DROPS, INC.
2323 S. VOLusia AVENUE
ORLANDO, FL 32817
TEL: (407) 339-7533
FAX: (407) 339-7533
www.bldgdrops.com

REMARKS	BY	DATE
2023 CODE CHANGE	31	12/23

THIS DOCUMENT IS THE PROPERTY OF BUILDING DROPS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM BUILDING DROPS, INC., NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.



DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. # SUP001
SHEET:

7

OF 9

ALTERNATE FASTENING SCHEDULE	
CONNECTION	FASTENING
ALT 31.33 WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 2" X 0.092" RING SHANK NAIL 5' FROM EDGE, 10" O.C.

STRAP & FASTENER SCHEDULE *				
PART#/DESC.	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER
H1			6 - 8d X 1.5"	4 - 5d
H12			6 - 16d X 2.5"	6 - 16d X 2.5"
H2A	204	5 - 8d X 1.5"	5 - 8d X 1.5"	2 - 8d X 1.5"
H2.1A	531		5 - 8d	5 - 3d
H2.5	412	5 - 8d	5 - 8d	
H2.5T	545	5 - 8d	5 - 8d	
H3A	12	7 - 8d X 1.5"	5 - 8d X 1.5"	
H3	71	4 - 8d	4 - 8d	
H4	22	4 - 8d	4 - 8d	
H5		4 - 8d	4 - 8d	
LTS-12	931	6 - 10d X 1.5"	5 - 10d X 1.5"	
LTS-16	926	6 - 10d X 1.5"	5 - 10d X 1.5"	
LTS-18	912	6 - 10d X 1.5"	5 - 10d X 1.5"	
LTS-20		6 - 10d X 1.5"	5 - 10d X 1.5"	
MTS-12	263	7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-16	164	7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-18	264	7 - 10d X 1.5"	7 - 10d X 1.5"	
MTS-20	253	7 - 10d X 1.5"	7 - 10d X 1.5"	
PORCH				
PART#/DESC.	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
A21	743	2 - 10d X 1.5"	2 - 10d X 1.5"	
A23	282	4 - 10d X 1.5"	4 - 10d X 1.5"	
A33	753	4 - 10d	4 - 10d	
BTM PLATE				
PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
LSTA-18		7 - 10d	7 - 10d	
HEADER (D)				
PART#/DESC.	UPLIFT	STUD FASTENER	HEADER FASTENER	
HP-35	N/R	5'-3" X 0.131"	5'-3" X 0.131"	
HP40,41,80,81	7-71	5'-3" X 0.131"	5'-3" X 0.131"	
TIE DOWNS				
PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER	
206A 1-1/4" WIDE		7 - 10d X 1.5"		
5/8" X 10" ANCHOR	730			

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS
B. RAFTER TIES TO STUD/WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16"
C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS
D. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS
E. HEADERS OVER 6' O' SPAN.

PRODUCT OPTIONS				
PRODUCT CAT.	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL# 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL# 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	X	FL#
PANEL WALLS	SIDING	PLY GEM	X	FL#
PANEL WALLS	SIDING	ADVANCED ALUM.	X	FL#
PANEL WALLS	SIDING	SIMPSON LUMBER	X	FL#
EXTERIOR DOORS	SWINGING EXT.	EAGAN	EIHDL	FL# 12820-R3
EXTERIOR DOORS	SWINGING EXT.	CROFT	2009ALITE	FL#
EXTERIOR DOORS	ROLL-UP	JANUS INT'L	ROLL-UP	FL#
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL# 16153-R1
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL# 27202
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL# 28822
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL# 30848

THE SUPERIOR SHEDS
2323 S. VILLAS AVE. #1
ORLANDO, FL 32811
(877) 435-7433

BUILDING DROPS, INC.
1700 N. WINDY HILL RD.
ORLANDO, FL 32811
(407) 251-1234
WWW.BUILDINGDROPS.COM

HERNANDEZ, J. A.
Professional Engineer
No. 15778
STATE OF FLORIDA

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 8 OF 9

THE SUPERIOR SHEDS
2323 S. VILLAS AVE. #1
ORLANDO, FL 32811
(877) 435-7433

BUILDING DROPS, INC.
1700 N. WINDY HILL RD.
ORLANDO, FL 32811
(407) 251-1234
WWW.BUILDINGDROPS.COM

HERNANDEZ, J. A.
Professional Engineer
No. 15778
STATE OF FLORIDA

DATE: 04.20.2022
DWG. BY: LL
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP001
SHEET: 8 OF 9

FASTENING SCHEDULE (FBC TABLE 2304.10.1)			FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
CONNECTION	FASTENING	CONNECTION	CONNECTION	FASTENING	CONNECTION
1 JOIST TO SILL OR GIRDER	3- 3" X 14 GAUGE STAPLES 3- 8d COMMON (2-1/2" X 0.131")	TOE NAIL	21. 1" X 8" SHEATHING TO EACH BEARING	3- 8d COMMON (2-1/2" X 0.131")	FACE NAIL
2 BRINGING TO JOIST	2- 8d COMMON (2-1/2" X 0.131") 2- 8d COMMON (2-1/2" X 0.131")	TOE NAIL EACH END	22. WIDER THAN 1" X 8" SHEATHING TO EA. BEARING	3- 8d COMMON (2-1/2" X 0.131")	FACE NAIL
3 1" X 6" SUBFLOOR OR LESS TO EACH JOIST	2- 8d COMMON (2-1/2" X 0.131")	FACE NAIL	23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" X 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.
4 WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST	3- 8d COMMON (2-1/2" X 0.131")	FACE NAIL	24. BUILT-UP GIRDER AND BEAMS	20d COMMON (3-1/2" X 0.192") AT 32" O.C. 3" X 0.131" NAILS AT 24" O.C. 1" X 14 GAUGE STAPLES AT 24" O.C. 2- 20d COMMON (4" X 0.192") 3" X 0.131" NAILS 3- 3" X 14 GAUGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES
5 7" SUBFLOOR TO JOIST OR GIRDER	2- 16d COMMON (3-1/2" X 0.162")	BLIND AND FACE NAIL	25. 2" PLANKS	16d COMMON (3-1/2" X 0.162")	FACE NAIL AT ENDS AND AT EACH SPICE
6 SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" X 0.135") AT 16" O.C. 3" X 0.131 NAILS AT 8" O.C. 3" X 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL	26. COLLAR PIE TO RAFTER	16d COMMON (3-1/2" X 0.162")	FACE NAIL
7 SOLE PLATE TO JOIST AT BLOCKING AT BRACED WALL PANEL	3- 16d COMMON (3-1/2" X 0.135") AT 16" O.C. 4- 3" X 0.131" NAILS AT 16" O.C. 4- 3" X 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL	27. JACK RAFTER TO HIP	3- 10d COMMON (3" X 0.148") 4- 3" X 0.131" NAILS 4- 3" X 14 GAUGE STAPLES	TOE NAIL
8 JOIST TO RAFTER	2- 16d COMMON (3-1/2" X 0.162") 3" X 0.131" NAILS 3" X 14 GAUGE STAPLES	END NAIL	28. ROOF RAFTER TO 2-BY RIDGE BEAM	2- 16d COMMON (3-1/2" X 0.162") 3" X 0.131" NAILS 3- 3" X 14 GAUGE STAPLES	TOE NAIL
9 DOUBLE STUDS	16d (3-1/2" X 0.135") AT 24" O.C.	TOE NAIL	29. JOIST TO BAND JOIST	3- 16d COMMON (3-1/2" X 0.162") 3" X 0.131" NAILS 3" X 14 GAUGE STAPLES	FACE NAIL
10. DOUBLE TOP PLATES	16d (3-1/2" X 0.135") AT 16" O.C.	END NAIL	30. LEDGER STRIP	3- 16d COMMON (3-1/2" X 0.162") 3" X 0.131" NAILS 4- 3" X 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
DOUBLE TOP PLATES			31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD (8" SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING))	1/2" AND LESS 19/32" TO 3/4"	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP #2003 REFER TO FIG. 30.4.1 OF ASCE 7)
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3- 8d COMMON (2-1/2" X 0.131") 3" X 0.131" NAILS 3- 3" X 14 GAUGE STAPLES	TOE NAIL	32. SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 19/32" TO 3/4" FRAMING)	7/8" TO 1" 1 1/8" TO 1 1/4"	8d(C) OR 6d(E) 2- 3/8" X 0.113" NAILIN 2- 15 GAUGE (P)
12. RIM JOIST TO TOP PLATE	8d COMMON (2-1/2" X 0.131") AT 6" O.C. 3" X 0.131 NAILS AT 6" O.C. 3- 3" X 14 GAUGE STAPLES AT 6" O.C.	TOE NAIL	33. FIBERBOARD SHEATHING (G.I.)	1/2" OR LESS 5/8"	6" O.C. EDGES AND INTERMEDIATE
13. TOP PLATES, LAPS AND INTERSECTIONS	2- 16d COMMON (3-1/2" X 0.162")	FACE NAIL	34. EXTERIOR PANELING	1/4" 3/8"	8" O.C. EDGES AND INTERMEDIATE
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" X 0.162")	FACE NAIL			
15. CEILING JOISTS TO PLATE	3- 16d COMMON (3-1/2" X 0.131") 5- 3" X 0.131" NAILS 3- 3" X 14 GAUGE STAPLES	TOE NAIL			
16. RIM JOIST TO TOP PLATE	4- 8d COMMON (2-1/2" X 0.131")	TOE NAIL			
17. CEILING JOISTS, LAPS OVER PARTITIONS	3- 16d COMMON (3-1/2" X 0.135") MIN 4- 3" X 0.131" NAILS 4- 1" X 14 GAUGE STAPLES	FACE NAIL			
18. CEILING JOISTS TO PARALLEL RAFTERS	3- 16d COMMON (3-1/2" X 0.135") MIN 4- 3" X 0.131" NAILS 4- 3" X 14 GAUGE STAPLES	FACE NAIL			
19. RAFTER TO PLATE	3- 8d COMMON (2-1/2" X 0.131") 3" X 0.131" NAILS 3" X 14 GAUGE STAPLES	TOE NAIL			
20. 1" DIAGONAL BRACE TO EACH STUD & PLATE	2- 8d COMMON (2-1/2" X 0.131") 2- 3" X 0.131" NAILS 3- 3" X 14 GAUGE STAPLES	FACE NAIL			

NOTES

- COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAM AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON BOX OR CASING COMMON OR UNIFORM SHANK (6d - 2 1/2" X 0.113", 8d - 2 1/2" X 0.131", 10d - 3" X 0.148") O. COMMON (6d - 2" X 0.113", 8d - 2 1/2" X 0.131", 10d - 3" X 0.148").
- CORROSION-RESISTANT SIDING (6d - 1 7/8" X 0.106", 8d - 2 3/8" X 0.128") OR CASING (6d - 2" X 0.099", 8d - 2 1/2" X 0.113") NAIL.
- FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING, SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.
- CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1 1/2" LENGTH FOR 1/2" SHEATHING AND 1 3/4" LENGTH FOR SHEATHING CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1 1/4" LENGTH FOR 1/2" FOR 25/32" SHEATHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- PANEL SUPPORTS AT 24 INCHES CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2 1/2" X 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- SEE FASTENER ALTERNATE SCHEDULE.
- FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER.



BUILDING DROPS, INC.
PREPARED BY: **BD**
DATE: 04.20.2022

REMARKS: 2023 CODE CHANGE

BY: DATE: 04/20/22

THESE ARE THE FASTENING SCHEDULES FOR THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF BUILDING DROPS, INC.



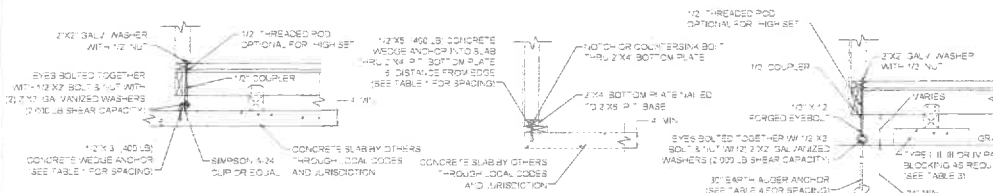
DATE: 04.20.2022

DWG. BY: LL CHK. BY: HFN

SCALE: NTS

DWG. #: SUP001

SHEET: 9 OF 9



SETUP AND INSTALLATION OF SINGLE WIDE SHED

- BUILDING IS PLACED IN REQUESTED LOCATION ON SCHEDULE 40 PFC TO ALLOW FOR MOVEMENT TO FLAT OR SQUARE AND TO ADJUST FENCE PROPERTY LINE ETC.
- ONCE JANT'S SQUARE AND THE HIGH SPOT OF THE GROUND IS ESTABLISHED, THE BUILDING IS BLOCKED ON THE 4TH SPOT OF THE GROUND AND LEVELLED. THE OTHER END OF THE BUILDING IS BROUGHT TO LEVEL AND BLOCKED. THEN THE CENTER OF THE BUILDING IS SUPPORTED TO LEVEL. MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 2).
- AFTER THE BUILDING IS LEVEL, MORE BLOCKS ARE ADDED TO ACHIEVE THE CORRECT SPACING (SEE TABLE 2).
- ANCHOR PLACEMENT IS ESTABLISHED BY THE WIDTH OF THE BUILDING. HOLES ARE DRILLED THRU THE 2x4 BOTTOM PLATE WITH A 1/2" AUGER BIT. 1/2" EYEBOLTS OR OPTIONAL 1/2" THREADED ROD FOR A HIGH SET IS REQUIRED THRU THE HOLE.
- ANCHORS ARE NOT REQUIRED IN THE BOTTOM PLATE FOR DOORS AND DOORWAYS WITH NO FOOTER (GARAGE DOORS FOR EXAMPLE). HEADER DESIGN TRANSFERS THESE LOADS.
- IF THE UNIT HAS A FLOOR, EITHER A HOLE IS CUT FOR THE 30' ALGER ANCHOR AND BACKFILLED AND SECURED AS PER THE DETAIL OR A 1/2" HOLE IS DRILLED INTO THE CONCRETE. 1/2" OFF THE PAULOBST. THE EYEBOLT IS FASTENED THRU THE BOTTOM PLATE AND A SIMPSON A-24 OR EQUIV. IS BOLTED TO THE CONCRETE WITH A 1/2" WEDGE ANCHOR. THRU THE 2x4 BOTTOM PLATE.

TABLE 1
ANCHORS TO CONCRETE

SHED WIDTH (LIFT/PLT) ANCHOR SPAC		
10'-0"	400	3'-0"
13'-0"	280	3'-0"
17'-0"	240	3'-0"
10'-0"	200	3'-0"
8'-0"	150	3'-0"
6'-0"	120	3'-0"

TABLE 2
SKID SPACING

SHED WIDTH	X1	X2	X3
13'-0"	1'-0" (2')	4'-4"	7'-0" (2')
11'-0"	2'-0"	5'-4"	-
10'-0"	1'-0"	5'-10"	-
8'-0"	3'	5'-6"	-
6'-0"	10'	5'	-

TABLE 3A
R/C TYPES

TYPE	R/C TYPE	MAX. LOAD*	MATERIAL
1	2500 PSI	1778 LBS	CONCRETE BLOCKS WITH 4" REINFORCING
2	4000 PSI	3500 LBS	CONCRETE BLOCKS WITH 4" REINFORCING
3	4000 PSI	4000 LBS	CONCRETE BLOCKS WITH 4" REINFORCING
4	4000 PSI	4000 LBS	CONCRETE BLOCKS WITH 4" REINFORCING
5	4000 PSI	1900 LBS	CONCRETE BLOCKS WITH 4" REINFORCING

TABLE 3
SUPPORT FOOTING AND SPACING FOR REMOVED BLOCKS FOR SINGLE & DOUBLE WIDE SHEDS

SHED DESCRIPTION	TYPE	LIFT/PLT	END PAD	MAX. SPACING	END PAD	15' FLOOR LOAD	MAXIMUM LOAD AND PAD TYPE	125' FLOOR LOAD	MAXIMUM LOAD AND PAD TYPE
10'-0"	SW DW	1.50022	7'-0" (2')	5'-0"	1958 LBS	1.4. OR 2V	1958 LBS	1.4. OR 2V	2742 LBS
13'-0"	SW DW	1.50040	7'-0" (2')	5'-0"	2574 LBS	1.4. OR 2V	2574 LBS	1.4. OR 2V	3924 LBS
17'-0"	SW DW	1.50040	7'-0" (2')	5'-0"	2581 LBS	1.4. OR 2V	2581 LBS	1.4. OR 2V	3943 LBS
10'-0"	SW	1.50026	7'-0" (2')	5'-0"	2620 LBS	1.4. OR 2V	2620 LBS	1.4. OR 2V	3921 LBS
8'-0"	SW	1.50026	7'-0" (2')	5'-0"	1481 LBS	1.4. OR 2V	1481 LBS	1.4. OR 2V	2233 LBS

NOTES

- LOAD WIDTH LIFT ON RUNNER
- PAD SPACING IS END TO CENTER OF PAD
- PAUS OTHER THAN END PADS: SPACING IS CENTER TO CENTER
- USE SAME MAXIMUM SPACING FOR INTERIOR SPACING

BUILDING ANCHORS SHALL BE "MOBILE HOME" TYPE WITH SINGLE-HEX EYE ALGER ANCHORS BY HOME PRIDE OF BRISTOL, VA. OR EQUIVALENT. AVERAGE HOLDING STRENGTH IS NOT LESS THAN 4725 LBS.

ANCHORS SYSTEM TO GROUND PER LOCAL BUILDING CODE. BY DEALER, LOCATE ANCHORS PER TABLE 4A OR 4B.

THREADED ROD WITH EYEBOLTS SHALL BE PLACED THRU THE BOTTOM PLATE FLOOR SYSTEM AND ATTACHED TO ANCHOR. THESE CAN BE EXTENDED WITH THREADED ROD OR STUDS WITH EQUAL OR GREATER STRENGTH FOR ELEVATED PORTIONS OF SHEDS ON LEVELING BLOCKS.

TABLE 4A
30' ALGER ANCHOR SPACING - SINGLE WIDE

SHED WIDTH	LIFT/PLT	END ANCHOR	MAX. INTERIOR SPACING
13'-0"	7.50	243	7'-0" TO 3'-0"
11'-0"	6.00	258	7'-0" TO 3'-0"
10'-0"	5.00	174	7'-0" TO 3'-0"
8'-0"	4.00	138	7'-0" TO 3'-0"
6'-0"	3.00	104	7'-0" TO 3'-0"

TABLE 4B
12" ALGER ANCHOR SPACING - DOUBLE WIDE

SHED WIDTH	LIFT/PLT	END ANCHOR	MAX. INTERIOR SPACING
20'-0"	10.00	430	7'-0" TO 3'-0"

* LOAD WIDTH LIFT ON RUNNER
* LOCATION OF END WALL OF ALGER ANCHOR
* MAXIMUM SPACING BETWEEN ANCHORS

NOTES

- ANCHOR SPACING IS DESIGNED AS PER ASCE 7
- ALL MEASUREMENTS ARE CENTER TO CENTER
- THE MINIMUM NUMBER OF ANCHORS PER SHED IS (4) - 1X ANCHOR PER EACH CORNER. ADDITIONAL INTERIOR ANCHORS ARE REQUIRED IF SPACING IS MORE THAN 10' BETWEEN ANCHORS
- ANCHORS SHALL BE ON SIDE WALLS EXCEPT WHEN THE SHED IS PLACED NEXT TO AN EXISTING BUILDING IN WHICH ANCHORS CAN BE PLACED ON THE END WALLS AS CLOSE TO THE SIDE AS POSSIBLE
- FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION
- THIS BUILDING IS EXEMPT FROM THE FBC ENERGY CONSERVATION CODE PER SECTION 2101.2.4.6.1402.1
- REFER TO THE FOUNDATION DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE
- DOUBLE WIDE SHEDS ARE SECURED ON EACH SIDE OF THE MODULE SIDE WALLS

CODE INFORMATION

CODE VERSION	FBC 9TH EDITION (2021) ASCE 7-22
MANUFACTURER	SUPERIOR SHEDS
BUILDING TYPE	MANUF. SHED
CONSTRUCTION	V-B
CODE VERSION	NONE
FIRE SUPPRESSION SYSTEM	NONE
OCCUPANCY	STORAGE
ALLOWABLE NO. OF STORES	1
BASIC WIND SPEED	35 MPH (MULT.)
EXPOSURE	C
ENCLOSURE	ENCLOSED
INTERNAL PRESSURE COEF	0.18
IMPORTANCE FACTOR	1.15
ROOF DEAD LOAD	10 PSF
ROOF LIVE LOAD	20 PSF OR 300 LBS
FLOOR DEAD LOAD	8 PSF
FLOOR LIVE LOAD	75 PSF - 125 PSF
WIND RATING (WALL, FLOOR, ROOF)	NA
MODULES PER BUILDING	-
HURRICANE PROTECTION USAGE	NO
HURRICANE SHELTER USAGE	NO
SOLAR FOOTAGE	LESS THAN 720 S.F.

Genuinely signed by Hermes F. Norero, P.E.
Reason: I am approving this occurrence
Date: 2024-01-22 10:50:51 -0500



SUPERIOR SHEDS, INC.
3223 S. VOLUNTA AVE.
ORANGE CITY, FL 32763
OFFICE: 813.966.7431
WWW.SUPERIORSHEDS.COM

**STRUCTURE FOR:
SUPERIOR SHEDS**

E-RDM
SUP087

YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH (CPB 24, PG 40)

BEGIN AT THE SOUTHEASTERLY CORNER OF BLIND PASS MARINA, AS RECORDED IN PLAT BOOKING
51, PAGE 13; PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, THE SAME BEING THE
SOUTHEASTERLY CORNER OF TRACT "B", 469.80 FEET TO A POINT ON THE NORTHEASTERLY
BOUNDARY OF SAID TRACT "B", A CHORD BEARING AND DISTANCE OF 7.8°28'57"N,
CORNED OF SAID TRACT "B", SAID CURVE BEING CONCAVE SOUTHWESTERLY, HAVING A RADIUS
OF 450.28 FEET; THENCE ALONG THE ARC OF SAID RIGHT-OF-WAY LINE CURVE AND ALONG THE
SOUTHWESTERLY BOUNDARY OF SAID TRACT "B", 218.32 FEET CONTINUATION THEREOF, A
CHORD BEARING AND DISTANCE OF 7.8°28'57"N, 218.32 FEET TO A POINT ON THE WESTERN
EAST BOUNDARY OF A TRACT OF LAND NOTED ON THE PLAT OF SAID BLIND PASS MARINA AS
"NOT INCLUDED IN THEIR PLAT," A DISTANCE OF 175.14 FEET; THENCE S.81°31'03"W, ALONG THE
NORTH BOUNDARY OF SAID TRACT "A" A DISTANCE OF 110.00 FEET; THENCE N.82°28'57"W, ALONG
THE WESTERLY BOUNDARY OF SAID TRACT "A", 218.32 FEET TO A POINT ON THE WESTERLY
THENCE S.81°31'03"W, 295.01 FEET TO A POINT ON THE WESTERLY BOUNDARY OF TRACT "A"
OF SAID BLIND PASS MARINA; THENCE N.82°28'57"W, ALONG SAID WESTERLY BOUNDARY, 218.32 FEET
FEET TO THE POINT OF CURVATURE FOR A CURVE THAT IS CONCAVE SOUTHEASTERLY, HAVING A
RADIUS OF 450.28 FEET; THENCE ALONG THE ARC OF SAID RIGHT-OF-WAY LINE CURVE AND
SAID TRACT "A", A CHORD BEARING AND DISTANCE OF N.36°31'03"E, 282.84 FEET TO THE
POINT OF TANGENCY OF SAID CURVE; THENCE N.81°31'03"W, ALONG THE NORTHERLY
BOUNDARY OF SAID TRACT "A" 262.51 FEET TO THE POINT OF CURVATURE OF A CURVE THAT
IS CONCAVE NORTHERLY, HAVING A RADIUS OF 450.28 FEET; THENCE ALONG THE ARC OF
SAID CURVE AND ALONG SAID NORTHERLY BOUNDARY, A CHORD BEARING AND DISTANCE OF
S.79°21'09"E, 108.80 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE N.81°31'
S.82°01'32"E, ALONG THE NORTHEASTERLY BOUNDARY OF SAID TRACT "A", 215.35 FEET TO
THE POINT OF BEGINNING, SUBJECT TO RIGHTS-OF-WAY OF RECORD.

THE HERITAGE, A CONDOMINIUM AS RECORDED IN CONDOMINIUM BOOK 111, PAGES 46
THROUGH 53, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

1. BEARINGS ARE BASED ON THE SOUTHEASTERLY BOUNDARY OF TRACT "B", BLIND PASS MARINA AS RECORDED IN PLAT BOOK 51, PAGE 13, PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA, BEING 56°00'00"W AS SHOWN ON SAID PLAT.
2. THIS SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, P.S.J-1 TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 53-17.052(6) DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
3. SURVEY MAP AND REPORT OR THE COPIES THEREOF ARE NOT VALID WITHOUT THE SIGNATURE OF THE REGISTERED LAND SURVEYOR AND MAPPER. ANY ADDITIONS, DELETIONS, OR ALTERATIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED.
4. NO EXCAVATION WAS PERFORMED TO VERIFY THE LOCATION OR EXISTENCE OF ANY UNDERGROUND UTILITIES, ENCROACHMENTS, IMPROVEMENTS, STRUCTURES OR FOUNDATIONS. UNDERGROUND UTILITY LINE LOCATIONS (IF SHOWN HEREON) ARE BASED UPON UTILITY PROVIDER ATLASES AND VISIBLE SURFACE EVIDENCE.
5. RE-USE OF THIS SURVEY FOR PURPOSES OTHER THAN WHICH IT WAS INTENDED, WITHOUT WRITTEN VERIFICATION, WILL BE AT THE RE-USERS SOLE RISK AND WITHOUT LIABILITY TO THE SURVEYOR. NOTWITHSTANDING HEREIN, SHOULD BE CONSTRUCTED TO GIVE ANY RIGHTS OR BENEFITS TO ANYONE OTHER THAN THOSE TO WHOM CERTIFIED.
6. THIS SURVEY IS NOT INTENDED TO SHOW THE LOCATION OR EXISTENCE OF ANY JURISDICTIONAL, HAZARDOUS OR ENVIRONMENTALLY SENSITIVE ZONE.
7. THE SITE APPEARS TO BE IN FLOOD ZONE AE (EL. 11' & EL. 12'), ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP 12103C0194G, COMMUNITY NUMBER 125149, EFFECTIVE DATE SEPTEMBER 3, 2003. TRANSMITS AND THE SIGNING SURVEYOR HEREOF ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS DETERMINATION. THE USER OF THIS MAP SHALL BE RESPONSIBLE FOR OBTAINING THE LATEST AVAILABLE DATA FROM THE GOVERNMENTAL AGENCY HAVING JURISDICTION OVER SUCH MATTERS SHOULD BE CONTACTED PRIOR TO ANY JUDGMENTS BEING MADE FROM THIS INFORMATION. THE ABOVE REFERENCED MAP STATES IN THE NOTES TO THE USER THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM" AND "THIS BASE FLOOD ELEVATIONS (BFE) SHOWN REPRESENT ROUNDED WHOLE-FOOT ELEVATIONS" AND THEREFORE MAY NOT EXACTLY REFLECT THE FLOOD ELEVATION DATA PRESENTED IN THE FLOOD INSURANCE STUDY (FIS) REPORT". THE FIS REPORT WAS NOT CONSULTED FOR THIS SURVEY.
8. FLOOD ZONE LIMITS SHOWN HEREON, IF ANY, WERE SCALED FROM SAID MAP.
9. SHOWN ANYWHERE ON THIS SURVEY, THE WORD "CERTIFY" IS UNDERSTOOD TO BE AN EXPRESSION OF A PROFESSIONAL OPINION BASED UPON THE SURVEYOR'S BEST KNOWLEDGE, INFORMATION AND BELIEF, AND THAT IT THUS CONSTITUTES NEITHER A GUARANTEE NOR A WARRANTY.
10. UNLESS OTHERWISE INDICATED, THE PROPERTY DESCRIPTION AND EASEMENTS SHOWN WERE FURNISHED TO TRANSMITS AND ARE PRESUMED TO BE CORRECT. NO SEARCH OF ANY PUBLIC RECORDS, FOR EASEMENTS, DEEDS, ETC., WAS PERFORMED BY THIS FIRM FOR THE PURPOSE OF IDENTIFYING ANY ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.
11. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS, RIGHTS-OF-WAY AND OTHER MATTERS OF RECORD.

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA

YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

FREDERICK S. BACHMANN PROFESSIONAL LAND SURVEYOR STATE OF FLORIDA, LS 5174	WORK ORDER NO.	2016-122
	FIELD DATE:	3/20/2017
	DRAWN BY:	LKC
	SCALE:	1" = 60'
	SHEET NO.	1 OF 5

SYMBOL		LEGEND
—	BACK FLOW PREVENTION DEVICE	☆ LIGHT POLE
Ⓢ	BOLLARD	◇ MAGNOLIA
Ⓢ	CABLE TV BOX	⊗ MISCELLANEOUS TREE
Ⓢ	CLEANOUT	⊗ MW MONITORING WELL
Ⓢ	CONCRETE LIGHT POLE	⊗ NAIL AND DISK (SET)
Ⓢ	CONCRETE MONUMENT (FOUNDED)	⊗ OAK DISK
Ⓢ	CONCRETE MONUMENT (SET)	⊗ PALM TREE
Ⓢ	CROSS WALK POLE	⊗ PINE TREE
Ⓢ	CYPRESS	⊗ PK NAIL & DISK (SET)
Ⓢ	ELECTRIC HAND HOLE	⊗ PK NAIL & DISK (FOUNDED)
Ⓢ	ELECTRIC METER	⊗ POWER & LIGHT POLE
Ⓢ	ELECTRIC TRANSFORMER	⊗ POWER/UTILITY WOOD POLE
±0.00	ELEVATION	— RAILROAD SAFETY ARM
±0.00	ELEVATION BACK OF CURB FLOW LINE	Ⓢ RECLAIMED WATER METER
Ⓢ	ELM	Ⓢ RECLAIMED WATER VALVE
Ⓢ	FIRE HYDRANT	Ⓢ RED MAPLE
Ⓢ	GAS MARKER POST	Ⓢ SANITARY MANHOLE
Ⓢ	GAS DEPARTMENT CONNECTION	Ⓢ SANITARY SEWER CLEANOUT
Ⓢ	FLOOD/RAIN LIGHT	— SIGN
Ⓢ	GRATE INLET	Ⓢ STORM SEWER MANHOLE
Ⓢ	GUY WIRE ANCHOR	Ⓢ TELEPHONE PEDESTAL
Ⓢ	HANDICAP PARKING SPACE	Ⓢ TEMPORARY BENCHMARK
Ⓢ	IRON PIPE (FOUNDED)	Ⓢ TRAFFIC SIGNAL JUNCTION BOX
Ⓢ	IRON ROD (FOUND)	Ⓢ WATER METER
Ⓢ	IRON ROD (SET)	Ⓢ WATER VALVE
Ⓢ	IRRIGATION CONTROL VALVE	Ⓢ X-CUT (FOUNDED)
Ⓢ	IRRIGATION WATER VALVE	Ⓢ YARD DRAIN

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103



LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21-27
(CPB1)	CONDO PLAT BOOK 40, PGS 16-24
(CPB2)	BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46-48
(CPB2)	(THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18
(CPB2)	(YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
C	CENTERLINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ	FOUND NAIL & SQUARE TAB
FFC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
G	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO.	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG.	RANGE
R/W	RIGHT-OF-WAY
SAN.	SANITARY
SEC.	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN-OUT
SND	SET NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP.	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND	
---	BACK FLOW PREVENTION DEVICE
⊙	BOLLARD
⊠	CABLE TV BOX
⊕	CLEANOUT
⊞	CONCRETE LIGHT POLE
⊟	CONCRETE MONUMENT (FOUND)
⊠	CONCRETE MONUMENT (SET)
⊡	CROSS WALK POLE
⊢	CYPRESS
⊣	ELECTRIC HAND HOLE
⊤	ELECTRIC METER
⊥	ELECTRIC TRANSFORMER
⊦	ELEVATION
⊧	ELEVATION BACK OF CURB
⊨	ELM
⊩	FIRE HYDRANT
⊪	GAS MARKER POST
⊫	FIRE DEPARTMENT CONNECTION
⊬	FLOOD/YARD LIGHT
⊭	GRATE INLET
⊮	GUY WIRE ANCHOR
⊯	HANDICAP PARKING SPACE
⊰	IRON PIPE (FOUND)
⊱	IRON ROD (FOUND)
⊲	IRON ROD (SET)
⊳	IRRIGATION CONTROL VALVE
⊴	IRRIGATION WATER VALVE
⊵	LIGHT POLE
⊶	MAGNOLIA
⊷	MISCELLANEOUS TREE
⊸	MONITORING WELL
⊹	NAIL AND DISK (SET)
⊺	OAK TREE
⊻	PALM TREE
⊼	PINE TREE
⊽	PK NAIL & DISK (SET)
⊾	PK NAIL & DISK (FOUND)
⊿	POWER & LIGHT POLE
⊿	POWER/UTILITY WOOD POLE
⊿	RAILROAD SAFETY ARM
⊿	RECLAIMED WATER METER
⊿	RECLAIMED WATER VALVE
⊿	RED MAPLE
⊿	SANITARY MANHOLE
⊿	SANITARY SINKER CLEANOUT
⊿	SIGN
⊿	STORM SEWER MANHOLE
⊿	TELEPHONE PEDESTAL
⊿	TEMPORARY BENCHMARK
⊿	TRAFFIC SIGNAL JUNCTION BOX
⊿	WATER METER
⊿	WATER VALVE
⊿	X-CUT (FOUND)
⊿	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY

TRANSSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.522.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 3 THROUGH 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.

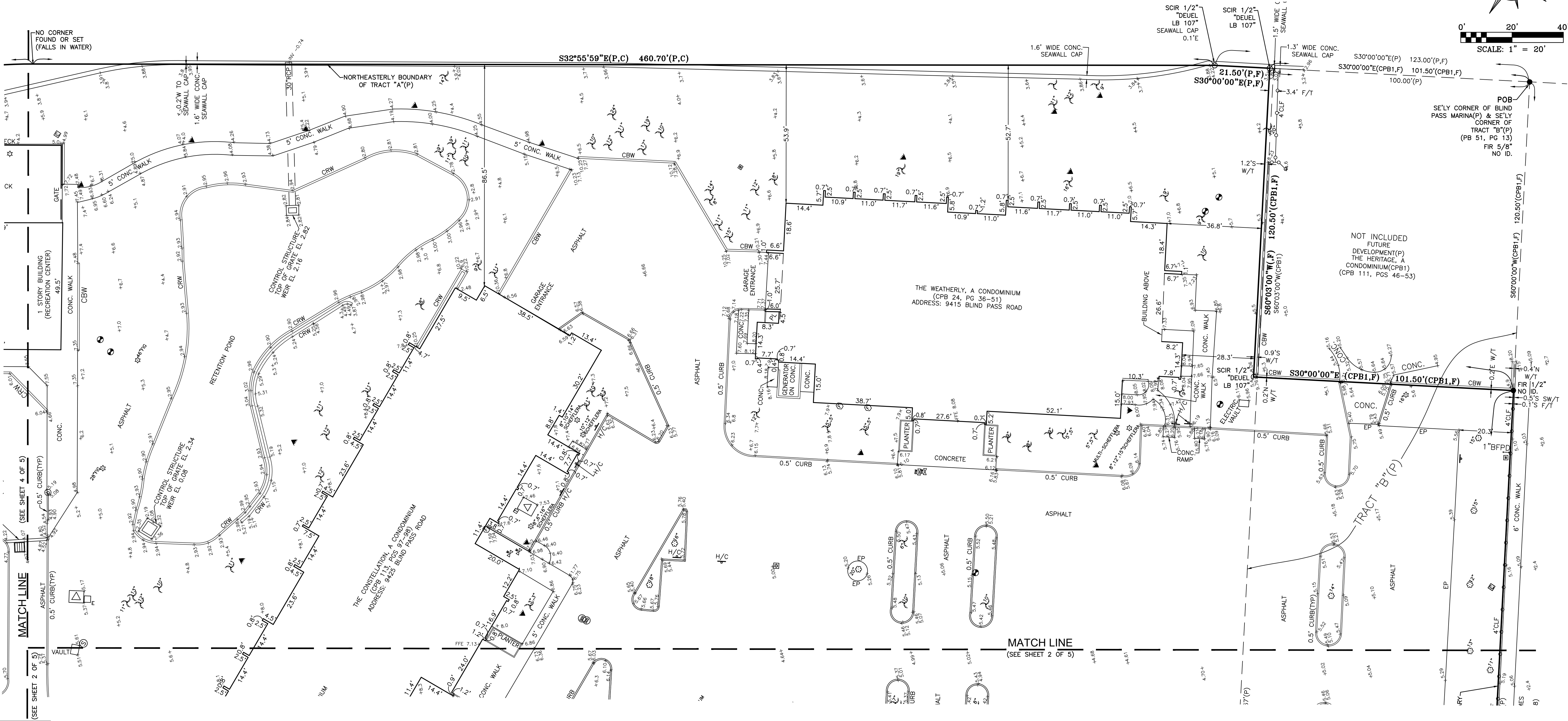
I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5A-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016-122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	2 OF 5

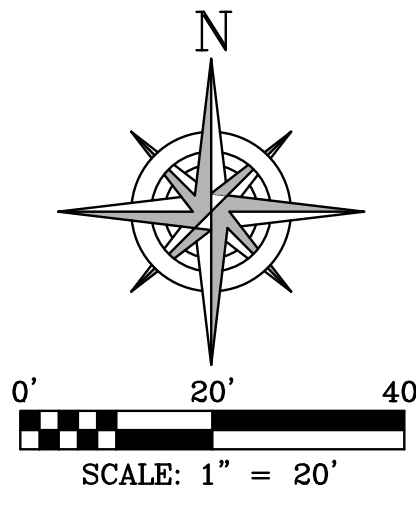
SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA



SYMBOL		LEGEND	
→	BACK FLOW PREVENTION DEVICE	☀	LIGHT POLE
⊙	ROLLARD	✧	MAGNOLIA
⊖	CABLE TV BOX	✧	MISCELLANEOUS TREE
⊖	CLEANOUT	⊖	MONITORING WELL
■	CONCRETE LIGHT POLE	⊖	NAIL AND DISK (SET)
■	CONCRETE MONUMENT (FOUND)	⊖	OAK TREE
□	CONCRETE MONUMENT (SET)	☀	PALM TREE
⊖	CROSS WALK POLE	☀	PINE TREE
⊖	CYPRESS	⊖	PK NAIL & DISK (SET)
⊖	ELECTRIC HAND HOLE	⊖	PK NAIL & DISK (FOUND)
⊖	ELECTRIC METER	⊖	POWER & LIGHT POLE
⊖	ELECTRIC TRANSFORMER	⊖	POWER/UTILITY WOOD POLE
⊖	ELEVATION	⊖	RAILROAD SAFETY ARM
⊖	ELEVATION ^{BACK OF CURB}	⊖	RECLAIMED WATER METER
⊖	ELM	⊖	RECLAIMED WATER VALVE
⊖	FIRE HYDRANT	⊖	RED MAPLE
⊖	GAS MARKER POST	⊖	SANITARY MANHOLE
⊖	FIRE DEPARTMENT CONNECTION	⊖	SANITARY SEWER CLEANOUT
⊖	FLOOD/YARD LIGHT	⊖	SIGN
⊖	GRATE INLET	⊖	STORM SEWER MANHOLE
⊖	GYE WIRE ANCHOR	⊖	TELEPHONE PEDESTAL
⊖	HANDICAP PARKING SPACE	⊖	TEMPORARY BENCHMARK
⊖	IRON PIPE (FOUND)	⊖	TRAFFIC SIGNAL JUNCTION BOX
⊖	IRON ROD (SET)	⊖	WATER METER
⊖	IRON ROD (FOUND)	⊖	WATER VALVE
⊖	IRRIGATION CONTROL VALVE	⊖	X-CUT (FOUND)
⊖	IRRIGATION WATER VALVE	⊖	YARD DRAIN

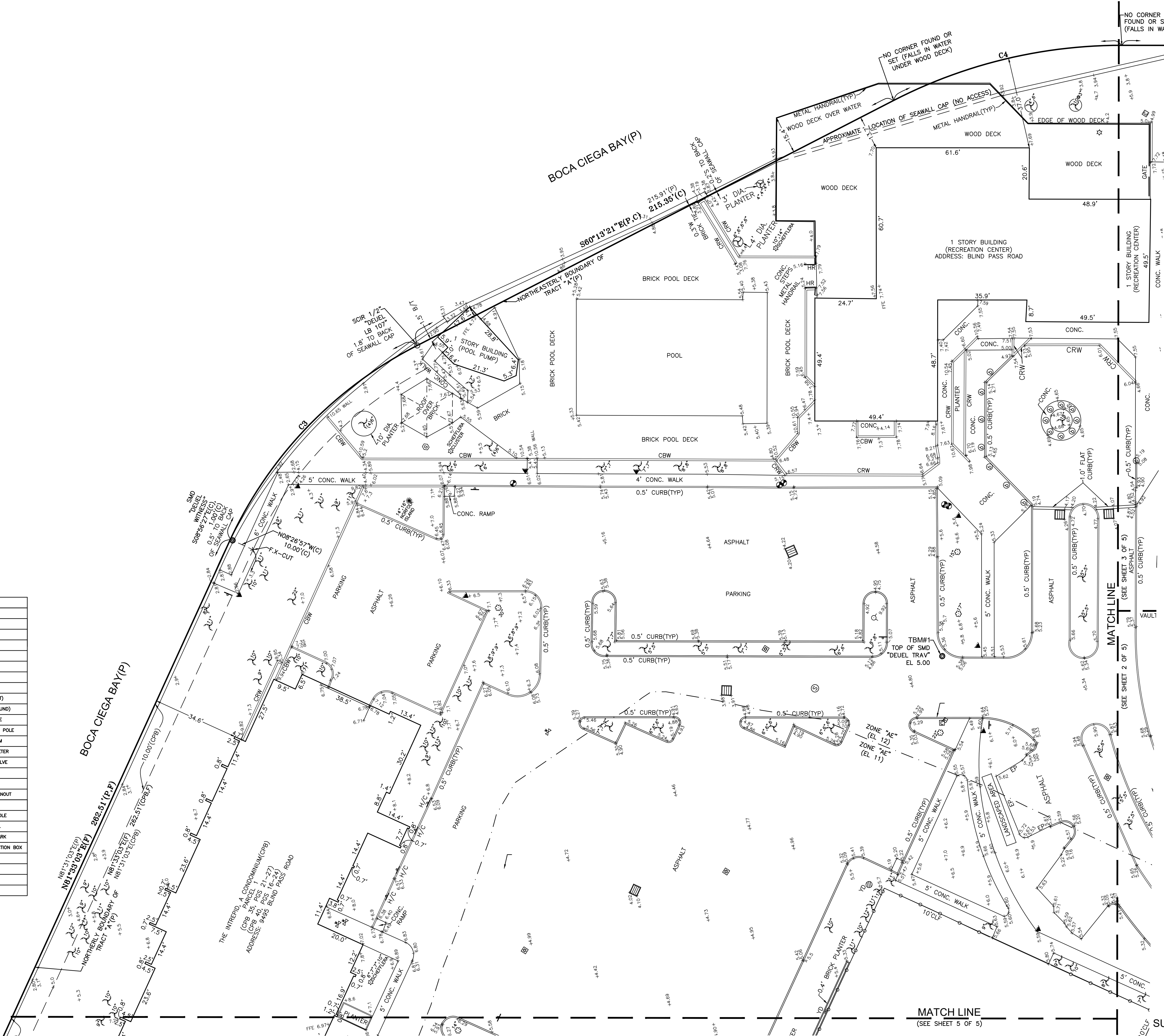


I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.	WORK ORDER NO.	2016-122
	FIELD DATE:	3/20/2017
	DRAWN BY:	LKC
	SCALE:	1" = 20'
	SHEET NO.	3 OF 5



LEGEND	
A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21-27
	CONDO PLAT BOOK 40, PGS 16-24
	BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46-48
	(THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18
	(YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ	FOUND NAIL & SQUARE TAB
FPC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG	RANGE
R/W	RIGHT-OF-WAY
SAN	SANITARY
SEC	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN-OUT
SND	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND	
—	BACK FLOW PREVENTION DEVICE
⊕	BOLLARD
⊞	CABLE TV BOX
⊞	CLEANOUT
⊞	CONCRETE LIGHT POLE
■	CONCRETE MONUMENT (FOUND)
□	CONCRETE MONUMENT (SET)
⊞	CROSS WALK POLE
⊞	CYPRESS
⊞	ELECTRIC HAND HOLE
⊞	ELECTRIC METER
⊞	ELECTRIC TRANSFORMER
x0.00	ELEVATION
x0.00	ELEVATION BACK OF CURB
x0.00	ELEVATION FLOW LINE
ELM	ELM
⊞	FIRE HYDRANT
⊞	GAS MARKER POST
⊞	FIRE DEPARTMENT CONNECTION
▼	FLOOD/YARD LIGHT
⊞	GRATE INLET
⊞	GUY WIRE ANCHOR
⊞	HANDICAP PARKING SPACE
⊞	IRON PIPE (FOUND)
⊞	IRON ROD (FOUND)
⊞	IRON ROD (SET)
⊞	IRRIGATION CONTROL VALVE
⊞	IRRIGATION WATER VALVE
☆	LIGHT POLE
⊞	MAGNOLIA
⊞	MISCELLANEOUS TREE
⊞	MONITORING WELL
⊞	NAIL AND DISK (SET)
⊞	OAK TREE
⊞	PALM TREE
⊞	PINE TREE
⊞	PK NAIL & DISK (SET)
⊞	PK NAIL & DISK (FOUND)
⊞	POWER & LIGHT POLE
⊞	POWER/UTILITY WOOD POLE
⊞	RAILROAD SAFETY ARM
⊞	RECLAIMED WATER METER
⊞	RECLAIMED WATER VALVE
⊞	RED MAPLE
⊞	SANITARY MANHOLE
⊞	SANITARY SEWER CLEANOUT
⊞	SIGN
⊞	STORM SEWER MANHOLE
⊞	TELEPHONE PEDESTAL
⊞	TEMPORARY BENCHMARK
⊞	TRAFFIC SIGNAL JUNCTION BOX
⊞	WATER METER
⊞	WATER VALVE
⊞	X-CUT (FOUND)
⊞	YARD DRAIN



SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 5 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.



565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.522.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5A-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO.	2016-122
FIELD DATE:	3/20/2017
DRAWN BY:	LKC
SCALE:	1" = 20'
SHEET NO.	4 OF 5

LEGEND

A/C	AIR CONDITIONER
ADA	AMERICANS WITH DISABILITIES ACT
BFPD	BACK FLOW PREVENTION DEVICE
B/T	BUILDING TIE
(C)	CALCULATED
CBW	CONCRETE BLOCK WALL
(CPB)	CONDO PLAT BOOK 35, PGS 21-27
(CPB1)	CONDO PLAT BOOK 40, PGS 16-24
(CPB2)	BOTH (THE INTREPID, A CONDOMINIUM)
(CPB1)	CONDO PLAT BOOK 111, PGS 46-48
(CPB2)	(THE HERITAGE, A CONDOMINIUM)
(CPB2)	CONDO PLAT BOOK 40, PG 18
(CPB2)	(YACHT AND TENNIS CLUB OF ST. PETERSBURG BEACH)
C	CENTERLINE
CLF	CHAIN LINK FENCE
CONC	CONCRETE
CONDO	CONDOMINIUM
C/T	CURB TIE
CRW	CONCRETE RETAINING WALL
DB	DEED BOOK
ERCP	ELLIPTICAL REINFORCED CONCRETE
PIPE	PIPE
EP	EDGE OF PAVEMENT
EL	ELEVATION
(F)	FIELD
FCIR	FOUND CAPPED IRON ROD
FCM	FOUND CONCRETE MONUMENT
(FDOT)	FLORIDA DEPARTMENT OF TRANSPORTATION
FFE	FINISHED FLOOR ELEVATION
FIP	FOUND IRON PIPE
FIR	FOUND IRON ROD
FN&D	FOUND NAIL AND DISK
FN&SQ	FOUND NAIL & SQUARE TAB
FFC	FLORIDA POWER CORPORATION (NOW KNOWN AS DUKE ENERGY)
FPP	FOUND PINCHED IRON PIPE
F/T	FENCE TIE
GI	GRATE INLET
H/C	HANDICAP PARKING SIGN
HWM	HARRY W. MARLOW, INC.
HR	HANDRAIL (METAL)
ID	IDENTIFICATION
(L)	LEGAL DESCRIPTION
LB	LICENSED BUSINESS
MH	MANHOLE
NAVD88	NORTH AMERICAN VERTICAL DATUM 1988
NGS	NATIONAL GEODETIC SURVEY
NO	NUMBER
OH	OVERHEAD WIRES
OR	OFFICIAL RECORD BOOK
(P)	PLAT BOOK 51, PAGE 13
PB	PLAT BOOK
PG	PAGE/PAGES
PLS	PROFESSIONAL LAND SURVEYOR
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
POL	POINT ON LINE
PRM	PERMANENT REFERENCE MONUMENT
PSM	PROFESSIONAL SURVEYOR & MAPPER
PVC	POLY VINYL CHLORIDE PIPE
PVCF	POLY VINYL CHLORIDE FENCE
P/T	PAVEMENT TIE
RCP	REINFORCED CONCRETE PIPE
RNG	RANGE
R/W	RIGHT-OF-WAY
SAN	SANITARY
SEC	SECTION
SE'LY	SOUTHEASTERLY
SCIR	SET CAPPED IRON ROD
SCO	SANITARY CLEAN-OUT
SMD	SET "MAG" NAIL & DISK
SN&D	SET NAIL AND DISK
SR	STATE ROAD
SW/T	SIDEWALK TIE
TBM	TEMPORARY BENCHMARK
TOB	TOP OF BANK
TOS	TOE OF SLOPE
TYP	TYPICAL
TWP	TOWNSHIP
VCP	VITRIFIED CLAY PIPE
WF	WOOD FENCE
W/T	WALL TIE

SYMBOL LEGEND	
---	BACK FLOW PREVENTION DEVICE
⊙	BOLLARD
⊠	CABLE TV BOX
⊖	CLEANOUT
⊠	CONCRETE LIGHT POLE
⊠	CONCRETE MONUMENT (FOUND)
⊠	CONCRETE MONUMENT (SET)
⊠	CROSS WALK POLE
⊠	CYPRESS
⊠	ELECTRIC HAND HOLE
⊠	ELECTRIC METER
⊠	ELECTRIC TRANSFORMER
⊠	ELEVATION
⊠	ELEVATION BACK OF CURB
⊠	ELM
⊠	FIRE HYDRANT
⊠	GAS MARKER POST
⊠	FIRE DEPARTMENT CONNECTION
⊠	FLOOD/YARD LIGHT
⊠	GRATE INLET
⊠	GUY WIRE ANCHOR
⊠	HANDICAP PARKING SPACE
⊠	IRON PIPE (FOUND)
⊠	IRON ROD (FOUND)
⊠	IRON ROD (SET)
⊠	IRRIGATION CONTROL VALVE
⊠	IRRIGATION WATER VALVE
⊠	LIGHT POLE
⊠	MAGNOLIA
⊠	MISCELLANEOUS TREE
⊠	MONITORING WELL
⊠	NAIL AND DISK (SET)
⊠	OAK TREE
⊠	PALM TREE
⊠	PINE TREE
⊠	PK NAIL & DISK (SET)
⊠	PK NAIL & DISK (FOUND)
⊠	POWER & LIGHT POLE
⊠	POWER/UTILITY WOOD POLE
⊠	RAILROAD SAFETY ARM
⊠	RECLAIMED WATER METER
⊠	RECLAIMED WATER VALVE
⊠	RED MAPLE
⊠	SANITARY MANHOLE
⊠	SANITARY SEWER CLEANOUT
⊠	SIGN
⊠	STORM SEWER MANHOLE
⊠	TELEPHONE PEDESTAL
⊠	TEMPORARY BENCHMARK
⊠	TRAFFIC SIGNAL JUNCTION BOX
⊠	WATER METER
⊠	WATER VALVE
⊠	X-CUT (FOUND)
⊠	YARD DRAIN

REV.#	DESCRIPTION	DATE	BY

TRANSYSTEMS

565 SOUTH HERCULES AVENUE
CLEARWATER, FL 33764
PHONE 727.822.4151
WWW.TRANSYSTEMS.COM
LICENSED BUSINESS NUMBER 8103

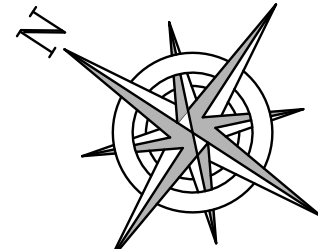
BOUNDARY AND TOPOGRAPHIC SURVEY
9415, 9425, 9495 & 9525 BLIND PASS ROAD
ST. PETE BEACH, FLORIDA
CITY OF ST. PETE BEACH FLORIDA

PREPARED FOR:
YACHT & TENNIS CLUB, INC.
4131 GUNN HWY
TAMPA, FL 33618

I, FREDERICK S. BACHMANN, THE SURVEYOR IN RESPONSIBLE CHARGE, CERTIFY THAT THE SURVEY REPRESENTED HEREON, WAS MADE UNDER MY SUPERVISION AND MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS AND MAPPERS, PURSUANT TO SECTION 472.027 OF THE FLORIDA STATUTES AS PRESCRIBED IN CHAPTER 5J-17.05 DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES. THIS DOCUMENT IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

WORK ORDER NO. 2016-122
FIELD DATE: 3/20/2017
DRAWN BY: LKC
SCALE: 1" = 20'
SHEET NO. 5 OF 5

SEC. 25, TWP. 31 S., RNG. 15 E.
PINELLAS COUNTY, FLORIDA



0' 20' 40'
SCALE: 1" = 20'

BOCA CIEGA BAY(P)



SEE SHEET 1 FOR BOUNDARY DETAIL, DESCRIPTION AND SURVEYOR'S REPORT. SEE SHEETS 2, 3 AND 4 FOR REMAINDER OF DETAILED LOCATION OF IMPROVEMENTS AND TOPOGRAPHY.



City of St. Pete Beach· 155 Corey Avenue, St. Pete Beach, Florida 33706 727-367-2735 · www.stpetebeach.org

COMMUNITY DEVELOPMENT - PLANNING

Date: January 5, 2025

To: Board of Adjustment

Re: Staff Findings Report
Unnecessary and Undue Hardship Variance
Address: Blind Pass Rd.
Parcel Number: 25-31-15-09234-000-0001
Applicant: Dan Nelson for WEATHERLY, THE CONDO ASSN INC, CONSTELLATION, THE CONDO ASSN INC, INTREPID, THE CONDO ASSN INC, COURAGEOUS, THE CONDO ASSN INC, HERITAGE, THE CONDO ASSN INC
Variance Case No: 24105

Prepared by: Kristin Coman, Senior Planner

Hearing Date: 1/29/2025

Please be advised that staff has received and reviewed the following items submitted in support of the application:

1. Completed Unnecessary and Undue Hardship Variance package with associated forms.
2. Boundary and Topographic Survey prepared by Transystems, dated 3/20/2017, consisting of 5 sheets.
3. Enlargement of portion of survey showing location and dimensions of existing tennis building, 2 sheets.
4. Photo package submitted by applicant, consisting of 1 sheet with no dates provided.
5. Proposals for building prepared by Wally Watt, Inc., no date, consisting of 2 pages.
6. Compliance letter dated 1/24/2024 from Intertek regarding Superior Sheds consisting of 1 page.
7. Building plans prepared by Superior Sheds, dated 4/202/2022 consisting of 10 sheets.

Staff offers the following comments for the Board's consideration:

Site Description/Surrounding Land Uses

The subject site is a parcel located on Blind Pass Rd. known as parcel number 25-31-15-09234-000-0001

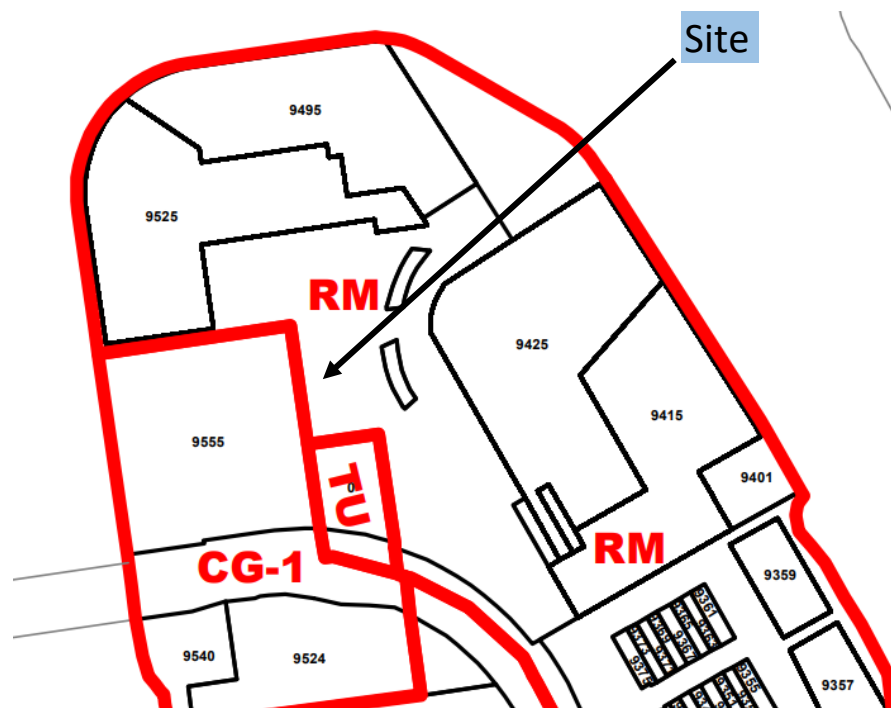
and legal description of **BLIND PASS MARINA (COMMON ELEMENTS) THOSE PARTS OF TRACTS A & B AKA "REC AREAS ONE, TWO & THREE" OF YACHT/TENNIS CLUB OF ST PETE BEACH TOGETHER WITH 10FT X 175FT TRACT LABELED "FUTURE DEV" ALL SHOWN IN CONDO PLAT BK 111 PG'S 46-53 LESS RD R/W FOR SR #699 PER O.R. 9005 PG 692.** The property is located within the RM Residential District and within the RM Residential Medium land use category on the future land use map and contains site improvements such as docks, tennis and shuffleboard courts, parking areas and clubhouse according to the Pinellas County Property Appraiser. It also contains the gatehouse building at the entry gates at the common drive serving the Yacht and Tennis Club of St. Pete Beach from Blind Pass Rd. It is a waterfront parcel located on the Boca Ciega Bay to the east, companion buildings and additional parking for the Yacht and Tennis Club to the south, Blind Pass Rd., Mc Kinney Park to the west and marina and restaurant uses to the north.

Figure 1: Aerial Photography



Source: Pinellas County Property Appraiser

Figure 2: Zoning Map



Source: City of St. Pete Beach Official Zoning Map, dated 7/20/2012

Request

The applicant requests the requests a variance for replacement/installation of a 160 sq. ft, 10'x16', 10'h storage structure where one (1) structure with a maximum area of 80 sq. ft. and maximum height of 8' is permitted. (LDC Sec. 6.13(b)(5a-b)).

Analysis

Variances required as a result of the proposed changes:

- Number of storage structures:** Where 1 storage structure is permitted, 2 are existing with one to remain (6'x4') and one to be replaced (10'x16').
- Maximum size:** Where 80 sq. ft. is the maximum square footage permitted and 160 sq. ft. is proposed (LDC 6.13(b)(5)(a)). For the proposed replacement structure, the applicant is requesting a square footage 2 times greater than what is permitted by code.
- Maximum height:** Where a maximum height of 8' (measured grade to the highest point on the structure) is permitted and proposed height grade to peak is 10' (LDC Sec. 6.13(5)(b)).

Figure 3: Zoning Table			
Accessory Structure-Residential Storage Building	Blind Pass Rd.		
	RM Required	Existing	Proposed
Size (Max.)	80 sq. ft., 1 building permitted	Bldg. 1-160 sq. ft. (v) Bldg. 2-24 sq. ft. * to remain	160 sq. ft. (v)
Front Yard Setback (Min.)	60'	130'	no change
Side Yard Setback (Min.)	along property line	3.4'	no change
Height (Max.)	8'	10'*	10' structure (v)
*Denotes existing non-conformity (v) = Variance required			

Figure 4: Portion of Boundary Survey showing Existing and Proposed Location of Storage Structures (N.T.S.)



Figure 5: Aerial Photo



Source: Google Earth

Figure 6: Staff Photo of Current Conditions



Additional Comments

The Applicant should provide testimony regarding the necessity for the requested variances.

The Board has standards of review for a hardship variance and must make a positive finding with regards to the provisions located in Division 3 of the Land Development Code in order to grant the variance(s). The applicant should be prepared to provide their own testimony by answering the following items 1-8 **in addition** to staff comments below:

1. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved, and which are not applicable to other lands, structures, or building in the same zoning district;
 - The property is part of a multi-parcel development spanning over 13 acres, featuring condominiums with shared common areas, including recreational facilities maintained by the condominium associations. This setup is unique to the area.
2. The special conditions and circumstances do not result from the actions of the applicant or a prior owner of the property;
 - *A review of City records does not reveal when the storage building shown on the survey was installed. According to the applicant's submission, the existing structure, built in the late 1990s, serves as the maintenance building for the seven existing Har-Tru tennis courts. While the request to replace the current structure originates from the applicant's actions and its anticipated replacement due to age, the recent hurricane caused the structure to be completely destroyed. The proposal seeks to be a replacement of the building's existing nonconforming size.*
3. Literal interpretation of the provisions of the Land Development Code deprives the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of the Land Development Code and results in unnecessary and undue hardship on the applicant;
 - *Staff observes that nearby properties are not within the same zoning district as the subject parcel. The applicant has indicated that this storage building provides essential storage for the tennis courts.*
4. The hardship has not been deliberately or knowingly created or suffered to establish a use or structure which is not otherwise consistent with the comprehensive plan or the Land Development Code, nor will it permit and increase in development density;
 - *The request is for the replacement of existing storage building which is a permitted accessory structure in the property's zoning district and will not increase density or a use.*
5. An applicant's desire or ability to achieve greater financial return or maximum financial return from his property does not constitute hardship;
 - *Staff finds the request to be for the replacement of equal size storage building which does not appear to contain any additional direct income-generating activity as proposed.*
6. Granting the variance application conveys the same treatment to the applicant as to the owner of other lands, building, or structures in the same zoning district;

- *The property's southern neighbor is the only property in the same zoning district, within the area, that is not of similar character.*
- 7. The requested variance is the minimum variance that makes possible the reasonable use of the land, building, or structure; and
 - *Staff finds the request is reasonable given the proposed shed is a direct replacement of the structure that was present prior to damage incurred by Hurricane Helene and Milton and would not be considered an expansion.*
- 8. The requested variance is in harmony with the general intent and purpose of the comprehensive plan and the Land Development Code, is not injurious to the neighborhood or otherwise detrimental to the public safety and welfare, is compatible with the neighborhood, and will not substantially diminish or impair property values within the neighborhood.
 - *Staff finds that the request will not result in a more imposing structure, as the proposed replacement matches the existing structure in overall height and square footage. Staff also notes that the previous storage building was situated centrally among the tennis courts and did not appear imposing.*

Technical Review Committee

The meeting is to be held on 2/22/25, after the publication of this report. If additional questions or comments are shared, Staff will present them to the Board of Adjustment at the hearing for this case.

Other

Staff finds that the applicant has addressed some of the hardship criteria but does request additional testimony be provided to demonstrate that denial would result in deprivation of an integral and necessary aspect of the use of the property in a manner that creates a hardship.

1. The applicant should provide further testimony as to the hardship faced in terms of necessity for the storage structure and what is to be stored within. In addition, should provide testimony if the proposed structures are adequate to store all materials within proposed building eliminating any goods or materials to be stored outside.

Summary

Staff finds that the applicant has addressed some of the hardship criteria but does request additional testimony be provided as noted above to demonstrate that denial would result in deprivation of an integral and necessary aspect of the use of the property in a manner that creates a hardship.

Should the applicant provide additional information to satisfy the Board that substantial and competent evidence has been provided and look favorably on the application on the relief request, the Board may wish to consider the following conditions and any additional conditions it deems necessary:

1. All goods and materials must be stored within the storage buildings. Outdoor storage or display of goods and/or materials is not permitted.

Should the board look favorably on the application, the applicant should be advised that any variance granted hereunder shall expire one (1) year from the date of the development order providing such

variance, unless a building permit for the construction authorized by such variance is obtained within such time and said building permit has not expired prior to the completion of construction in accordance therewith.

Respectfully submitted,

A handwritten signature in purple ink, appearing to be 'K Coman', with a long horizontal stroke extending to the right.

Kristin Coman
Senior Planner

Cc: Dan Nelson, Applicant **via email** (dnelsonytcbod@gmail.com)
Board of Adjustment Attorney